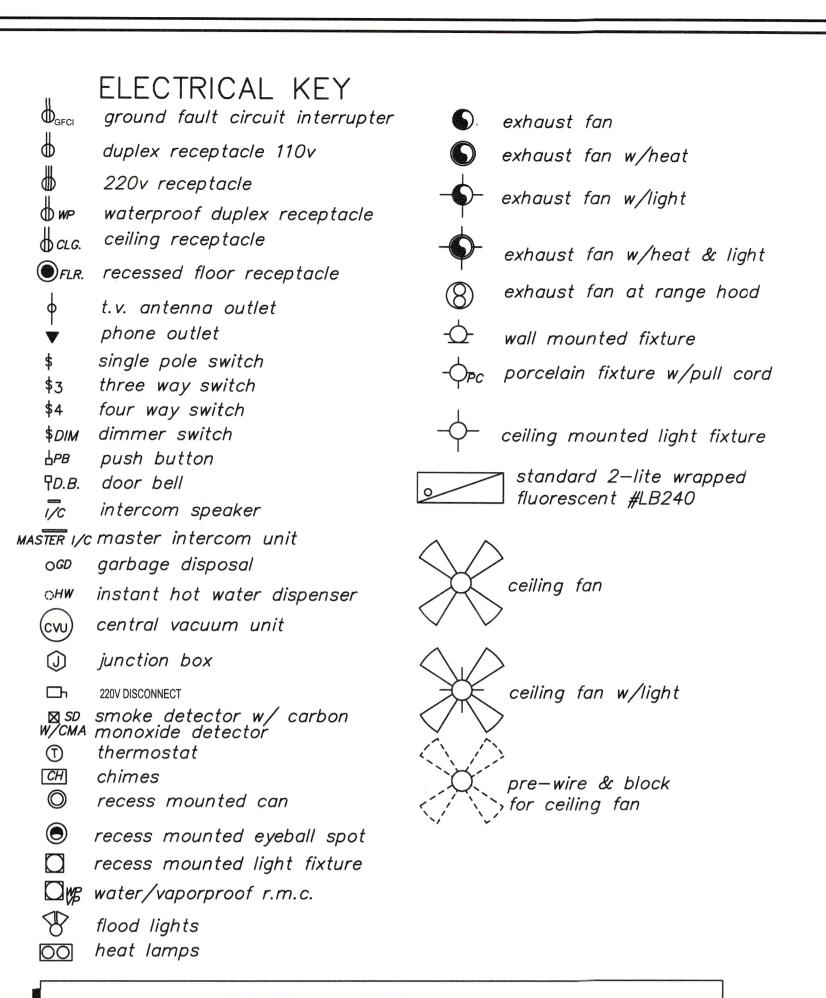
NOTE: NOTE: NON-STRUCTURAL **DESIGN CRITERIA** NOTE: ALL OTHER DETAILS, PLAN INDEX: Plan no. ALL OTHER JOB SPECIFICATION AND INTERIOR RENOVATION LAYOUTS, SPECIFICATIONS, PLUMBING, FIRE SPRINKLER, FINISH SPECIFICATIONS TO BE FURNISHED THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND THE MATERIALS HEATING, VENTILATION, AIR CONDITIONING. OCCUPANCY TYPE: R3 - CONSTRUCTION TYPE: VB TO GENERAL CONTRACTOR BY THE HOME OWNER ELECTRICAL TO BE SUPPLIED BY SUBCONTRACTORS ALTERATIONS ARE TO CONFORM TO CHAPTER 8 ALTERATIONS LEVEL 2 AS APPROVED BY THE HOMEOWNER. HEET A10 - DEMOLITION PLAN *DRAWINGS ARE NOT TO BE SCALED* AND ARE NOT PART OF THESE DRAWINGS. TO THE GENERAL CONTRACTOR. ANY CONDITIONS WHICH APPEAR IN ACCURATE SHALL BE BROUGHT TO THE GENERAL OF THE 2020 (7TH EDITION) FLORIDA BUILDING CODE: AND RENOVATION 2023-16 A1.0 CONTRACTOR'S ATTENTION AND CORRECTED. EXISTING BUILDING, 2020 (7TH EDITION) FLORIDA BUILDING CODE PLAN, DROPPED CEILING THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS AND VISIT THE JOB SITE BEFORE PLUMBING, FUEL, GAS AND MECHANICAL, THE NFPA, 2020 NEC., NOTE: IT WILL BE THE SUB CONTRACTOR'S AND OR DETAIL AND AND TO CONFORM TO THE CODES, ORDINANCES, RULES AND REGULATIONS OF STARTING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTORS MATERIAL SUPPLIER'S RESPONSIBILITY TO TAKE ALL FIELD TYPICAL WALL SECTION De Someth MEASUREMENTS BEFORE AND DURING THE RENOVATION THE TOWN OF LONGBOAT KEY AND SARASOTA COUNTY RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH NOTE: BUILDING IS NOT FIRE SPRINKLED AS REQUIRED FOR FABRICATION OFF SITE OR ON SITE FOR MINOR NON-STRUCTURAL MODIFICATIONS WITH ONLY THE OWNER'S APPROVAL. OCCUPANCY - FULL TIME RESIDENTIAL SHEET E1.) - ELECTRICAL PLAN. WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY ALL MATERIALS OR PRODUCTS BEING USED AND INSTALLED ON THIS PROJECT. THESE PLANS ARE NOT TO BE SCALED ELECTRICAL NOTES, JUN 2 3 2023 PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL WORK WILL BE PERFORMED BY A LICENSED CONTRACTOR ELECTRICAL ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. IN ORDER TO PROVIDE ANY FINAL REQUIRED DIMENSIONS OR INFORMATION FOR ANY PRODUCTS FABRICATED OR SUPPLIED. WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. GENERAL CONTRACTOR IS TO VERIFY ALL WORK FEASIBILITY WITH CONDO ASSOCIATION THE GENERAL CONTRACTOR SHALL BE LIABLE FOR ALL WORK BEING DONE* **RENOVATION NOTES:** EXISTING CONCRETE CEILING / FLOOR 1.) RENOVATED MASTER BATH: EXISTING CONCRETE CEILING STRUCTURE NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT. 5.) RENOVATED KITCHEN: NEW SWING DOOR, HARDWARE, JAMB AND CASING. NEW HVAC DUCT GRILL. INSTALL NEW SINK FAUCET, SINK, COUNTERTOPS, WALL CABINETS, NEW WATER CLOSET/BIDET (BRAND