

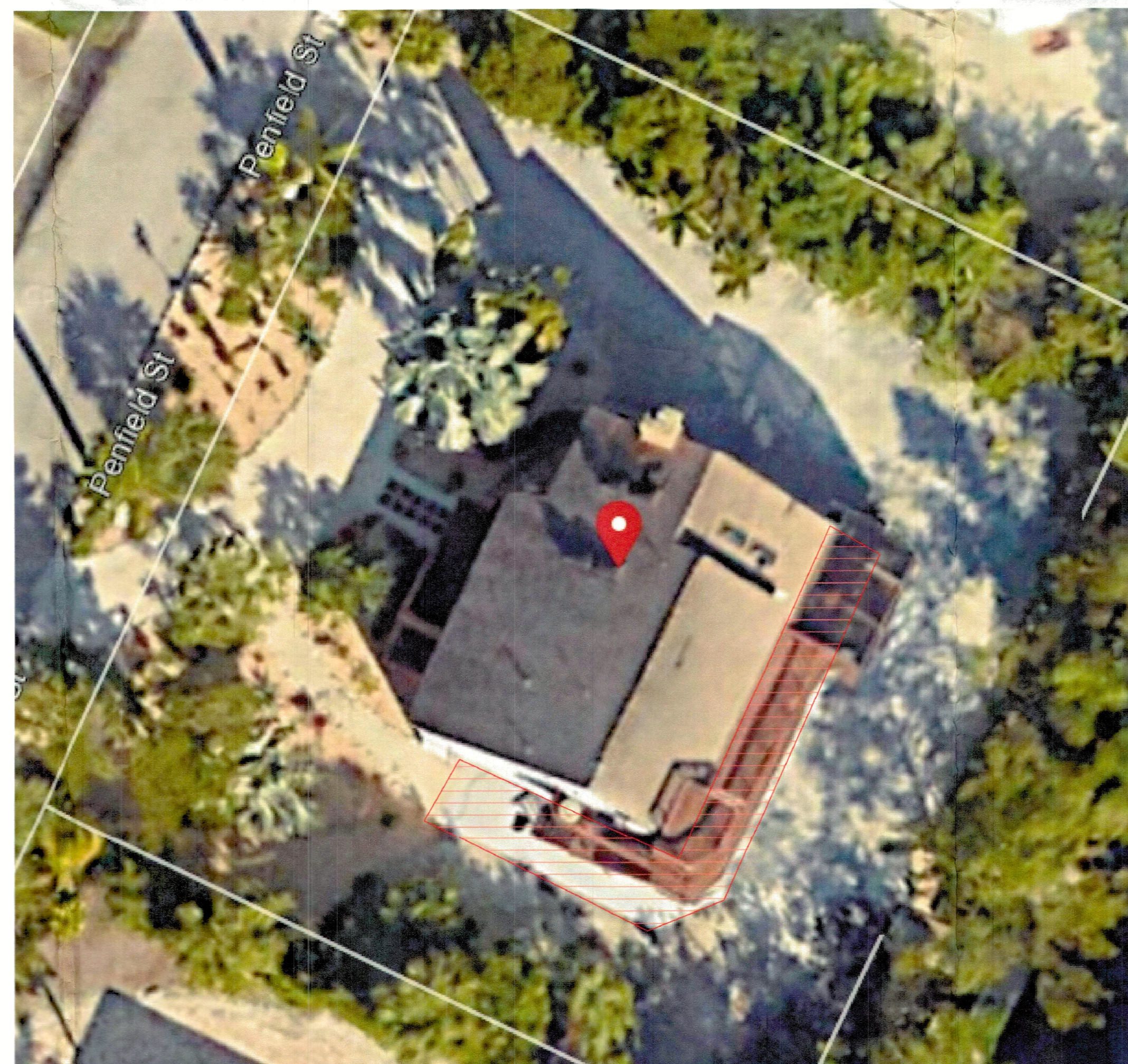
# Existing Slab Demo

Approximate dimensions:  
8' width x 65' lineal

Thickness:  
~4"

~520sf

Demo and remove slab from marked areas  
Cut any ties / bar at existing expansion joint



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION	Additional Info
1	4/13/24	RL			

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Slab Detail

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

5/17/2024

SCALE:

None

SHEET:

P-6B

# New Slab Detail

Approximate area:  
494sf Exterior, 180sf interior

Thickness:  
~4", thickened at landing post locations to ~8" +

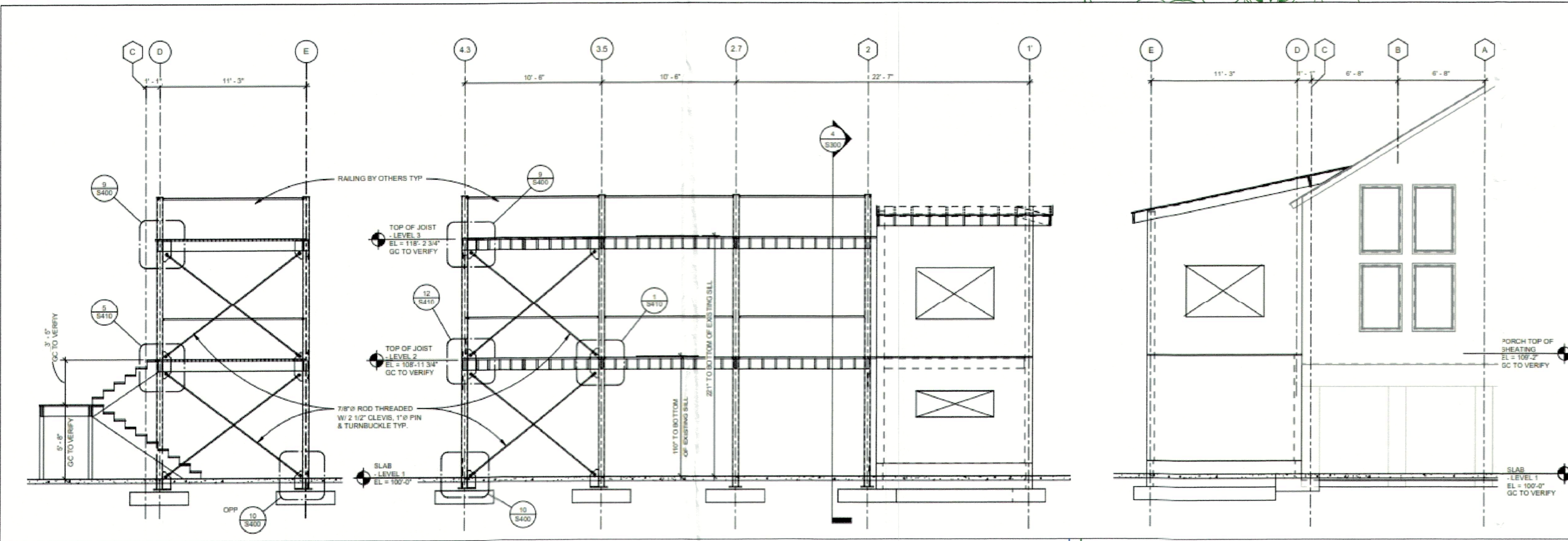
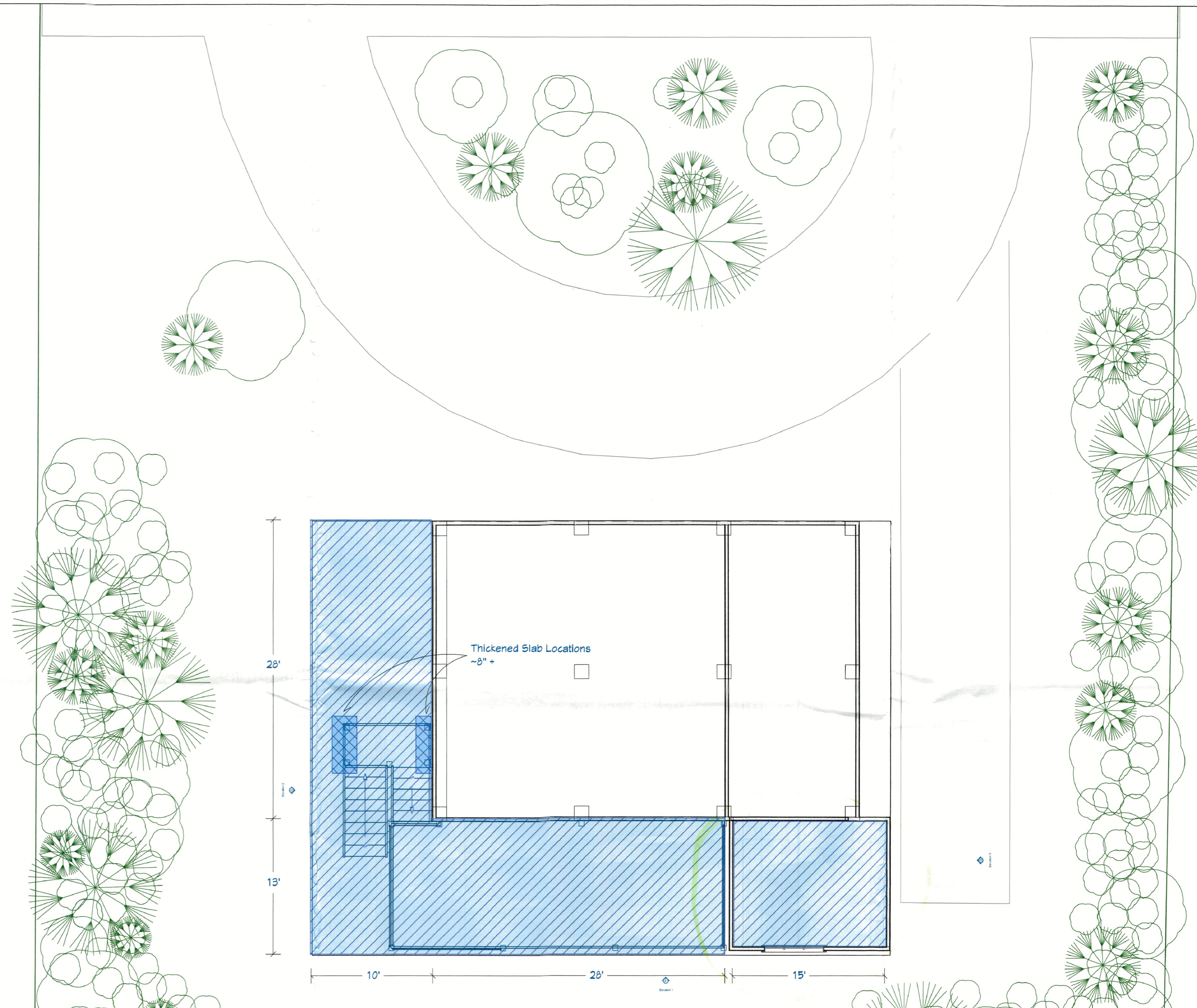
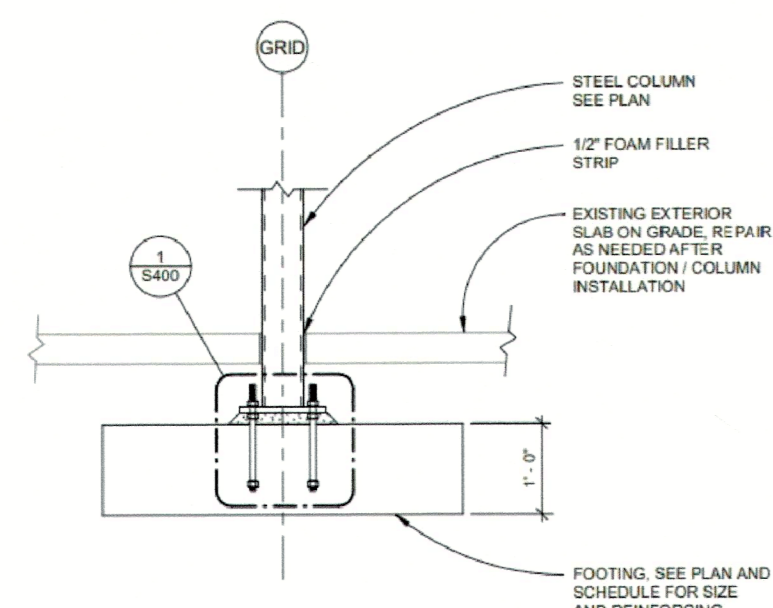
Slab on grade  
4" slab with fibermesh  
6 MIL V.B. / 6" LAP & TAPE  
Slope to drain as required

Interior area to receive bug treatment

Please see the included  
GEOTECHNICAL EXPLORATION  
670 PENFIELD STREET  
LONGBOAT KEY, MANATEE COUNTY;  
FL UES PROJECT NO.: 1130.2300535.0000  
UES REPORT NO.: 230535

Prepared by:  
Universal Engineering Sciences, LLC

See Page 7, Section 4.4, #4 & #6 for compaction requirements.  
The minimum density shall be 95 percent of the Modified  
Proctor maximum dry density (ASTM D-1557)



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION	ADDITIONAL INFO
1	4/15/24	RL			

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Slab Detail

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:  
5/17/2024

SCALE:  
None

SHEET:  
P-6C

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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

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FILE  
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# Scope of Work

Purpose of project is to remove an existing deck structure and enclosed screen porch that was built on cantilever supports from the existing home, and replace with a self supported two-story deck structure and conditioned addition to the NE corner of the home.

