

NOTE:
ALL OTHER DETAILS, LAYOUTS, SPECIFICATIONS, PLUMBING, FIRE SPRINKLER, HEATING, VENTILATION, AIR CONDITIONING, ELECTRICAL, TO BE SUPPLIED BY SUBCONTRACTORS TO THE GENERAL CONTRACTOR.

NOTE:
ALL OTHER JOB SPECIFICATION AND FINISH SPECIFICATIONS TO BE FURNISHED TO GENERAL CONTRACTOR BY THE HOME OWNER AND ARE NOT PART OF THESE DRAWINGS.

NON-STRUCTURAL INTERIOR RENOVATION

DRAWINGS ARE NOT TO BE SCALED

NOTE: IT WILL BE THE SUB CONTRACTORS AND OR MATERIAL SUPPLIER'S RESPONSIBILITY TO TAKE ALL FIELD MEASUREMENTS BEFORE AND DURING THE RENOVATION AS REQUIRED FOR FABRICATION OFF SITE OR ON SITE FOR ALL MATERIALS OR PRODUCTS BEING USED AND INSTALLED ON THIS PROJECT. THESE PLANS ARE NOT TO BE SCALED IN ORDER TO PROVIDE ANY FINAL REQUIRED DIMENSIONS OR INFORMATION FOR ANY PRODUCTS FABRICATED OR SUPPLIED.

PLAN INDEX:

SHEET A1.3 - DEMOLITION PLAN AND RENOVATION PLAN, DROPPED CEILING DETAIL AND TYPICAL WALL SECTION

SHEET E1.1 - ELECTRICAL PLAN, ELECTRICAL NOTES, ELECTRICAL LEGEND

DESIGN CRITERIA

OCCUPANCY TYPE: R3 - CONSTRUCTION TYPE: VB
ALTERATIONS ARE TO CONFORM TO CHAPTER 8 ALTERATIONS LEVEL 2 OF THE 2020 (7TH EDITION) FLORIDA BUILDING CODE.
EXISTING BUILDING, 2020 (7TH EDITION) FLORIDA BUILDING CODE: PLUMBING, FUEL, GAS AND MECHANICAL, THE NFPA, 2020 NEC, AND TO CONFORM TO THE CODES, ORDINANCES, RULES AND REGULATIONS OF THE TOWN OF LONGBOAT KEY AND SARASOTA COUNTY.

OCCUPANCY - FULL TIME RESIDENTIAL

ALL WORK WILL BE PERFORMED BY A LICENSED CONTRACTOR

GENERAL CONTRACTOR IS TO VERIFY ALL WORK FEASIBILITY WITH CONDO ASSOCIATION

NOTE:

THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND THE MATERIALS AS APPROVED BY THE HOMEOWNER. ANY CONDITIONS WHICH APPEAR IN ACCURATE SHALL BE BROUGHT TO THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED.

THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS AND VISIT THE JOB SITE BEFORE STARTING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH MINOR NON-STRUCTURAL MODIFICATIONS WITH ONLY THE OWNER'S APPROVAL. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES.

ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED.

THE GENERAL CONTRACTOR SHALL BE LIABLE FOR ALL WORK BEING DONE

NOTE: BUILDING IS NOT FIRE SPRINKLED

RENOVATION NOTES:

1.) RENOVATED MASTER BATH:
NEW SWING DOOR, HARDWARE, JAMB AND CASING.
NEW WATER CLOSET/BIDET (BRAND BY OWNER), WATER SUPPLY AND WAX RING.
NEW LVP FLOORING OVER APPROVED SOUND BARRIER.
NEW LIGHT SWITCHES AND CEILING LIGHTS.
NEW DRYWALL AT WALLS AND CEILINGS.
NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW FRAMELESS TEMPERED GLASS SHOWER DOOR AND FRAMELESS TEMPERED FIXED GLASS PANELS.
NEW SHOWER HEAD, CONTROLS AND FLOOR DRAIN.
NEW CURB SILL (MIN 4" X 4"), SHOWER PAN (OVER APPROVED SOUND BARRIER) WALL AND FLOOR TILE.
NEW DRYWALL TO METAL STUDS.
NEW CEILING DUCT GRILLS.
NEW COUNTERTOP, VANITY BASE CABINETS, AND MIRROR.