BY OWNER), WATER SUPPLY AND BASE CABINETS, REFRIGERATOR, RANGE AND MICRO-WAVE. 3.) RENOVATED MASTER CLOSET: NEW LVP FLOORING OVER APPROVED SOUND BARRIER. NEW LVP FLOORING OVER APPROVED SOUND BARRIER. ADD NEW HVAC DUCT AND CEILING GRILL - METAL CAP CHANNEL FASTENED TO NEW LIGHT SWITCHES AND CEILING LIGHTS EDGI CONTRA SECURE TO EXISTING CONCRETE NEW LIGHT SWITCHES AND CEILING LIGHTS. NEW SHELVING. FLOOR /CEILING VERIFY LOCATION OF NEW DRYWALL AT WALLS AND CEILINGS TO METAL FRAMING. ANY REBAR IF PRE-STRESSED SLABS NEW DRYWALL AT WALLS AND CEILINGS. NEW CASED OPENING BETWEEN CLOSET AND DRESSING. CONTRACTOR TO VERIFY LOCATION OF BEFORE FASTENING TO FLOOR. NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT. REBAR IN PRE-STRESSED SLABS PROVIDE FASTENERS @ 12" O.C. NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT. NEW BASE MOLDINGS. BEFORE FASTENING TO CEILING. PENETRATION 5/8" INTO SLAB, MAX. NEW HIGH WALL HVAC DUCT GRILL -3/4" LONG RAMSET NAIL NEW FRAMELESS TEMPERED GLASS SHOWER DOOR AND FRAMELESS NEW LVP FLOORING OVER APPROVED SOUND BARRIER. MAX. 5/8" PENETRATION TEMPERED FIXED GLASS PANELS. TYPICAL INTERIOR NON-BEARING NEW BASE MOLDING AS NEEDED. INTO CONCRETE CEILING @ PARTITION W/ PAINTED 1/2" CD 12" CTRS. FOR CONNECTION NEW SHOWER HEAD, CONTROLS AND FLOOR DRAIN. NEW DRYWALL AT WALL AND CEILING TO METAL FRAMING. NOTE: GENERAL CONTRACTOR DRYWALL SCREWED TO METAL 6.) RENOVATED FOYER: OF 1 5/8" WIDE CONT. METAL TO VERIFY ALL CONDITIONS CHANNEL MATCH ALL EXISTING WALLS NEW CURB SILL (MIN 4" X 4"), SHOWER PAN (OVER APPROVED SOUND NEW METAL DROP CEILING FRAMING, MAXIMUM HEIGHT. NEW BASE MOLDING AS NEEDED. DROPPED CEILING DETAIL TO BE ALIGNED OR USE 3 5/8" BARRIER) WALL AND FLOOR TILE. - 5/8" TYPE "X" DRYWALL OVER METAL STUDS NEW ELECTRICAL LIGHTING, SWITCHES AND OUTLETS. NEW LIGHT SWITCH, RECEPTACLES AND LIGHT FIXTURE. 1 5/8" WIDE METAL FRAMING NEW DRYWALL TO METAL STUDS. @ 16" CTRS. (ALL FRAMING). SCALE: NONE NEW DRYWALL AT WALLS AND CEILING. NEW CEILING DUCT GRILLS. 4.) RENOVATED BATH #2: NEW DROP CEILING FRAMING, MAXIMUM HEIGHT - METAL BASE CHANNEL FASTENED TO NEW COUNTERTOP, VANITY BASE CABINETS, AND MIRROR NEW INTERIOR NON-LOAD BEARING METAL WALLS AS SHOWN. EXISTING CONCRETE SLAB. OR NEW HIGH WALL HVAC DUCT GRILL. USE FASTENERS @ 12" CTRS. 2.) RENOVATED MASTER DRESSING AREA: NEW TILE WAINSCOT INSTALL NEW FRONT DOOR - FINAL SELECTION BY OWNER TO BE NEW POCKET DOOR, HARDWARE AND CASING. NEW WATER CLOSET, WATER SUPPLY AND WAX RING. APPROVED BY CONDO ASSOCIATION. LION NOTE: GENERAL CONTRACTOR NEW POCKET DOOR FRAME, DRYWALL EACH SIDE. NEW LVP FLOORING OVER APPROVED SOUND BARRIER. TO VERIFY ALL CONDITIONS NEW BASE MOLDINGS. **NEW TUB** 2 NEW SINK FAUCETS AND SINKS. NEW SHOWER HEAD AND CONTROLS. DRIV NEW COUNTERTOP, VANITY BASE CABINETS