**General Items include:**

- Demo existing deck structure
- Excavate and pour new footers according to plan specs
- Erect new steel support structure
- Construct new deck consisting of:

- PT Lumber
- LVL / PSL / LSL Beams & Headers
- Composite Decking
- Powder Coat Steel Rails
- Powder Coat Steel Screen enclosure

- Construct new 2 story addition to NE Corner of existing structure
- No structural changes to existing home will occur
- All material used is to be specified by attached Engineering Plans
- \* First story addition will not be finished / conditioned space. Area to be used as storage.
- \* Second story addition will be finished / conditioned space added to home.

Powdercoat Screen Enclosure to be removed from plans and permits at this time

MECHANICAL, ELECTRICAL,  
AND PLUMBING REVIEWS  
WILL BE DEFERRED TO  
FIELD INSPECTORS



Permit # **PB24-0265**  
REVIEWED FOR CODE COMPLIANCE  
LONGBOAT KEY BUILDING DEPT.

APR 19 2024

APPROVED

Reviewer: *Jonathan*

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APR 18 2024

TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

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REVISION TABLE	DESCRIPTION
NUMBER	DATE
1	4/19/24
	Additional Info

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Design Proposal

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/18/2024

SCALE:

None

SHEET:

P-3

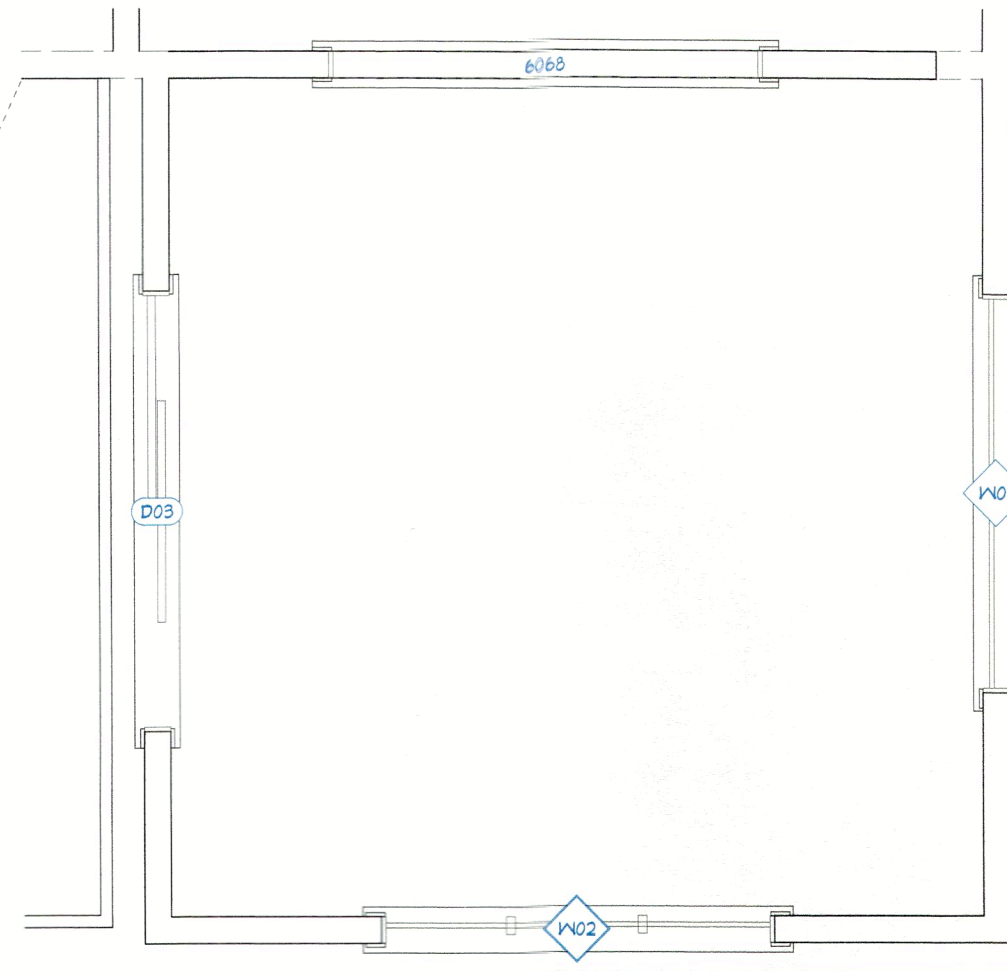
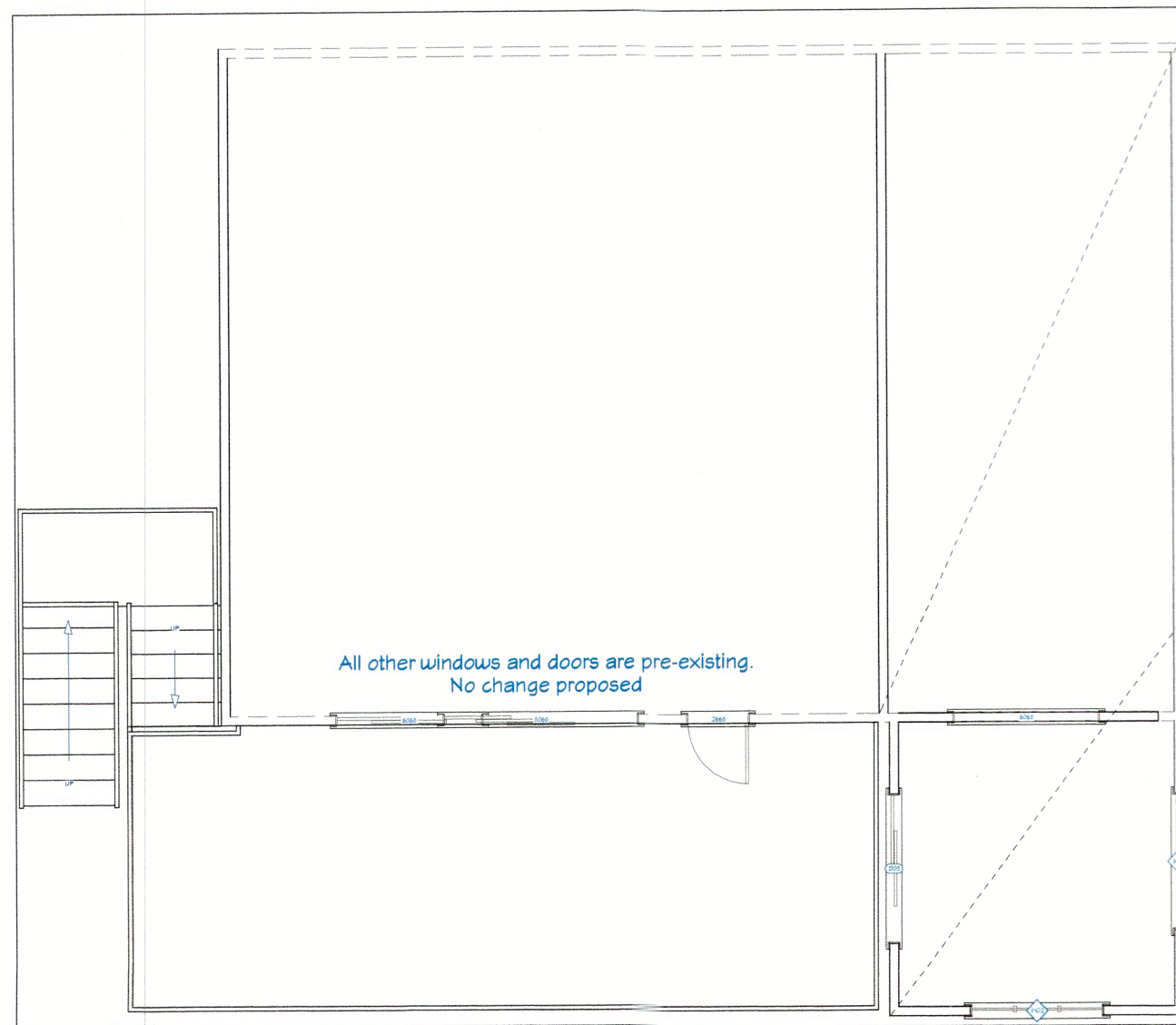
# Finish Specifications and NOA Information

Doors - See below for single new door; all other doors to remain the same.

Windows - See below for two new windows, all other windows to remain the same.

Siding - See permit PB24-0240 for NOA and other information.  
Work to be done by others.

Roofing - 1/2 OSB wood sheathing, Suprema Lastobond underlayment (see NOA 20-0701.03), CertainTeed Landmark Asphalt Shingles (see NOA 22-0614.01)  
Work to be done by others.



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Planning, Zoning & Building

Door Schedule						
3D Exterior Elevation	Number	Label	Qty	Floor	Size	Description
	D03	6068	1	1	6068 R IN	Series SGD-5140 Vinyl Sliding Glass Door See NOA specs (Pages 16-18)

Window Schedule						
3D Exterior Elevation	Number	Label	Qty	Floor	Size	Description
	W01	5113FX	2	1	5113FX	Series PW-5520 PVC Fixed Window See NOA specs (Pages 13-15)
	W02	5130TC	1	1	5130TC	Series HR-5510 PVC Horizontal Rolling Window See NOA specs (Pages 9-12)

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**FILE**  
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NUMBER	DATE	REVISION	DESCRIPTION	Additional Info
1	4/18/24	RL		

Getz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Door & Window Schedule

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/18/2024

SCALE:

None

SHEET:

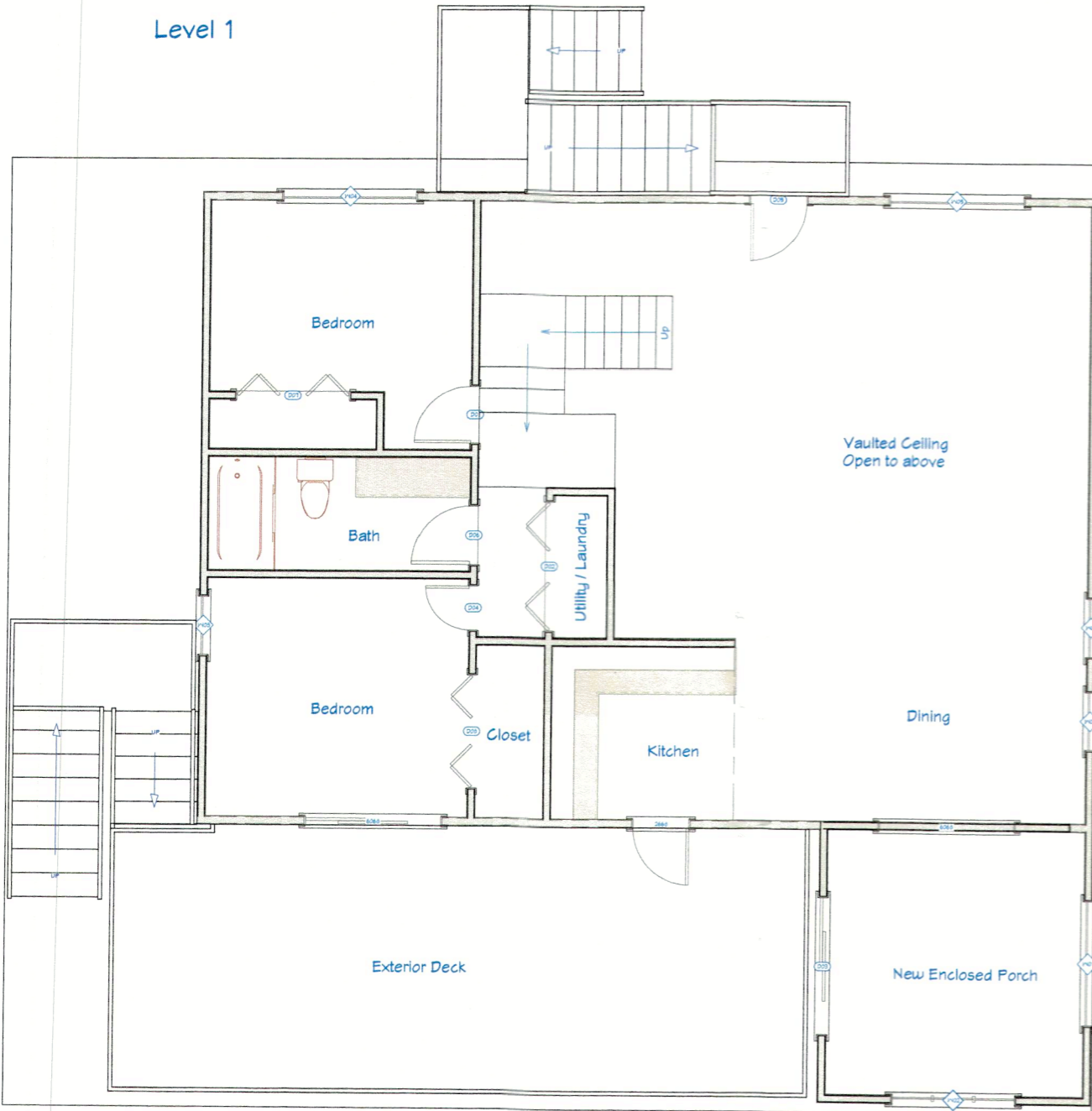
P-16

# Structure Layout / Egress Detail

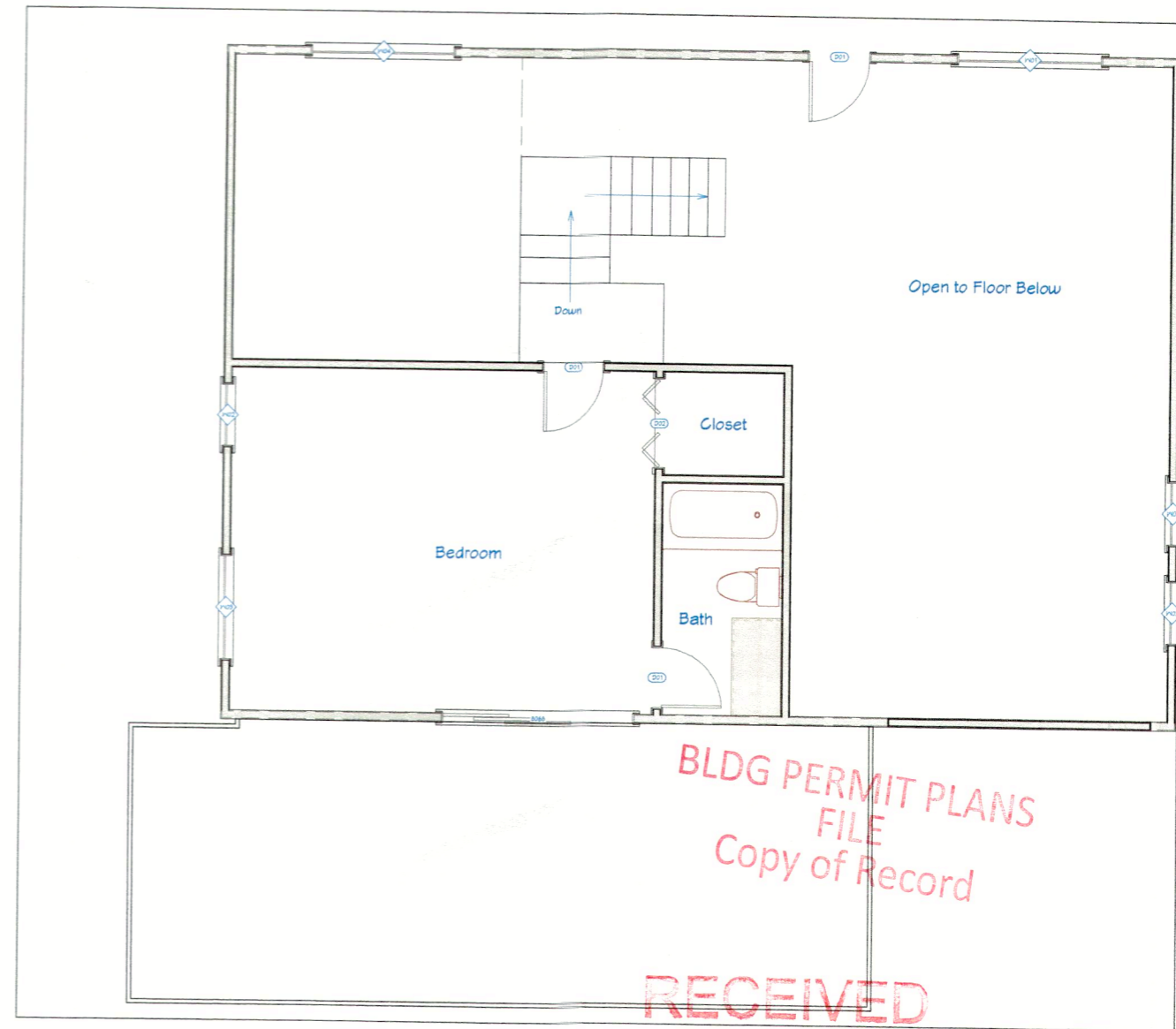


REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION	ADDITIONAL INFO
	1	4/18/24	RL		

Level 1



Level 2



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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

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Gertz, Todd  
670 Fenfield St  
Longboat Key, FL 34228

**Project Overview**  
Structure Layout / Egress Detail

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:  
4/18/2024

SCALE:  
None

SHEET:  
P-6A



NUMBER	DATE	REVISION TABLE	REVISION BY	DESCRIPTION	ADDITIONAL INFO
1	4/18/24	RL			

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Electrical Schedule

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/18/2024

SCALE:

None

SHEET:

P-16A

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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

Electrical Panel located in utility room on main floor

NO CHANGE

Electrical Schedule		
2D Symbol	Description	Comments
\$	4-Way Switch	
⊙	Caged Lantern Sconce	
⊕	Duplex	
⊙ <sub>R6</sub>	Recessed Down Light 6	
\$	Single Pole Switch	
⊕ <sub>WP</sub>	Duplex Weatherproof Receptacle	

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FILE  
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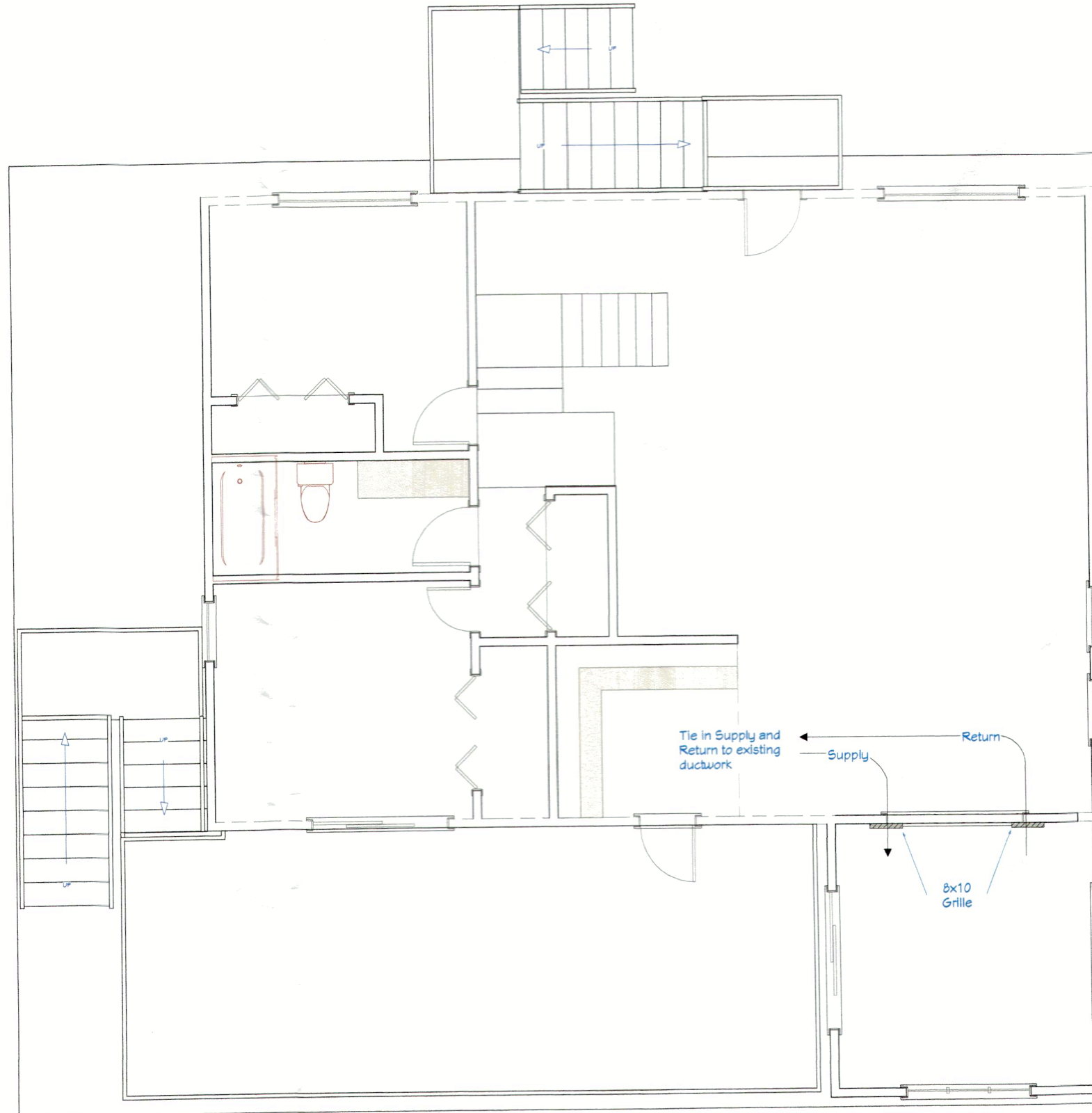
Level 0

Level 1

Level 2

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# Mechanical Plan



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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION	ADDITIONAL INFO
1	4/18/24	RL			