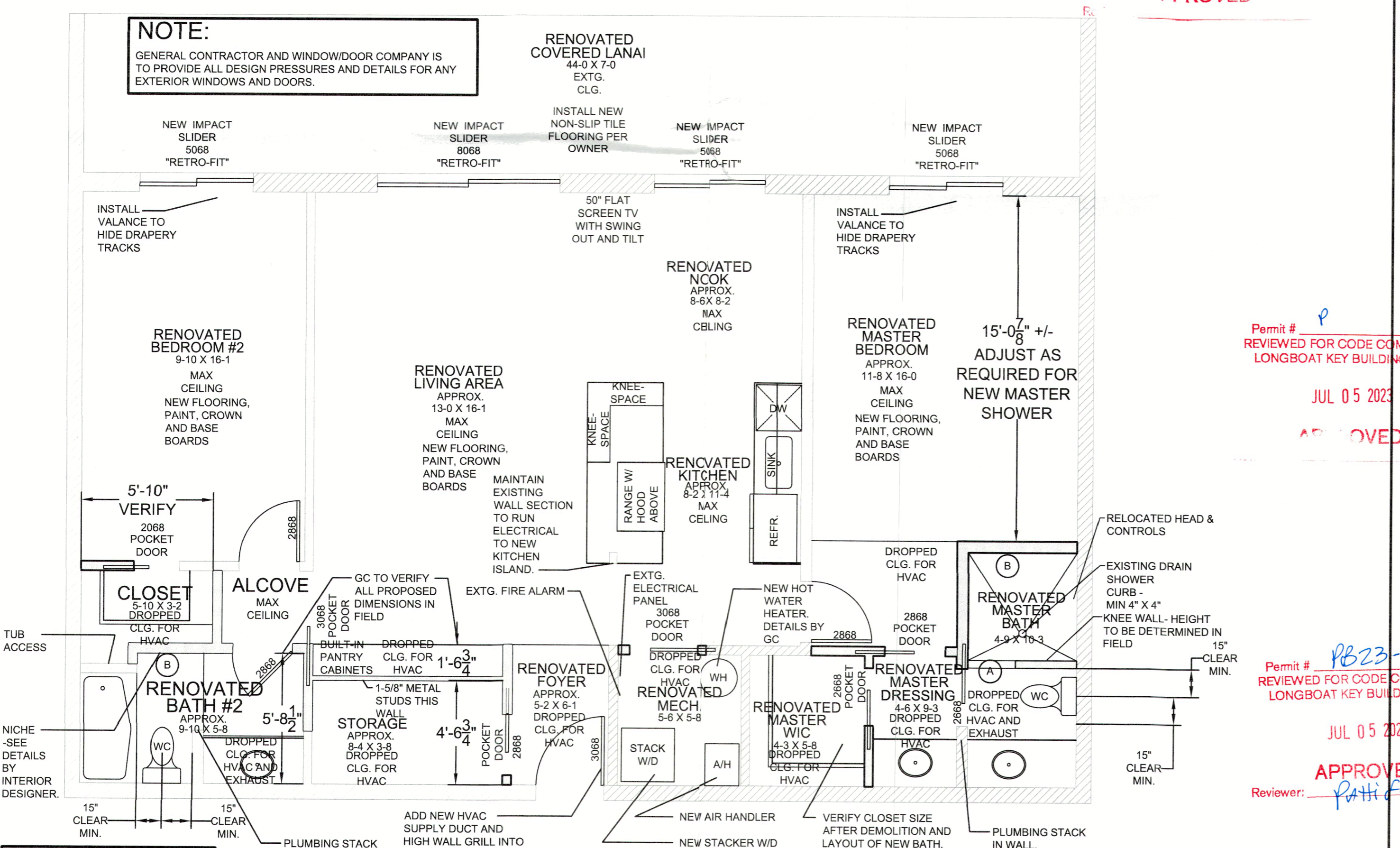
2.) RENOVATED MASTER DRESSING AREA:
NEW POCKET DOOR, HARDWARE AND CASING.
NEW POCKET DOOR FRAME, DRYWALL EACH SIDE.
NEW BASE MOLDINGS.
NEW SINK FAUCETS AND SINKS.
NEW COUNTERTOP, VANITY BASE CABINETS AND MIRROR.
NEW LVP FLOORING OVER APPROVED SOUND BARRIER.
NEW LIGHT SWITCH, RECEPTACLES AND LIGHT FIXTURES.
NEW DRYWALL AT WALLS AND CEILING.

NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW HVAC DUCT GRILL.
3.) RENOVATED MASTER CLOSET:
ADD NEW HVAC DUCT AND CEILING GRILL.
NEW SHELVING.
NEW CASED OPENING BETWEEN CLOSET AND DRESSING.
NEW BASE MOLDINGS.
NEW LVP FLOORING OVER APPROVED SOUND BARRIER.
NEW DRYWALL AT WALL AND CEILING TO METAL FRAMING.
NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW ELECTRICAL LIGHTING, SWITCHES AND OUTLETS.

4.) RENOVATED BATH #2:
NEW INTERIOR NON-LOAD BEARING METAL WALLS AS SHOWN.
NEW TILE WAJNSCOT.
NEW WATER CLOSET, WATER SUPPLY AND WAX RING.
NEW LVP FLOORING OVER APPROVED SOUND BARRIER.
NEW TUB
NEW SHOWER HEAD AND CONTROLS.
NEW DRYWALL AT CEILING OVER NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW CEILING GRILLS, ELECTRICAL LIGHTING, SWITCHES AND OUTLETS.

5.) RENOVATED KITCHEN:
INSTALL NEW SINK FAUCET, SINK, COUNTERTOPS, WALL CABINETS, BASE CABINETS, REFRIGERATOR, RANGE AND MICRO-WAVE.
NEW LVP FLOORING OVER APPROVED SOUND BARRIER.
NEW LIGHT SWITCHES AND CEILING LIGHTS.
NEW DRYWALL AT WALLS AND CEILINGS TO METAL FRAMING.
NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW HIGH WALL HVAC DUCT GRILL.
NEW BASE MOLDING AS NEEDED.
NEW DRYWALL AT WALLS AND CEILING.
NEW DROP CEILING FRAMING, MAXIMUM HEIGHT.
NEW HIGH WALL HVAC DUCT GRILL.
INSTALL NEW FRONT DOOR - FINAL SELECTION BY OWNER TO BE APPROVED BY CONDO ASSOCIATION.

6.) RENOVATED FOYER:
NEW BASE MOLDING AS NEEDED.
NEW LIGHT SWITCH, RECEPTACLES AND LIGHT FIXTURE.
NEW DRYWALL AT WALLS AND CEILING.
NEW DROP CEILING FRAMING, MAXIMUM HEIGHT.



NOTE:
REFER TO FINAL CABINET DRAWINGS BY OTHERS. ALL INFORMATION RELATED TO CABINETS, SHELVING, BUILT-INS AND INTERIOR TRIM DETAILS ARE TO BE OBTAINED FROM THE OWNER AND OR KITCHEN CABINET COMPANY. KITCHEN CABINET COMPANY IS RESPONSIBLE FOR ALL FIELD MEASUREMENTS AS THEY ARE RELATED TO CABINETS, SHELVING, BUILT-INS AND INTERIOR TRIM. ALL MEASUREMENTS FOR THE SAME ARE TO BE TAKEN AFTER ALL ROUGH FRAMING IS COMPLETED. MANUFACTURERS AND SUPPLIERS FOR ALL ABOVE ARE RESPONSIBLE FOR ALL FIELD MEASUREMENTS.

NOTE:
CONTRACTOR IS TO ENSURE RENOVATION IS DONE TO THE STANDARDS OF THE FBC 2020 7TH EDITION AND FIRE PROTECTION CODES.

NOTE:
CONTRACTOR IS TO VERIFY ALL EXISTING FIELD CONDITIONS AND MEASUREMENTS.

NOTE:
CONTRACTOR IS TO VERIFY ALL SELECTIONS WITH OWNER.

NOTE:
GENERAL CONTRACTOR IS TO VERIFY EXISTING DRYWALL BEING REMOVED AT ALL WALLS ADJACENT TO OTHER DWELLING UNIT(S) AND IS TO INSTALL NEW DRYWALL TO MEET EXISTING FIRE RATING AND TO RETURN RENOVATED WALL TO PRE CONSTRUCTION RATING.

NOTICE:
ALL INFORMATION PROVIDED MUST BE VERIFIED IN FIELD AND ANY MINOR ADJUSTMENTS ARE TO BE MADE BY CONTRACTOR IN FIELD. ANY STRUCTURAL CHANGES THAT APPEAR TO BE NEEDED MUST BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND HOME OWNER.

LEGEND:

- EXISTING WALLS TO REMAIN
- NEW METAL FRAME WALLS
- (A) - TEMPERED GLASS SHOWER DOOR AND TEMPERED FIXED PANELS
- (B) - RECESS SHAMPOO NICHE T.B.D.