AND MIRROR NEW DRYWALL AT CEILING OVER NEW METAL DROP CEILING FRAMING, REVIEWED FOR CODE COMPLETINE MAXIMUM HEIGHT AD LONGBOAT KEY BUILDING DEFT. NEW LVP FLOORING OVER APPROVED SOUND BARRIER. EXISTING CONCRETE FLOOR NEW CEILING GRILLS, ELECTRICAL LIGHTING, SWITCHES AND NEW LIGHT SWITCH, RECEPTACLES AND LIGHT FIXTURES. OUTLETS. JUL 0 5 2023 TYPICAL WALL SECTION NEW DRYWALL AT WALLS AND CEILING. PPROVED SCALE: NONE NOTE: RENOVATED COVERED LANAI GENERAL CONTRACTOR AND WINDOW/DOOR COMPANY IS TO PROVIDE ALL DESIGN PRESSURES AND DETAILS FOR ANY EXTG. EXTERIOR WINDOWS AND DOORS. CLG. **COVERED LANAI** INSTALL NEW NON-SLIP TILE NEW IMPACT NEW IMPACT **NEW IMPACT** SLIDER FLOORING PER SLIDER SLIDER SLIDER OWNER 0 \(\cdot \) 5068 8068 5068 "RETRO-FIT" "RETRO-FIT" "RETRO-FIT" "RETRO-FIT" 5068 50" FLAT INSTALL -SCREEN TV VALANCE TO WITH SWING VALANCE TO HIDE DRAPERY **OUT AND TILT** HIDE DRAPERY TRACKS RENOVATED NCOK APPROX. 8-6X 8-2 EXISTING NOOK NAX RENOVATED MASTER CELING Permit # $15'-0\frac{7}{9}" +/-$ RENOVATED BEDROOM #2 EXISTING BEDROOM #2 REVIEWED FOR CODE COMPLIANCE **BEDROOM ADJUST AS** LONGBOAT KEY BUILDING DEPT. 9-10 X 16-1 RENOVATED LIVING AREA REQUIRED FOR 11-8 X 16-0 CEILING MAX **NEW MASTER** JUL 05 2 APPROX. **NEW FLOORING** CEILING 13-0 X 16-1 SHOWER EXISTING MASTER BEDROOM PAINT, CROWN NEW FLOORING, MAX AND BASE EXISTING LIVING AREA PAINT, CROWN CEILING BOARDS AND BASE **NEW FLOORING BOARDS** MAINTAIN PAINT, CROWN SECTION OF **EXISTING** AND BASE MAINTAIN WALL SECTION **EXISTING** BOARDS NEEDED.TO **EXISTING** TO RUN KITCHEN ALLOW FOR WALL SECTION NAX **VERIFY ELECTRICAL** - PLUMBING STACK **NEW POCKET** TO RUN -RELOCATED HEAD & CELING IN WALL. TO NEW DOOR. **ELECTRICAL GENERAL** KITCHEN POCKET TO NEW CONTRACTOR TO DROPPED CLG. FOR ISLAND. -DOOR KITCHEN VERIFY EXACT LOCATION GC TO VERIFY —
ALL PROPOSED ALCOVE ELECTRICAL EXTG. FIRE ALARM -CURB -MENSIONS IN REMOVE SECTION EXISTING MIN 4" X 4" CONTRACTOR TO OF WALL AS **CEILING** FIELD **ALCOVE** -KNEE WALL- HEIGHT VERIFY ALL NEEDED TO REVISIONS: POCKET **DETAILS BY** POCKET CONDITIONS IN TO BE DETERMINED IN ALLOW FOR NEW DOOR DOOR HVAC___ **FIELD** THIS WALL POCKET DOOR. **ACCESS** DROPPED NO. DESCRIP: DATE PANTRY CLG. FOR $1'-6\frac{3}{4}$ " SECTION -CLEAR RENOVATED FOYER Permit # __ CLG. FOR **EXISTING** MIN. OMPLIANCE DRESSING REVIEWED FOR COD RENOVATED. ELECTRICAL(WH) RENOVATED BATH #2 1-5/8" METAL APPROX. 