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Mechanical Layout

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:  
4/18/2024

SCALE:  
None

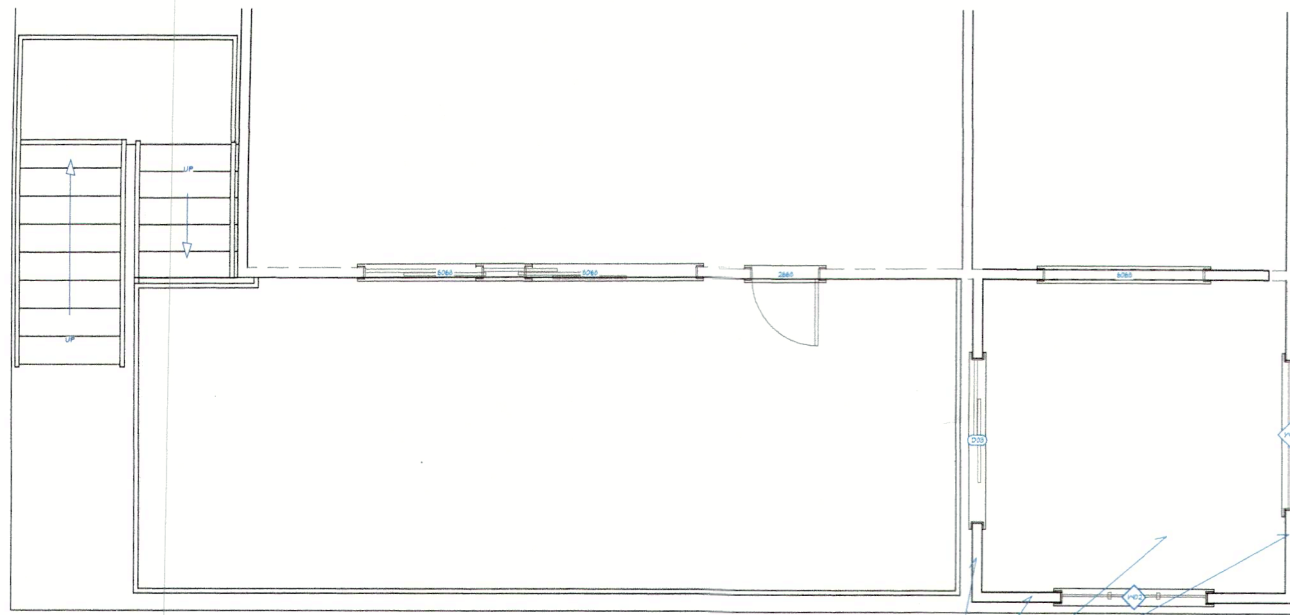
SHEET:  
P-16B

PERMIT COPY 1

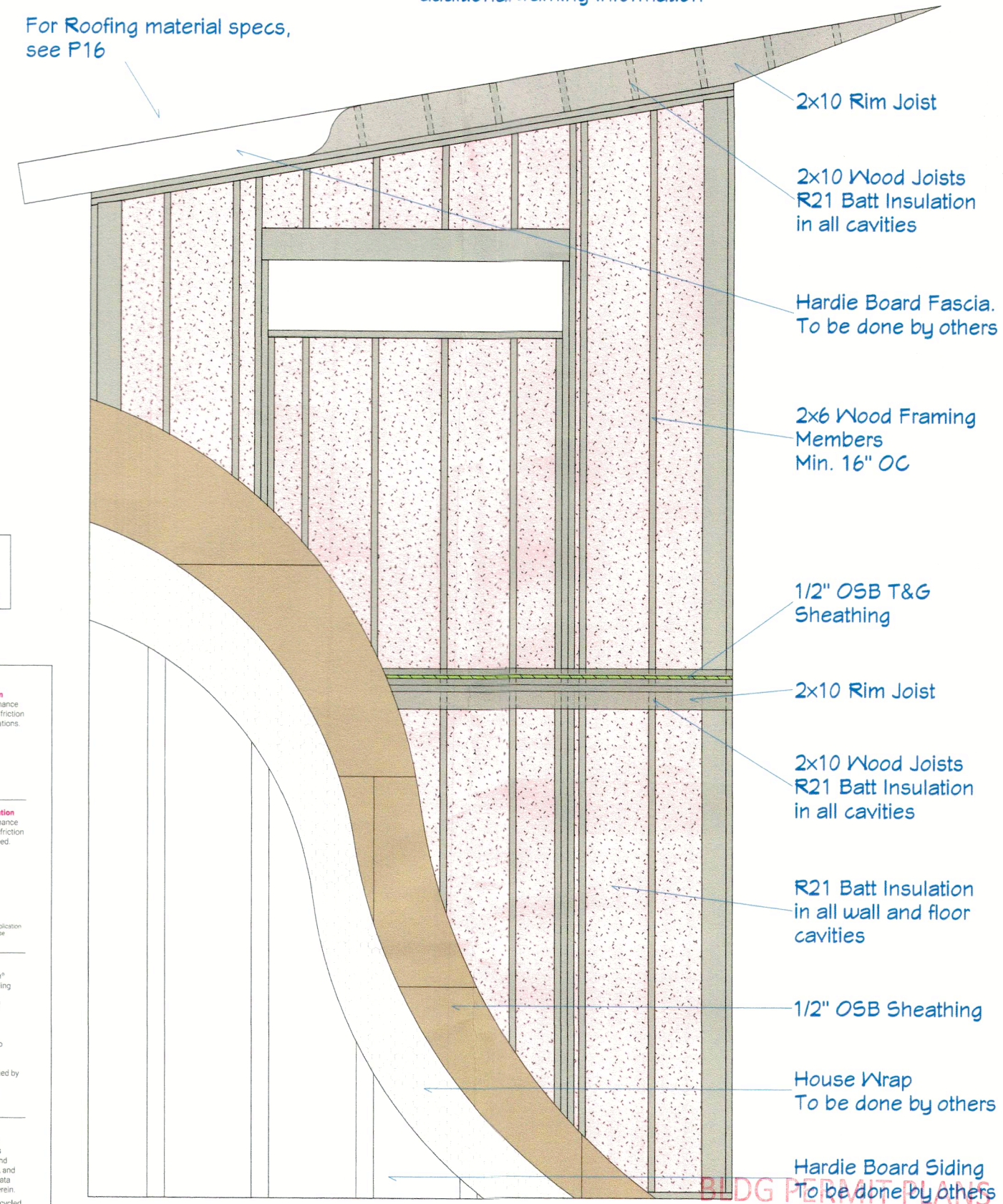
# Insulation / Wall Detail

See Page S300 - S411 for additional framing information

For Roofing material specs, see P16



Insulate all new exterior walls  
Insulate all new roofs and floors  
R21 Batt Insulation to be used in all locations



REVISION TABLE	DESCRIPTION
NUMBER	DATE
1	4/18/24
REVISED BY	RE
Additional Info	

Gertz, Todd  
670 Fenfield St  
Longboat Key, FL 34228

Project Overview  
Insulation / Wall Detail

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:	4/18/2024
SCALE:	None
SHEET:	P-16C

## ECOTOUCH® PINK® FIBERGLAS™ INSULATION WITH PUREFIBER TECHNOLOGY

**Submittal Sheet**

Contractor: \_\_\_\_\_ Project: \_\_\_\_\_

Owens Corning® EcoTouch® Insulation with PureFiber® Technology is flexible light density insulation with a variety of facings and uses for thermal and acoustic benefits. EcoTouch® Insulation is dimensionally stable and will not slump within the cavity. Due to its inorganic fibers, EcoTouch® Insulation is not a food source for mold and it is not corrosive to steel, copper or aluminum.

ASTM C665 CLASSIFICATION	DESCRIPTION
Type I	Blankets without membrane coverings.
Type II	Blankets with nonreflective membrane coverings.
Class A	Membrane-faced surface flame spread of 25 or less.
Class B	Membrane-faced surface with critical radiant flux of 0.12 W/m² (0.11 Btu/ft²) or greater.
Class C	Membrane-faced surface not rated for flame propagation resistance.
Category 1	Membrane is a vapor retarder.
Category 2	Membrane is not a vapor retarder.
Type III	Blankets with reflective membrane coverings.
Class A	Membrane-faced surface flame spread of 25 or less.
Class B	Membrane-faced surface with critical radiant flux of 0.12 W/m² (0.11 Btu/ft²) or greater.
Class C	Membrane-faced surface not rated for flame propagation resistance.
Category 1	Membrane is a vapor retarder.
Category 2	Membrane is not a vapor retarder.

**Unfaced-EcoTouch® Batt Insulation**  
Fiberglass insulation designed to improve thermal and acoustic performance of wall and roof/ceiling assemblies. Fits tightly in wood or metal framing to allow for friction fit installation. Different sizes available to fit specific applications.

- ASTM C665 Type I
- ASTM E84 <25/50
- ASTM C1338 Mold/mildew resistant
- ASTM E136 Non-Combustible
- ASTM C518
- ASTM E90, E413 (3 1/2", 6 1/4")
- UL File #BKNV 3576 (Fire rated assemblies)

<input type="checkbox"/> R-13 3 1/2"	<input type="checkbox"/> R-30 9 1/2"
<input type="checkbox"/> R-19 6 1/4"	<input type="checkbox"/> R-38 12"
<input type="checkbox"/> R-20 5 1/2"	<input type="checkbox"/> R-49 14"
<input type="checkbox"/> R-22 6 1/4"	
<input type="checkbox"/> R-23 5 1/2"	
<input type="checkbox"/> R-25 8"	
<input type="checkbox"/> R-30 9 1/2"	
<input type="checkbox"/> R-38 12"	
<input type="checkbox"/> R-49 14"	

**Unfaced-EcoTouch® Sound Attenuation Batts**  
Fiberglass insulation with facing that can be left exposed that is designed to improve thermal and acoustic performance of wall and roof/ceiling assemblies. Fits tightly in metal framing to allow for friction fit installation. Different sizes available to fit specific applications.

- ASTM C665 Type I
- ASTM E84 <25/50
- ASTM C1338 Mold/mildew resistant
- ASTM E136 Non-Combustible
- ASTM C518
- ASTM E90, E413 (2 1/2", 3 1/2")
- UL File #BKNV 3576 (Fire rated assemblies)

<input type="checkbox"/> R-8 2 1/2"	<input type="checkbox"/> R-11 3 1/2"
<input type="checkbox"/> R-11 3 1/2"	<input type="checkbox"/> R-19 6 1/4"
<input type="checkbox"/> R-13 3 1/2"	
<input type="checkbox"/> R-15 3 3/4"	
<input type="checkbox"/> R-19 6 1/4"	
<input type="checkbox"/> R-20 5 1/2"	
<input type="checkbox"/> R-21 5 1/2"	
<input type="checkbox"/> R-22 6 1/4"	

**FSK or PSK E Faced-EcoTouch® Flame Spread 25 Batt Insulation**  
Fiberglass insulation with facing that can be left exposed that is designed to improve thermal and acoustic performance of wall and roof/ceiling assemblies. Fits tightly in wood or metal framing to allow for friction fit installation. Flanges can be inset or face stapled as needed. Different sizes available to fit specific applications.

- ASTM C665 Type I
- ASTM E84 <25/50
- ASTM C1338 Mold/mildew resistant
- ASTM E136 Non-Combustible
- ASTM C518
- ASTM E90, E413 (3 1/2", 6 1/4")
- UL File #BKNV 3576 (Fire rated assemblies)

<input type="checkbox"/> R-13 3 1/2"	<input type="checkbox"/> R-30 9 1/2"
<input type="checkbox"/> R-19 6 1/4"	<input type="checkbox"/> R-38 12"
<input type="checkbox"/> R-21 5 1/2"	<input type="checkbox"/> R-49 14"

**PSK-E**

<input type="checkbox"/> R-19 6 1/4"	<input type="checkbox"/> R-30 9 1/2"
--------------------------------------	--------------------------------------

**Submittal Sheet | EcoTouch® PINK® Fiberglass™ Insulation | July 2020**

**Foil Faced-EcoTouch® Batt Insulation**  
Fiberglass insulation designed to improve thermal and acoustic performance of wall and roof/ceiling assemblies. Fits tightly in metal framing to allow for friction fit installation. Flanges can be inset or face stapled as needed. Different sizes available to fit specific applications.