RENOVATION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

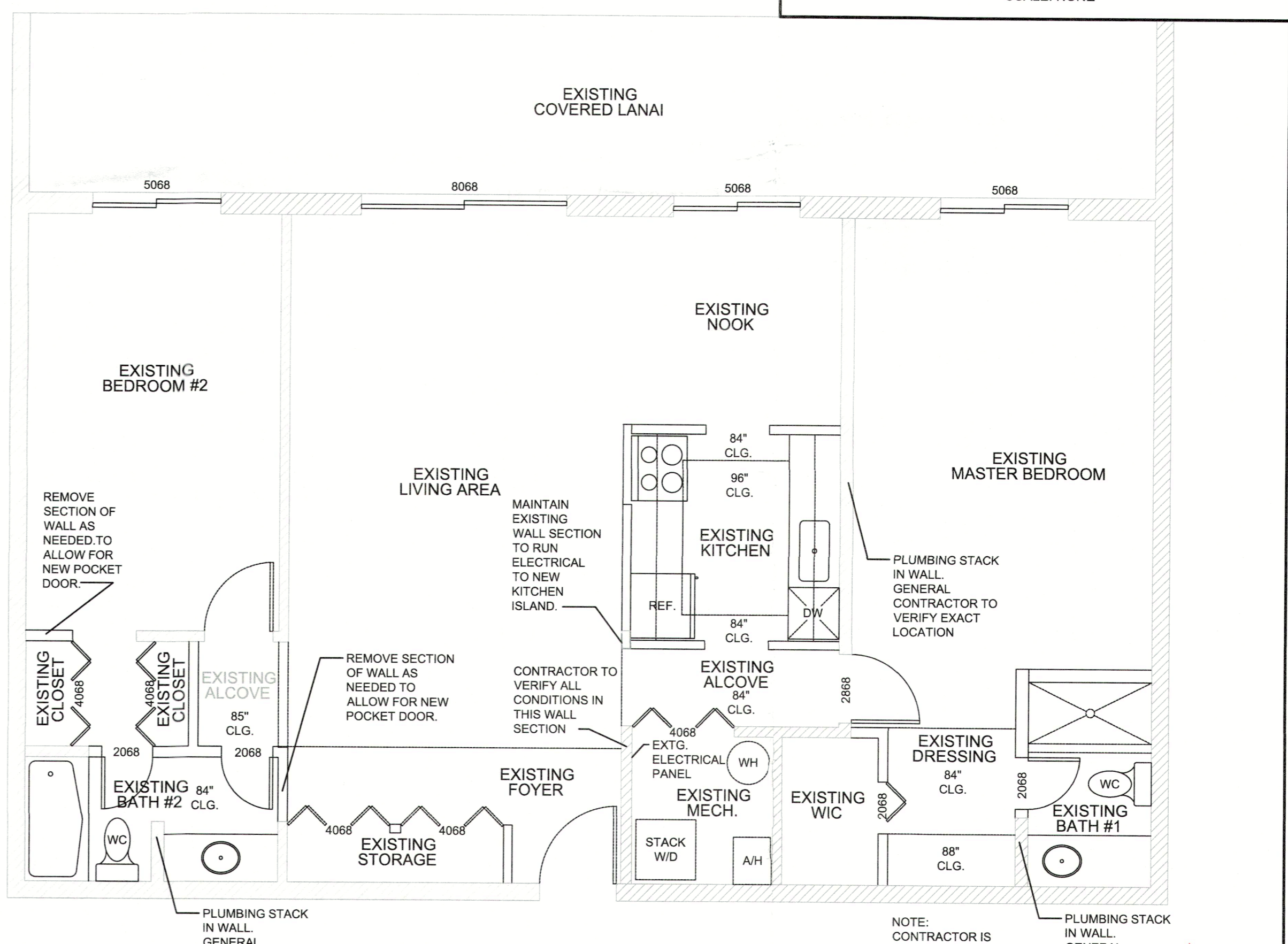
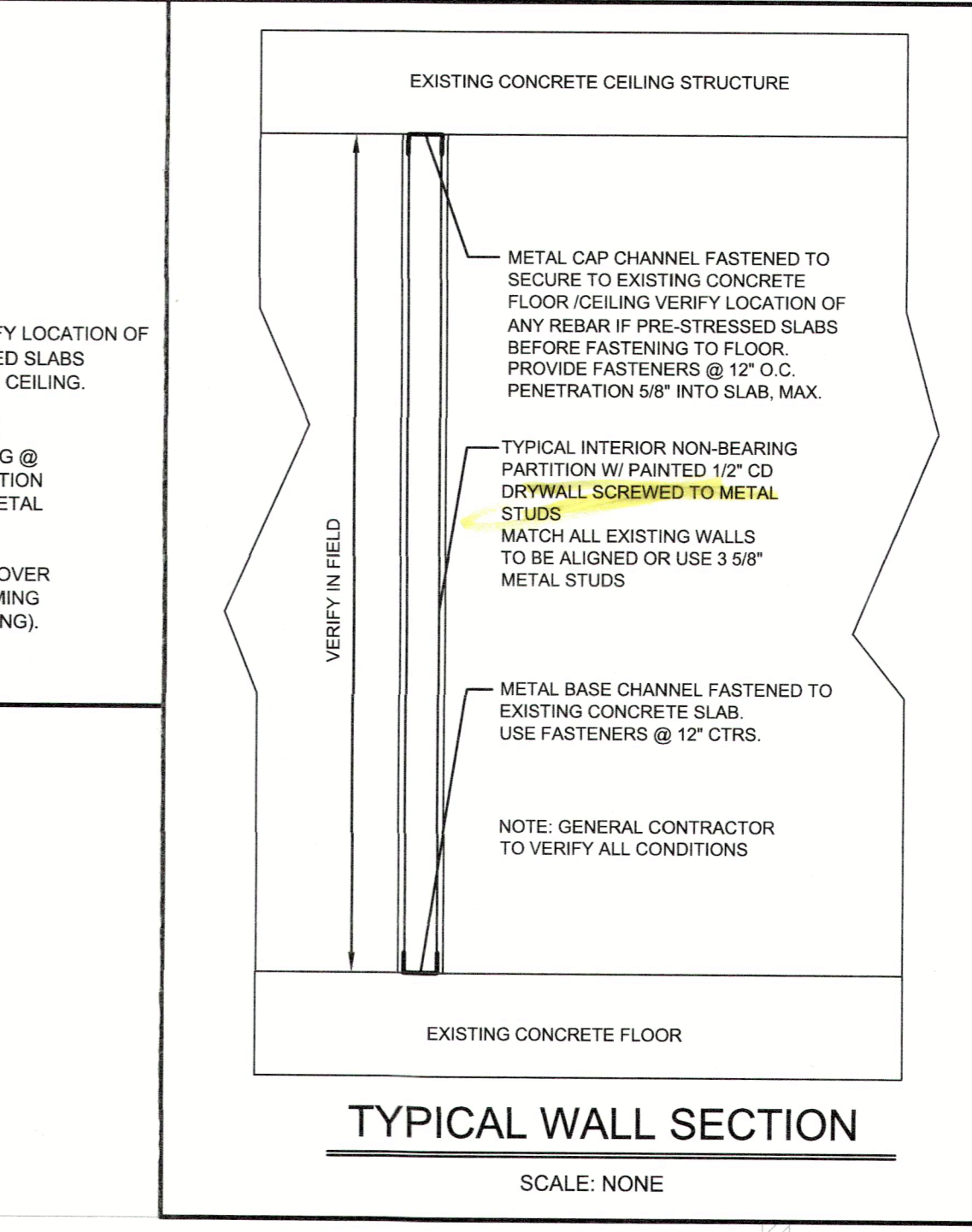
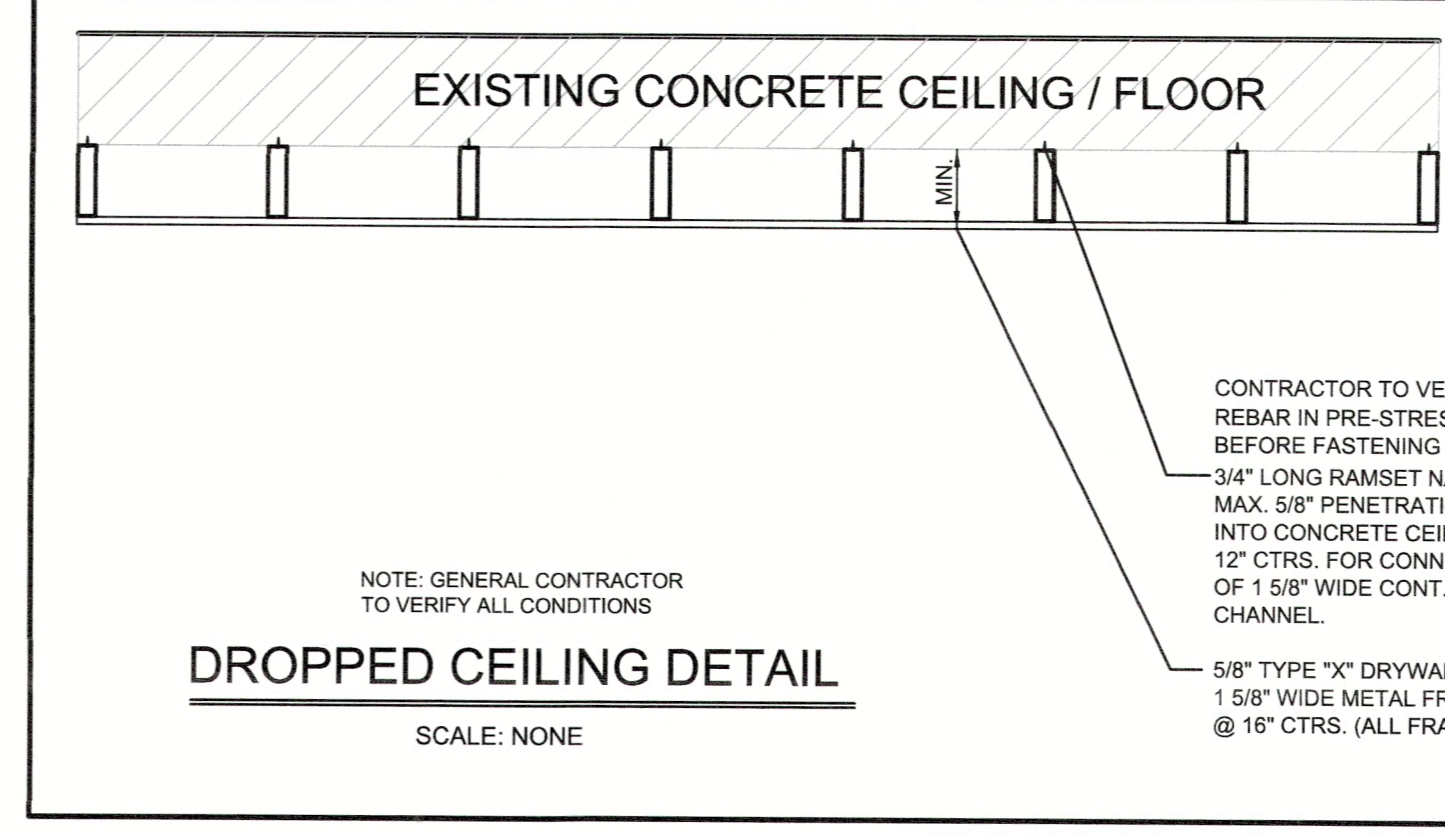
DEMO ENTIRE KITCHEN
REMOVE ALL EXISTING DOORS, JAMBS, HARDWARE AND CASING.
REMOVE ALL FLOORING
REMOVE ALL CABINETRY, COUNTERTOPS, MIRRORS, SINKS FAUCETS IN BATHROOMS
REMOVE TUB IN GUEST BATH
REMOVE SHOWER IN MASTER BATH - TILE, FIXTURES, ETC.
REMOVE ALL WATER CLOSETS
REMOVE WALLS AS SHOWN. GC TO VERIFY ALL CONDITIONS