5-2 X 6-1 DRESSING DROPPED WC DING DEPT. LONGBOAT KEY BUI EXISTING FOYER PANEL STUDS THIS MECH 5-6 X 5-8 (wc) EXISTING 84" BATH #2 CLG. 4-6 X 9-3 & CLG. FOR DROPPED & HVAC AND CLG. FOR EXHAUST CLG. EXISTING MECH. STORAGE EXISTING & DROPPED EXISTING T BATH #1 CLG. FOR NICHE --SEE STACK **DETAILS EXISTING** CLG. FOR CLG. FOR CLEAR-**APPROV** W/D STORAGE CLG. INTERIOR DESIGNER. ADD NEW HVAC NEW AIR HANDLER VERIFY CLOSET SIZE --- PLUMBING STACK CLEAR-- PLUMBING STACK SUPPLY DUCT AND NOTE: AFTER DEMOLITION AND - PLUMBING STACK MIN. IN WALL. IN WALL. HIGH WALL GRILL INTO CONTRACTOR IS - PLUMBING STACK NEW STACKER W/D LAYOUT OF NEW BATH. **GENERAL GENERAL** TO VERIFY ALL IN WALL. INCREASE SIZE IF LAYOUT GENERAL CONTRACTOR TO SCALE: AS SHOWN CONTRACTOR TO EXISTING WALLS **GENERAL** CONTRACTOR TO REFER TO FINAL CABINET DRAWINGS VERIFY EXACT CONTRACTOR TO ARE NOT LOCATION NOTE: STRUCTURAL VERIFY EXACT LOCATION **DEMOLITION NOTES: DEMOLITION NOTES** LL INFORMATION RELATED TO ABINETS, SHELVING, BUILT-INS AND DATE: 5-29-2023 GENERAL CONTRACTOR IS VERIFY EXISTING DRYWALL CONTRACTOR NTERIOR TRIM DETAILS ARE TO BE SHALL VERIFY LEGEND: **CONTRACTOR IS** BEING REMOVED AT ALL WALLS ADJACENT TO OTHER DEMO ENTIRE KITCHEN OBTAINED FROM THE OWNER AND OR LOCATION OF ALI **CONTRACTOR IS** DWELLING UNIT(S) AND IS TO INSTALL NEW DRYWALL TO O ENSURE REMOVE HVAC TRUNK LINES AND GRILLS AS REQUIRED KITCHEN CABINET COMPANY PLUMBING, HVAC SHEET TITLE: MEET EXISTING FIRE RATING AND TO RETURN RENOVATED TO VERIFY ALL RENOVATION IS REMOVE ALL EXISTING DOORS, JAMBS, HARDWARE AND CASING KITCHEN CABINET COMPANY IS RESPONSIBLE AND ELECTRICAL **EXISTING FIELD** DONE TO THE REMOVE ALL ELECTRICAL FIXTURES - EXISTING WALLS TO REMAIN FOR ALL FIELD MEASUREMENTS AS **CONDITIONS AND** REMOVE ALL FLOORING **AS-BUILT** STANDARDS OF THEY ARE RELATED TO CABINETS, **MEASUREMENTS** NEW METAL FRAME WALLS. THE FBC 2020 7TH REMOVE ALL ELECTRICAL FACEPLATES AND SWITCHES SHELVING, BUILT-INS AND INTERIOR **DEMOLITION PLAN** REMOVE ALL CABINETRY, COUNTERTOPS, MIRRORS, SINKS LEGEND: DITION AND FIR FAUCETS IN BATHROOMS PROTECTION REMOVE DROPPED CEILINGS AS NEEDED - TEMPERED GLASS SHOWER DOOR AN AND RENOVATION ALL INFORMATION PROVIDED CODES. TEMPERED FIXED PANELS. EXISTING WALLS TO REMAIN ARE TO BE TAKEN AFTER ALL ROUGH MUST BE VERIFIED IN FIELD CONTRACTOR IS REMOVE EXTERIOR SLIDING GLASS DOOR RAMING IS COMPLETED. PLAN - RECESS SHAMPOO NICHE T.B.D. TO VERIFY ALL AND ANY MINOR ADJUSTMENTS DEMOLITION MANUFACTURER'S AND SUPPLIERS FOR REMOVE SHOWER IN MASTER BATH - TILE, FIXTURES, ETC REMOVE EXISTING W/D STACKER UNIT SELECTIONS WITH ARE TO BE MADE BY CONTRACTOR ALL THE ABOVE ARE RESPONSIBLE FOR OWNER. IN FIELD. ANY STRUCTURAL SHEET NO. REMOVE ALL WATER CLOSETS RENOVATION PLAN REMOVE EXISTING AIR HANDLER CHANGES THAT APPEAR TO **DEMOLITION PLAN** BE NEEDED MUST BE BROUGHT THESE DRAWINGS ARE NOT TO BE SCALED. * REMOVE WALLS AS SHOWN. GC TO VERIFY ALL CONDITIONS REMOVE EXISTING HOT WATER HEATER TO THE ATTENTION OF THE GENERAL CONTRACTOR AND SCALE: 1/4" = 1'-0" REMOVE ANY CASING, BASEBOARD AND CROWN MOLDINGS SCALE: 1/4" = 1'-0" COPYRIGHT - 2023 - JC DRAFTING & DESIGN, INC. HOME OWNER.