- ASTM C665 Type II, Class B and C
- ASTM E84 75/150
- ASTM C1338 Mold/mildew resistant
- ASTM C518
- ASTM E90, E413 (3 1/2", 6 1/4")
- ASTM E96 Perm Rating 0.5

<input type="checkbox"/> R-13 3 1/2"	<input type="checkbox"/> R-15 3 3/4"
<input type="checkbox"/> R-19 6 1/4"	<input type="checkbox"/> R-19 6 1/4"
<input type="checkbox"/> R-20 5 1/2"	<input type="checkbox"/> R-30 9 1/2"
<input type="checkbox"/> R-21 5 1/2"	<input type="checkbox"/> R-38 12"
<input type="checkbox"/> R-22 6 1/4"	<input type="checkbox"/> R-49 14"

**Kraft Faced-PRO-PINK® FastBatt® Insulation**  
Fiberglass insulation with PureFiber® Technology designed to improve thermal and acoustic performance of wall and roof/ceiling assemblies. Fits tightly in wood framing to allow for friction fit installation. Different sizes available to fit specific applications.

- ASTM C665 Type II, Class C
- ASTM C518
- ASTM E90, E413 (3 1/2", 6 1/4")
- ASTM E96 Perm Rating -1 perm

<input type="checkbox"/> R-13 3 1/2"	<input type="checkbox"/> R-13 3 1/2"
<input type="checkbox"/> R-15 3 3/4"	<input type="checkbox"/> R-15 3 3/4"
<input type="checkbox"/> R-19 6 1/4"	<input type="checkbox"/> R-19 6 1/4"
<input type="checkbox"/> R-20 5 1/2"	<input type="checkbox"/> R-30 9 1/2"
<input type="checkbox"/> R-21 5 1/2"	<input type="checkbox"/> R-38 12"
<input type="checkbox"/> R-22 6 1/4"	<input type="checkbox"/> R-49 14"

**Unfaced-EcoTouch® Sonobatts® Insulation**  
Fiberglass insulation with PureFiber® Technology designed to improve thermal and acoustic performance of suspended ceiling assemblies. 24" x 48" to fit on top of most drop in ceiling tiles.

- ASTM C665 Type I
- ASTM E84 <25/50
- ASTM C1338 Mold/mildew resistant
- ASTM E136 Non-Combustible
- ASTM C518
- ASTM E90, E413 (3 1/2", 6 1/4")
- UL File #BKNV 3576 (Fire rated assemblies)
- UL 181 Rated to 1000 feet per minute

<input type="checkbox"/> R-11 3 1/2"	<input type="checkbox"/> R-11 3 1/2"
<input type="checkbox"/> R-13 3 1/2"	<input type="checkbox"/> R-19 6 1/4"

**Certifications and Sustainable Features**

- Unfaced EcoTouch® Insulation and Kraft-Faced EcoTouch® Insulation are participating in Declare and are Living Building Challenge Compliant
- Certified by SCS Global Services to contain an average of 55% recycled glass content, 18% pre-consumer and 27% post-consumer
- GREENGUARD Certified products are certified to GREENGUARD standards for low chemical emissions into indoor air during product usage. For more information, visit [ul.com/gg](http://ul.com/gg)
- Environmental Product Declaration (EPD) has been certified by UL Environment
- EcoTouch® PINK® Fiberglass™ Insulation Products have a published Health Product Declaration (HPD).

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**OWENS CORNING INSULATING SYSTEMS, LLC**  
ONE OWENS CORNING PARKWAY TOLEDO, OHIO, USA 43659  
1-800-GET-PINK® | [www.owenscorning.com](http://www.owenscorning.com)

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Wall Layer 2 - Viewed From Outside

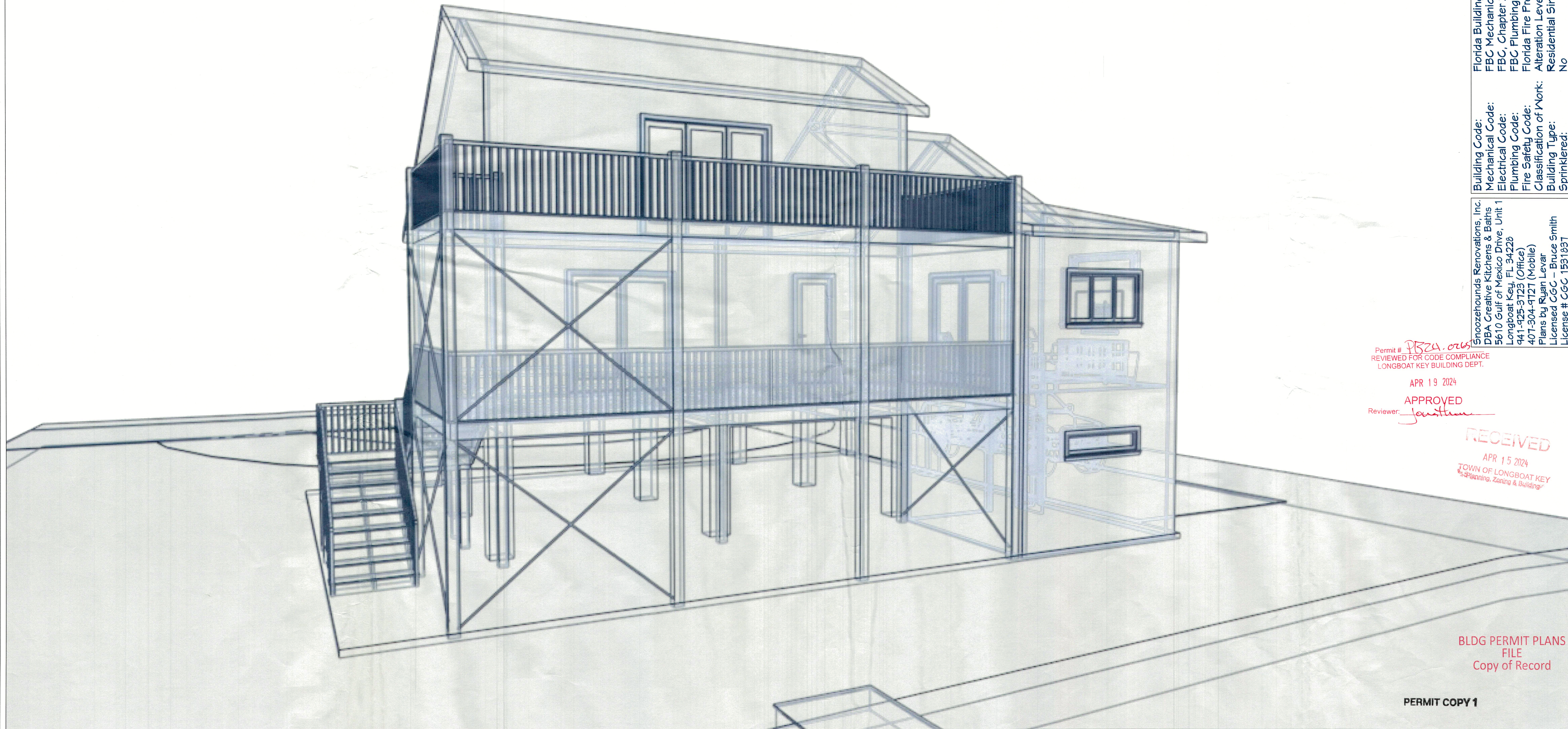
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APR 18 2024  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building  
PERMIT COPY 1



# Gertz Remodel

## Creative Kitchens and Baths



MECHANICAL, ELECTRICAL,  
AND PLUMBING REVIEWS  
WILL BE DEFERRED TO  
FIELD INSPECTORS

Permit # *PR24-076*  
REVIEWED FOR CODE COMPLIANCE  
LONGBOAT KEY BUILDING DEPT.

APR 19 2024

APPROVED  
Reviewer: *Jonathan*

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APR 15 2024  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

BLDG PERMIT PLANS  
FILE  
Copy of Record

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Shoozeounds Renovations, Inc.  
DBA Creative Kitchens & Baths  
5610 Gulf of Mexico Drive, Unit 1  
Longboat Key, FL 34228  
941-925-3723 (Office)  
407-304-9721 (Mobile)  
Plans by Ryan Levar  
Licensed CGC - Bruce Smith  
License # CGC-1551937

Building Code: Florida Building Code (FBC) Eighth Edition (2023) with Applicable Amendments  
Mechanical Code: FBC Mechanical Eighth Edition (2023) with Applicable Amendments  
Electrical Code: FBC, Chapter 21: 2020 National Electrical Code (NFPA 70) with Applicable Amendments  
Plumbing Code: FBC Plumbing Eighth Edition (2023) with Applicable Amendments  
Fire Safety Code: Florida Fire Prevention Code (FFPC) Eighth Edition (2023) with Applicable Amendments  
Classification of Work: Alteration Level 2  
Building Type: Residential Single Family  
Sprinklered: No



NUMBER	DATE	REVISION TABLE	DESCRIPTION

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview

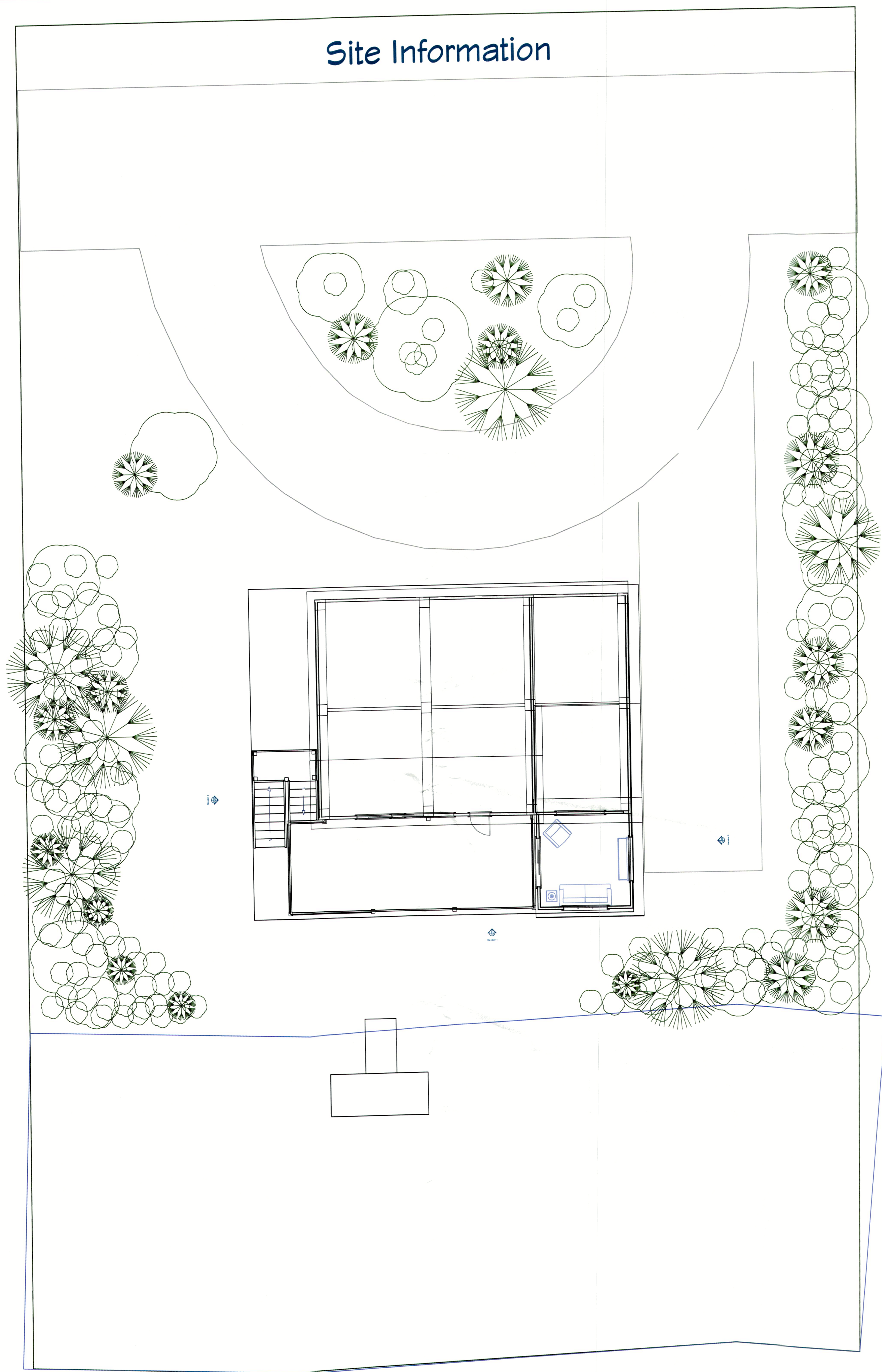
DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:  
4/15/2024