DEMOLITION NOTES:

REMOVE HVAC TRUNK LINES AND GRILLS AS REQUIRED
REMOVE ALL ELECTRICAL FIXTURES
REMOVE ALL ELECTRICAL FACEPLATES AND SWITCHES
REMOVE DROPPED CEILINGS AS NEEDED.
REMOVE EXTERIOR SLIDING GLASS DOOR.
REMOVE EXISTING W/D STACKER UNIT
REMOVE EXISTING AIR HANDLER
REMOVE EXISTING HOT WATER HEATER.
REMOVE ANY CASING, BASEBOARD AND CROWN MOLDINGS

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



Permit # [redacted]
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.
JUL 05 2023
APPROVED

Permit # [redacted]
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.
JUL 05 2023
APPROVED

Permit # PB23-0682
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.
JUL 05 2023
APPROVED
Reviewer: [signature]

Plan no.

2023-16 A1.0

RECEIVED
TOWN OF LONGBOAT KEY
JUL 23 2023

EDGEWATER CONTRACTORS, INC.
1777 NORTHGATE Blvd, Suite 6
SARASOTA, FL 34234
PHONE NO: 941-366-1525
GCC-1509190

GC SIGNATURE

CUSTOM RENOVATION/ADDITION FOR:

JENNIFER AHLSTRAND

3115 GULF OF MEXICO DRIVE
UNIT #203
LONGBOAT KEY, FLORIDA 34228

JC Drafting & Design, Inc.
905 PONDER AVE, SUITE C
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Jon R. Coulthurst, President
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JC Drafting & Design, Inc.

REVISIONS:

NO.	DESCRIP:	BY	DATE

SCALE: AS SHOWN

DATE: 5-29-2023

SHEET TITLE:
AS-BUILT
DEMOLITION PLAN
AND RENOVATION
PLAN

SHEET NO.
A1.0

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TOWN OF LONGBOAT KEY
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Bldg Permit Plans
Copy of Report

ELECTRICAL KEY

- ground fault circuit interrupter
- duplex receptacle 110v
- 220v receptacle
- waterproof duplex receptacle
- ceiling receptacle
- recessed floor receptacle
- t.v. antenna outlet
- phone outlet
- single pole switch
- three way switch
- four way switch
- dimmer switch
- push button
- door bell
- intercom speaker
- exhaust fan
- exhaust fan w/heat
- exhaust fan w/light
- exhaust fan w/heat & light
- exhaust fan at range hood
- wall mounted fixture
- porcelain fixture w/pull cord
- ceiling mounted light fixture
- standard 2-lite wrapped fluorescent #LB240
- ceiling fan
- ceiling fan w/light
- pre-wire & block for ceiling fan
- MASTER i/c master intercom unit
- garbage disposal
- instant hot water dispenser
- central vacuum unit
- junction box
- 220V DISCONNECT
- smoke detector w/ carbon monoxide detector
- thermostat
- chimes
- recess mounted can
- recess mounted eyeball spot
- recess mounted light fixture
- water/vaporproof r.m.c.
- flood lights
- heat lamps

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET 2017 N.E.C.
2. PROVIDE SINGLE PHASE SERVICE (UNDERGROUND)
3. PROVIDE ALL COPPER WIRING.
4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES.
5. CONTRACTOR TO HAVE VALID & CURRENT LICENSE TO DO ELECTRICAL WORK.
6. PROVIDE A MINIMUM OF 20 FEET OF NO. 4 AWG OR LARGER BARE COPPER ELECTRODE COMPLETELY ENCASED WITHIN THE CONCRETE FOOTING, EXITING THROUGH A NONMETALLIC SLEEVE. SLEEVE. OR CLAMP (ONE SUITABLE FOR DIRECT BURIAL) A NO. 4 AWG OR LARGER BARE COPPER CONDUCTOR TO A MINIMUM OF 1/2" X 20 FOOT STEEL REBAR, EXITING THROUGH A NONMETALLIC SLEEVE. (FOR THE PURPOSE OF GROUNDING)
7. NEW LIGHTS TO BE ON DIMMERS
8. ALL SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION 72, CHAPTER 2 AND ARE TO BE MOUNTED ON THE CEILING OR WALL @ A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH GROUP OF ROOMS USED FOR SLEEPING PURPOSES.
9. OUTLETS IN KITCHEN, BATHS, GARAGE AND EXTERIOR WITHIN 6'-0" OF A WATER SOURCE SHALL BE G.F.C.I. GROUND FAULT CIRCUIT INTERRUPT.
10. ALL OTHER OUTLETS TO BE A.F.C.I. ARC FAULT CIRCUIT INTERRUPT. EXCEPT WHERE REQUIRED G.F.C.I.
11. AT LEAST 75% OF ALL NEW LIGHTING WILL BE HIGH EFFICIENCY LIGHTING. SEE FB-ENERGY CONSERVATION (R-404.1)
12. PROVIDE IC RATED LIGHTING AT GROUND LEVEL.