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ELECTRICAL NOTES . ALL ELECTRICAL TO MEET 2017 N.E.C. 7. NEW LIGHTS TO BE ON DIMMERS 2. PROVIDE SINGLE PHASE 8. ALL SMOKE DETECTORS ARE TO BE SERVICE (UNDERGROUND) INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION 3. PROVIDE ALL COPPER WIRING. ASSOCIATION 72, CHAPTER 2 AND ARE TO BE MOUNTED ON THE CONTRACTOR TO CONNECT ALL CEILING OR WALL @ A POINT FIXTURES AND APPLIANCES. CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING . CONTRACTOR TO HAVE VALID & ACCESS TO EACH GROUP OF CURRENT LICENSE TO DO ROOMS USED FOR SLEEPING ELECTRICAL WORK. PURPOSES. 9. OUTLETS IN KITCHEN, BATHS, GARAGE 6. PROVIDE A MINIMUM OF 20 FEET OF AND EXTERIOR WITHIN 6'-0" OF A NO. 4 AWG OR LARGER BARE WATER SOURCE SHALL BE G.F.C.I. COPPER ELECTRODE COMPLETELY GROUND FAULT CIRCUIT INTERRUPT. ENCASED WITHIN THE CONCRETE FOOTING, EXITING THROUGH A NONMETALLIC SLEEVE. 10. ALL OTHER OUTLETS TO BE A.F.C.I. SLEEVE. ARC FAULT CIRCUIT INTERRUPT. EXCEPT WHERE REQUIRED G.F.C.I. CLAMP (ONE SUITABLE FOR DIRECT