SCALE:  
None

SHEET:  
P-1

# Site Information



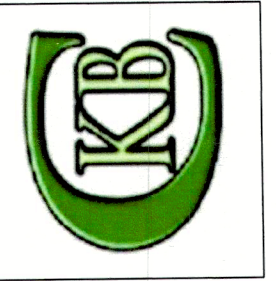
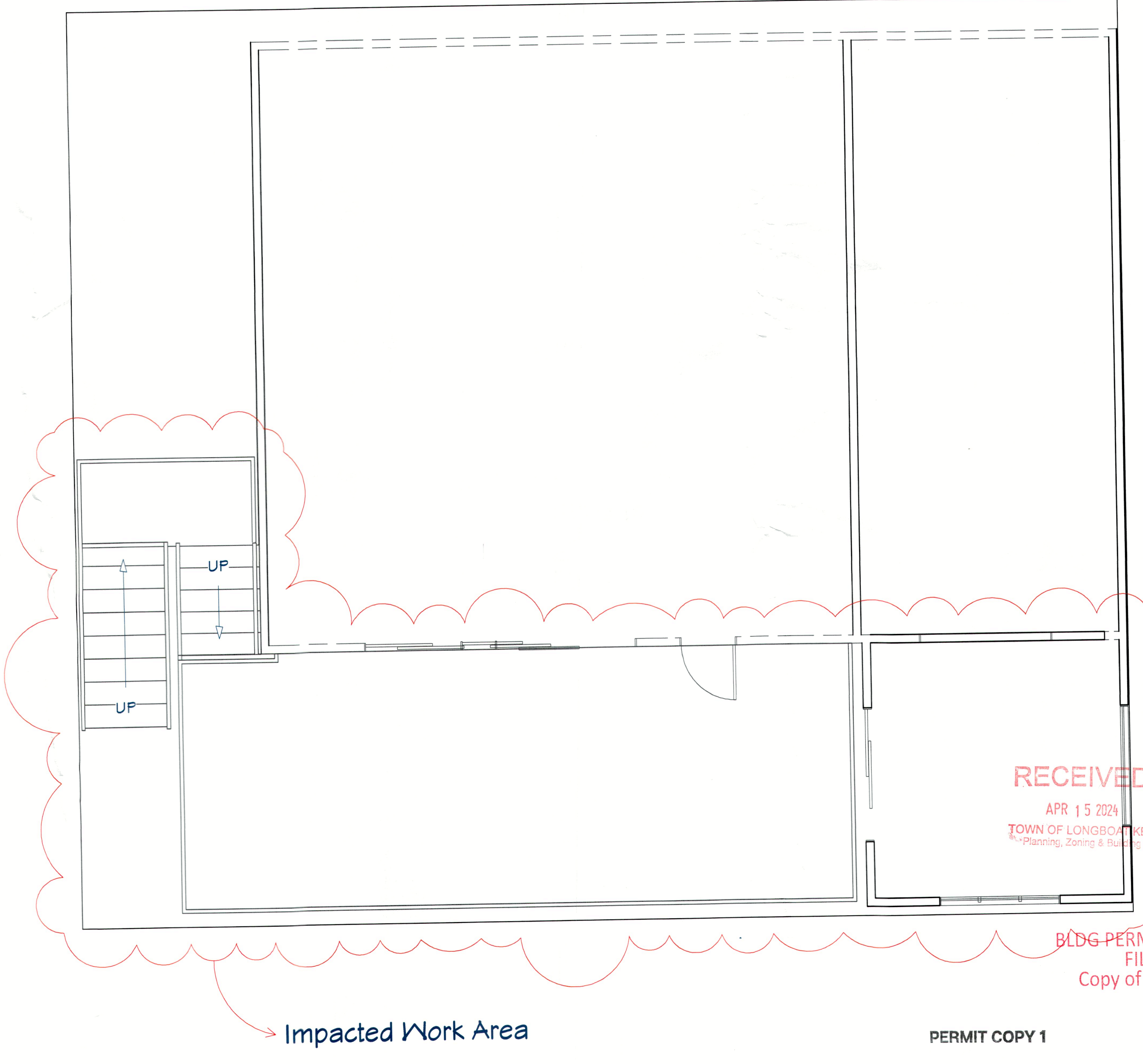
MANATEE COUNTY  
PROPERTY APPRAISER  
CHARLES E. HACKNEY

- Home
- Meet Charlie
- Property Search
- E-File
- Exemptions/Classifications
- Forms/Requests
- Reports/Data
- General Info
- Links
- Contact Us

- Property Card
- Trim Notice
- Tax Bill

**Parcel ID:** 7851700208  
**Ownership:** GERTZ, CLAIRE A IRREVOCABLE LIVING TRUST DTD 12/01/10  
**Owner Type:** UNDER TRUST  
**Mailing Address:** GERTZ, CLAIRE A IRREVOCABLE LIVING TRUST, DTD 12/01/10, 771 EMERALD HARBOR DR, LONGBOAT KEY FL 34228-1609  
**Situs Address:** 670 PENFIELD ST, LONGBOAT KEY, FL 34228-1450  
**Jurisdiction:** TOWN OF LONGBOAT KEY  
**Tax District:** 0256: LONGBOAT KEY BAYSIDE DISTRICT  
**Market Area:** 13: ISLAND SOUTH  
**Sec/Twp/Rge:** 23-355-16E  
**Neighborhood:** 2041: LONGBOAT KEY  
**Subdivision:** 7851700: SLEEPY LAGOON PARK NO 3: LOT 3  
**Short Description:** LOT 3 SLEEPY LAGOON PARK NO 3 PI#78517.0020/8 [Full Description]  
**Zoning/Flood Info:** View this parcel on Manatee County's website  
**Land Use:** 0100: SINGLE FAMILY RESIDENTIAL  
**Land Size:** 0.2358 Acres or 10,272 Square Feet  
**Building Area:** 3,842 SqFt Under Roof / 1,506 SqFt Living or Business Area / 1,650 SqFt Residential Impervious Area  
**Living Units:** 1

Sale Date	Book / Page Instrument	Instrument Type	Vacant / Improved	Qualification Code	Sale Price	Grantee
01/12/2021	202141050365	DC	R1	11	0	GERTZ, CLAIRE A IRREVOCABLE LIVING TR...
12/01/2010	2365 / 1976	WD	R1	14	10	GERTZ, CLAIRE A
03/08/1995	1454 / 6702	DE	R1	37	1	GERTZ, CLAIRE A PI
01/01/1984	1066 / 2439	UK	R1	01	48,500	GERTZ, ROBERT *



NUMBER	DATE	REVISION	TABLE	DESCRIPTION

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Site Information

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:  
4/15/2024

SCALE:  
None

SHEET:  
P-2

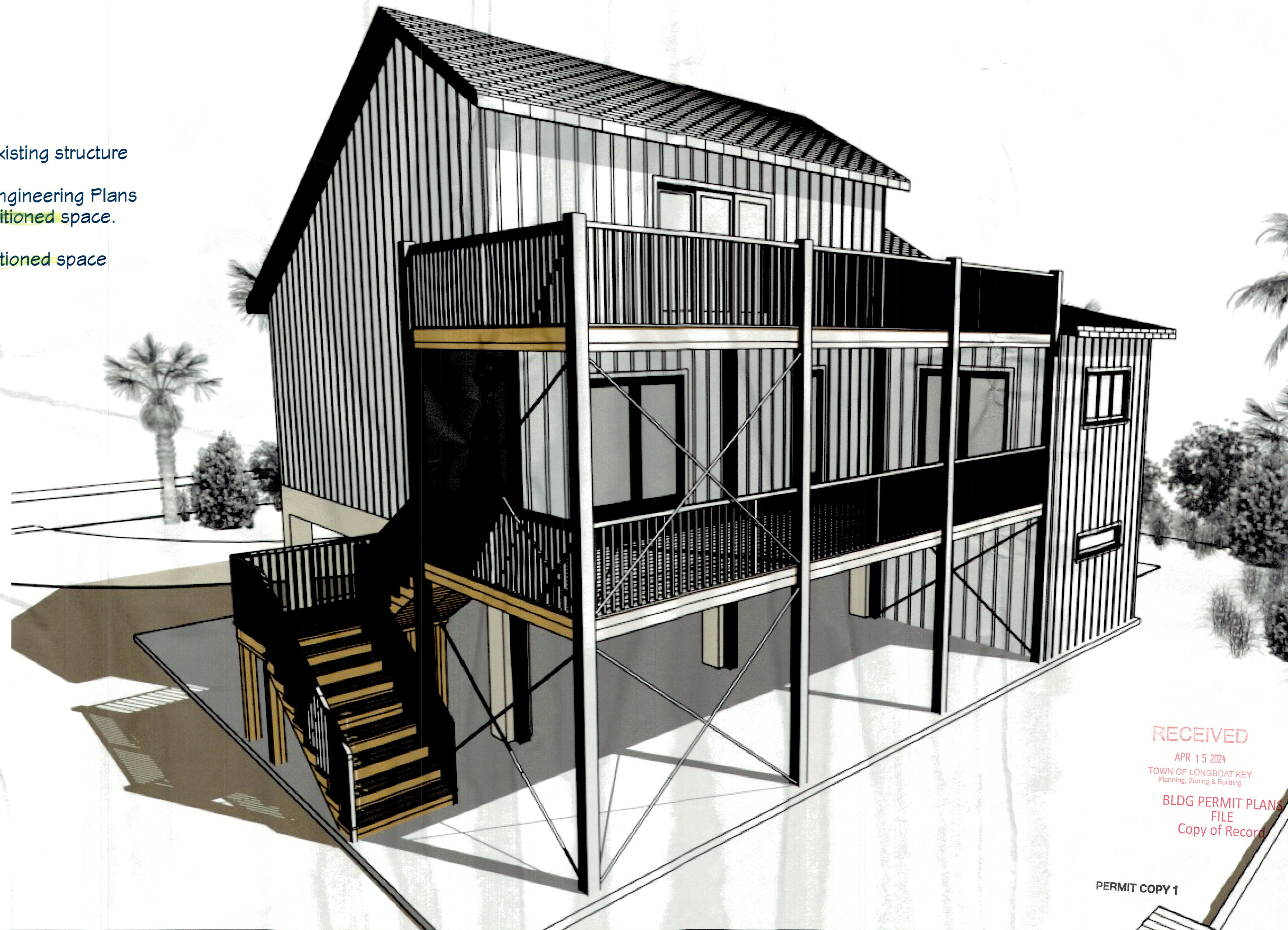
## Scope of Work

Purpose of project is to remove an existing deck structure and enclosed screen porch that was built on cantilever supports from the existing home, and replace with a self supported two-story deck structure and **conditioned** addition to the NE corner of the home.

### General Items include:

- Demo existing deck structure
- Excavate and pour new footers according to plan specs
- Erect new steel support structure
- Construct new deck consisting of:
  - PT Lumber
  - LYL / PSL / LSL Beams & Headers
  - Composite Decking
  - Powder Coat Steel Rails
  - Powder Coat Steel Screen enclosure

- Construct new 2 story addition to NE Corner of existing structure
- No structural changes to existing home will occur
- All material used is to be specified by attached Engineering Plans
  - \* First story addition will not be finished / **conditioned** space. Area to be used as storage.
  - \* Second story addition will be finished / **conditioned** space added to home.