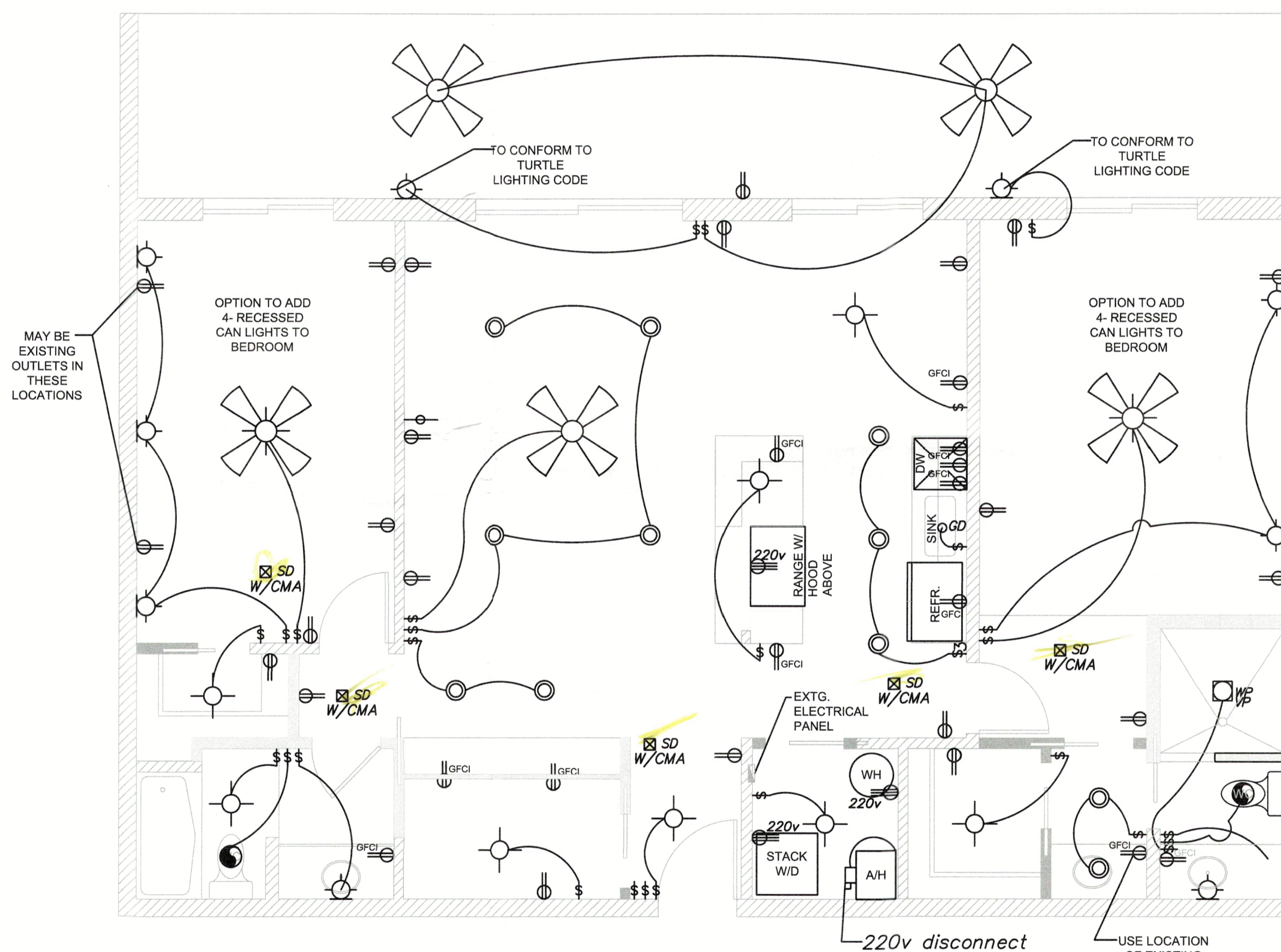
NOTE: FINAL LOCATIONS OF ALL NEW OR RELOCATED CEILING RECESSED LIGHT FIXTURES, FANS, FAN/LIGHT FIXTURES, CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, EXHAUST FANS AND HVAC SUPPLY AND RETURN AIR GRILLS TO BE DETERMINED IN THE FIELD, BY GENERAL CONTRACTOR AND SUB CONTRACTOR.

NOTE:
LOCATION OF ALL FLOOR OUTLETS, CEILING FIXTURES AND FANS TO BE DETERMINED IN FIELD

NOTE:
SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND IN EACH ROOM USED FOR SLEEPING PURPOSES.

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RENOVATED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

Plan no.

2023-16 E1.0

EDGEWATER CONTRACTORS, INC.
1777 NORTHGATE Blvd. Suite 6
SARASOTA, FL 34234
PHONE NO: 941-366-1525
CGC1509190

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Jon R. Coulthart, President
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REVISIONS:		
NO.	DESCRIP:	BY DATE

SCALE: AS SHOWN

DATE: 5-29-2023

SHEET TITLE:

RENOVATED ELECTRICAL PLAN

SHEET NO.
E1.0

BLDG PERMIT PLANS
FILE
Copy of Record

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JUN 2 3 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building