NOTE: FINAL LOCATIONS OF ALL NEW OR RELOCATED CEILING RECESSED LIGHT FIXTURES, FANS, FAN/LIGHT FIXTURES, CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, EXHAUST FANS AND HVAC SUPPLY AND RETURN AIR GRILLS TO BE DETERMINED

LOCATION OF ALL FLOOR OUTLETS, CEILING FIXTURES AND FANS TO BE DETERMINED IN FIELD

BURIAL) A NO. 4 AWG OR

CONDUCTOR TO A MINIMUM OF

1/2" X 20 FOOT STEEL REBAR,

(FOR THE PURPOSE OF GROUNDING)

LARGER BARE COPPER

EXITING THROUGH A NONMETALLIC SLEEVE.

IN THE FIELD, BY GENERAL CONTRACTOR AND SUB CONTRACTOR.

11. AT LEAST 75% OF ALL NEW LIGHTING WILL

FB-ENERGY CONSERVATION (R-404.1)

12. PROVIDE IC RATED LIGHTING AT GROUND LEVEL.

BE HIGH EFFICIENCY LIGHTING. SEE

TO CONFORM TO TO CONFORM TO TURTLE LIGHTING CODE LIGHTING CODE -00-OPTION TO ADD OPTION TO ADD 4- RECESSED 4- RECESSED CAN LIGHTS TO CAN LIGHTS TO MAY BE -BEDROOM BEDROOM **EXISTING OUTLETS IN** THESE LOCATIONS No FOR Z FC S \Rightarrow ⊠ SD W/CMA EXTG. ELECTRICAL PANEL STACK W/D └─220v disconnect -USE LOCATION OF EXISTING OUTLET.

RENOVATED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

CHANGE TO



BLDG PERMIT PLANEding
FILE
Copy of Record

Plan no.

NOTE:

AS APPROVED BY THE HOMEOWNER.

CONTRACTOR'S ATTENTION AND CORRECTED.

THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND THE MATERIALS

THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS AND VISIT THE JOB SITE BEFORE

IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY

STARTING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH

ANY CONDITIONS WHICH APPEAR IN ACCURATE SHALL BE BROUGHT TO THE GENERAL

MINOR NON-STRUCTURAL MODIFICATIONS WITH ONLY THE OWNER'S APPROVAL.

ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING.

PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES.

WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED.

THE GENERAL CONTRACTOR SHALL BE LIABLE FOR ALL WORK BEING DONE

2023-16 E1.0

EDGE CONTRACT

OF

GULF #203 BOAT JENNIFE AHLSTR 3115 GULF UNIT #203 LONGBOAT

RENOVATION/

JC **REVISIONS:** NO. DESCRIP: BY DATE

SCALE: AS SHOWN

DATE: 5-29-2023

SHEET TITLE:

RENOVATED ELECTRICAL PLAN SHEET NO.

NOTE: SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND IN EACH ROOM USED FOR SLEEPING PURPOSES.