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NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Gertz, Todd  
 670 Penfield St  
 Longboat Key, FL 34228

Project Overview  
 Design Proposal

DRAWINGS PROVIDED BY:  
 Creative Kitchens and Baths  
 5610 Gulf of Mexico Dr  
 Longboat Key, FL

DATE:

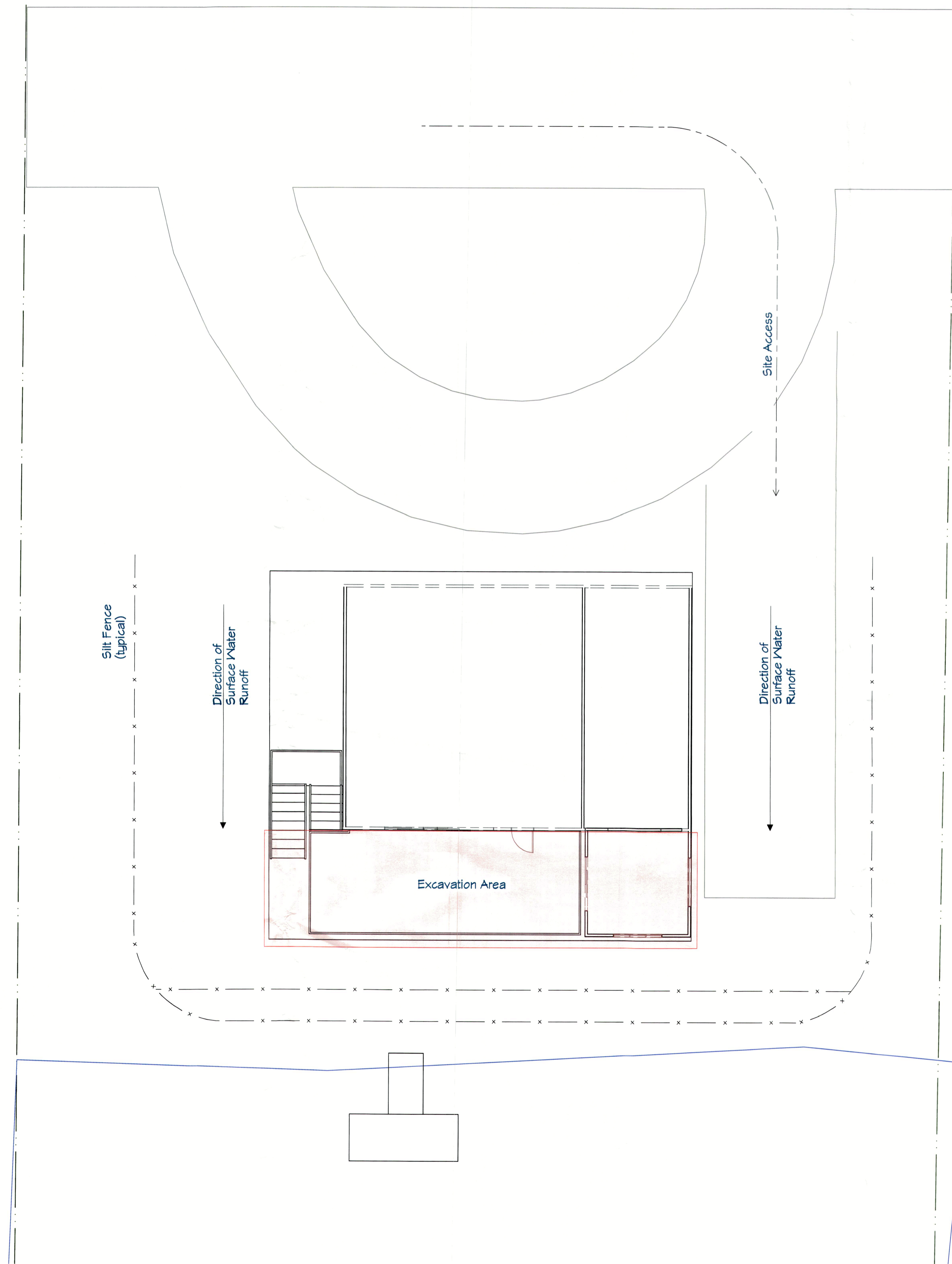
4/15/2024

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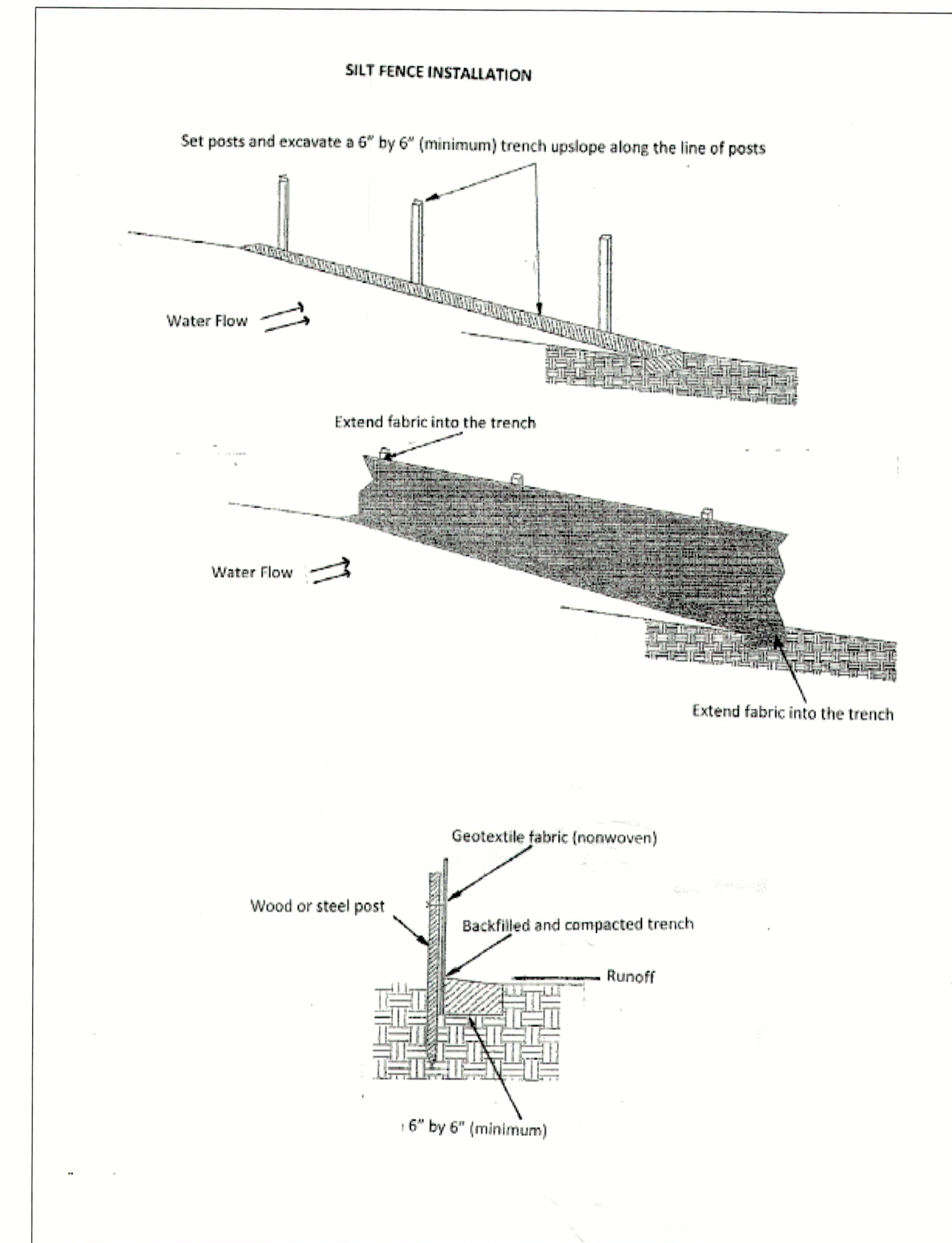
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SHEET:

P-3



## Silt Fence Plan



### Specifications for Sediment Fence Fabric

Physical Property	Minimum Requirements
Filtering Efficiency	85%
Tensile Strength @ 20% maximum elongation	
Standard Strength	30 lb per linear inch
High Strength	50 lb per linear inch



NUMBER	DATE	REVISION BY	DESCRIPTION

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Site Plan

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/15/2024

SCALE:

None

SHEET:

P-4

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## Structure Pre-demo



## Structure Post-demo



LVL cantilevers to be cut flush with house, wrapped and finished with plywood and stucco mortar to match existing



This was an existing door into the main home. The door will be removed and the doorway will be finished. No other changes to existing structure or framing.



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

Gertz, Todd  
670 Fenfield St  
Longboat Key, FL 34228

Project Overview  
Pre / Post Demo Images

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/15/2024

SCALE:

None

SHEET:

P-5

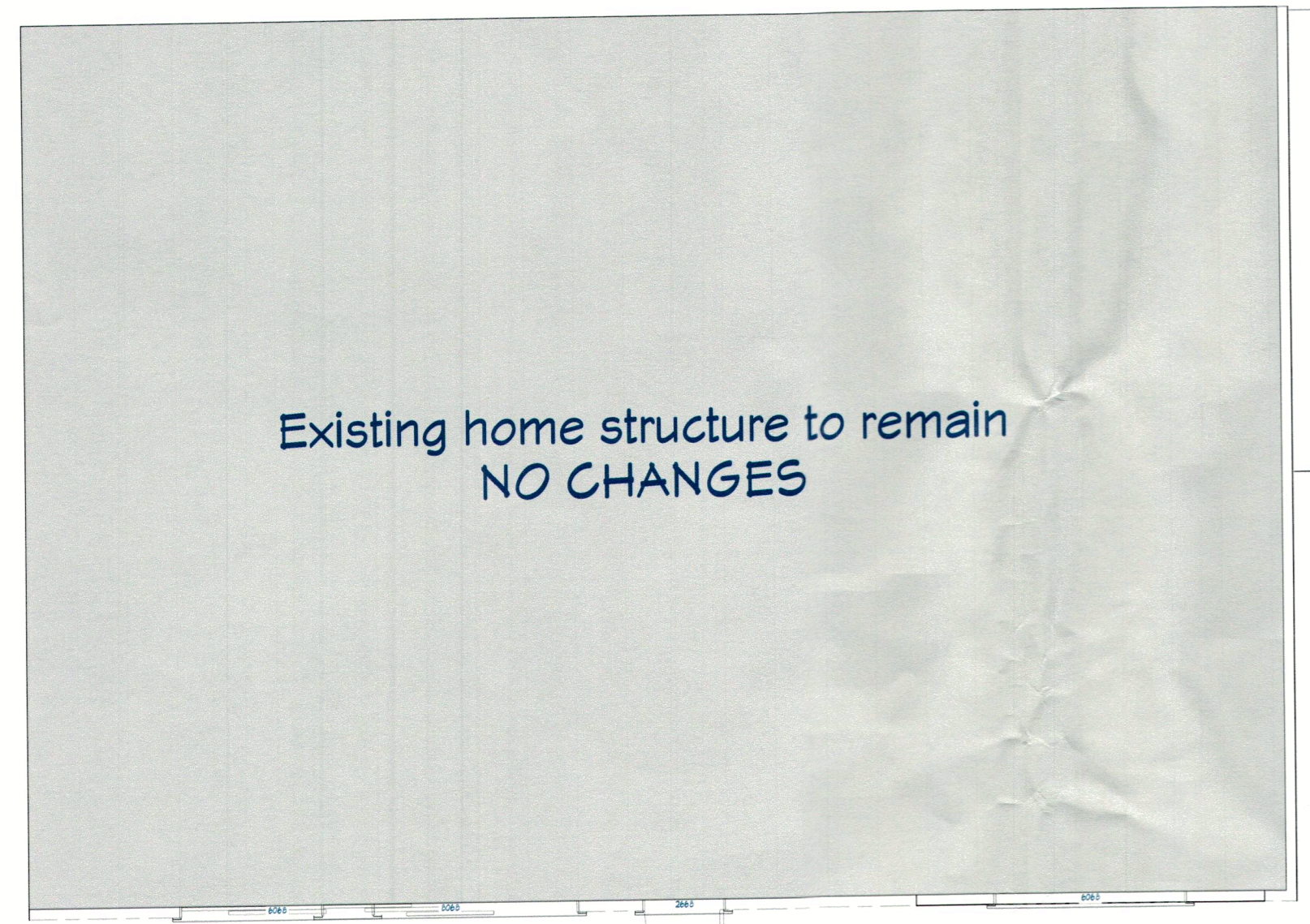
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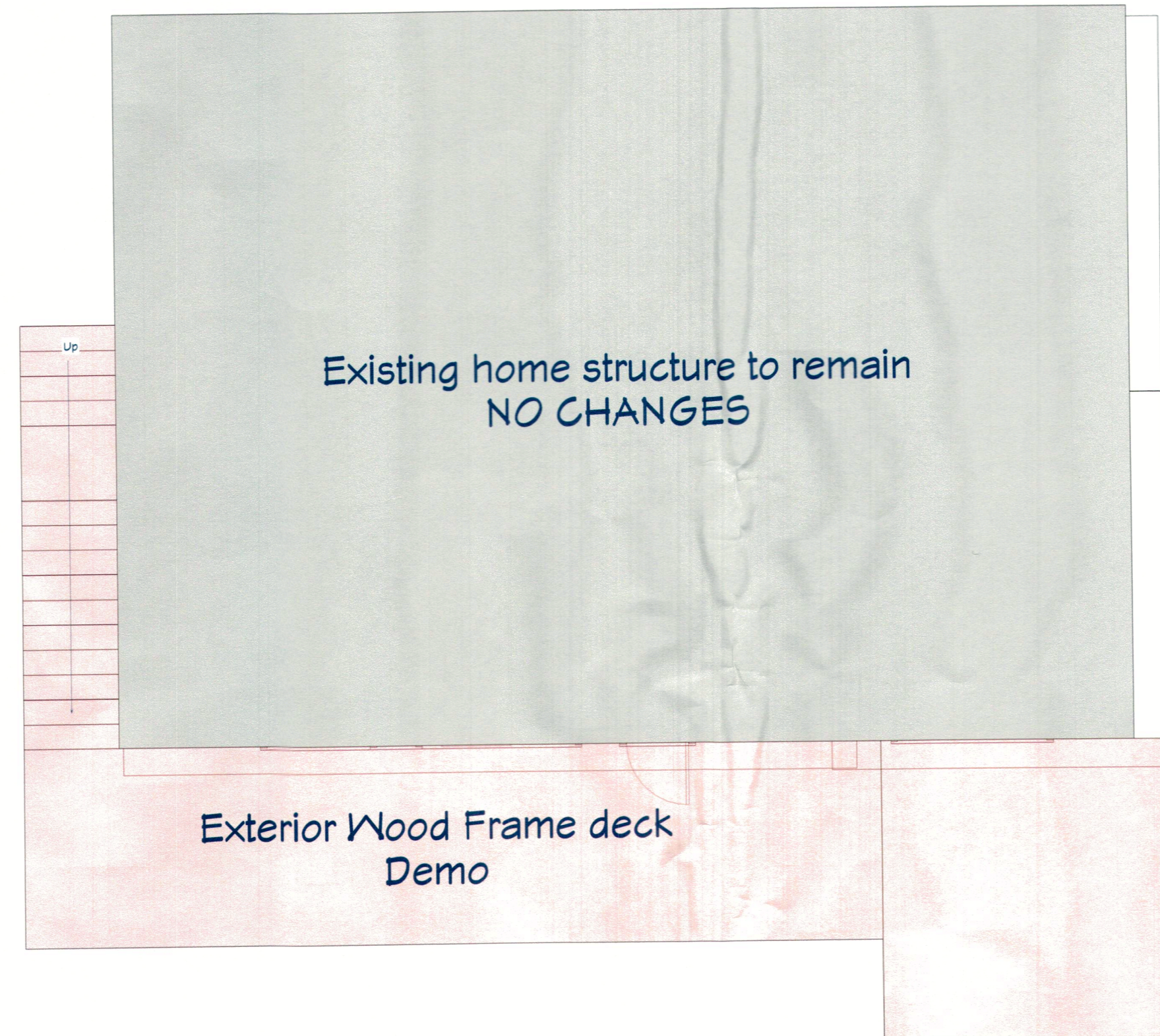


### Existing Floor Plan Overview

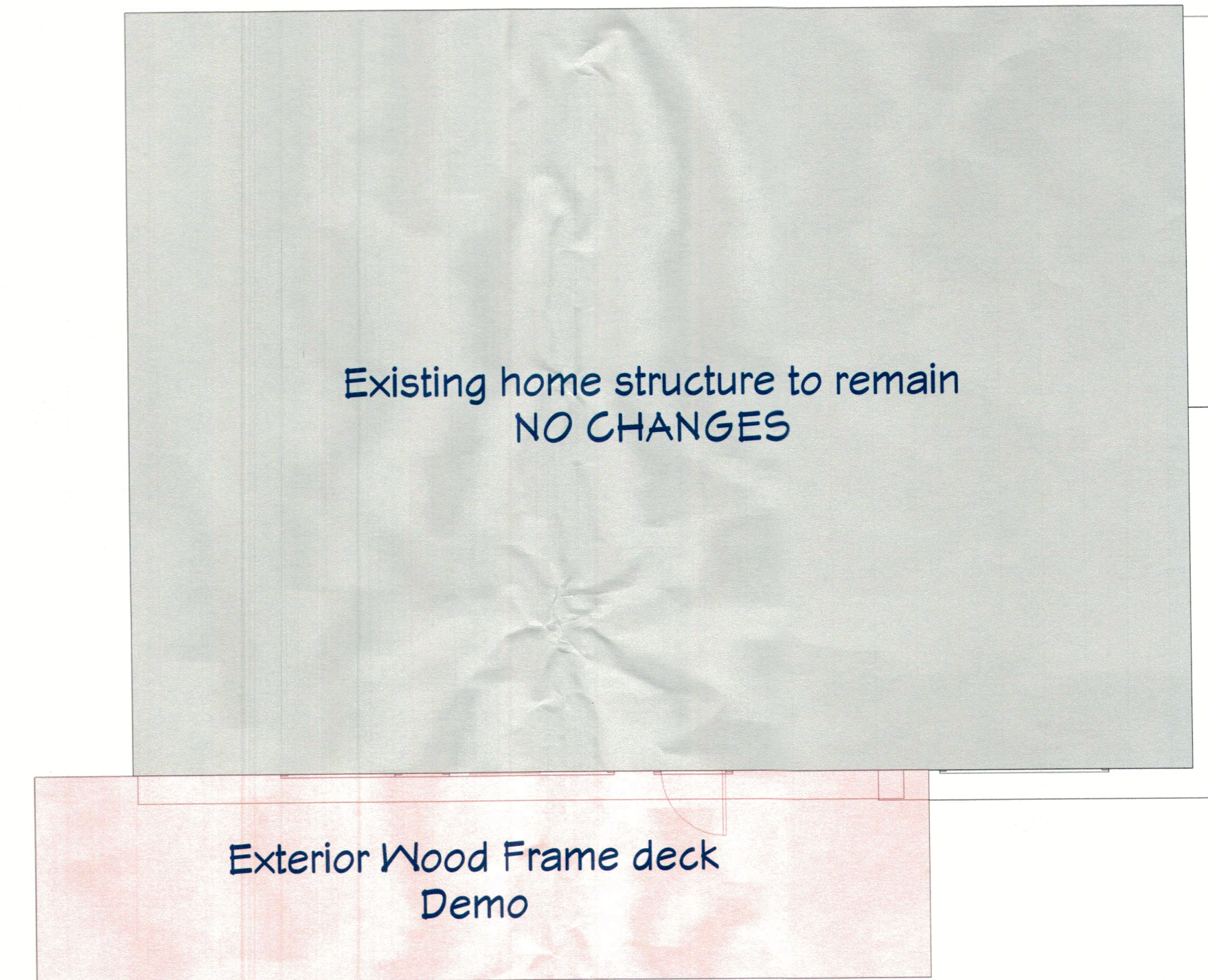
Level 0



Level 1



Level 2



NUMBER	DATE	REVISION TABLE	DESCRIPTION

Gertz, Todd  
670 Penfield St  
Longboat Key, FL 34228

Project Overview  
Demo Plan

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/15/2024

SCALE:

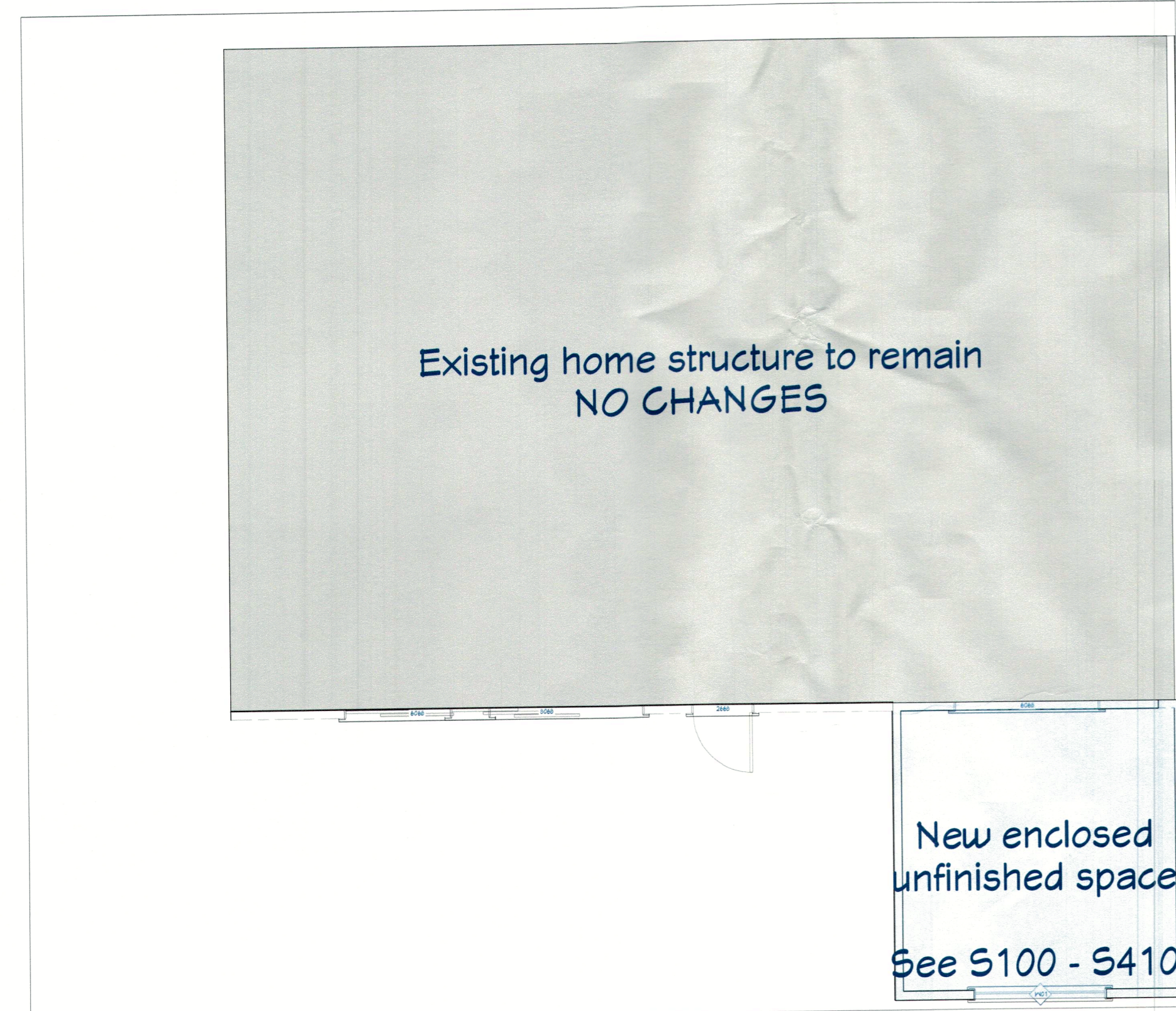
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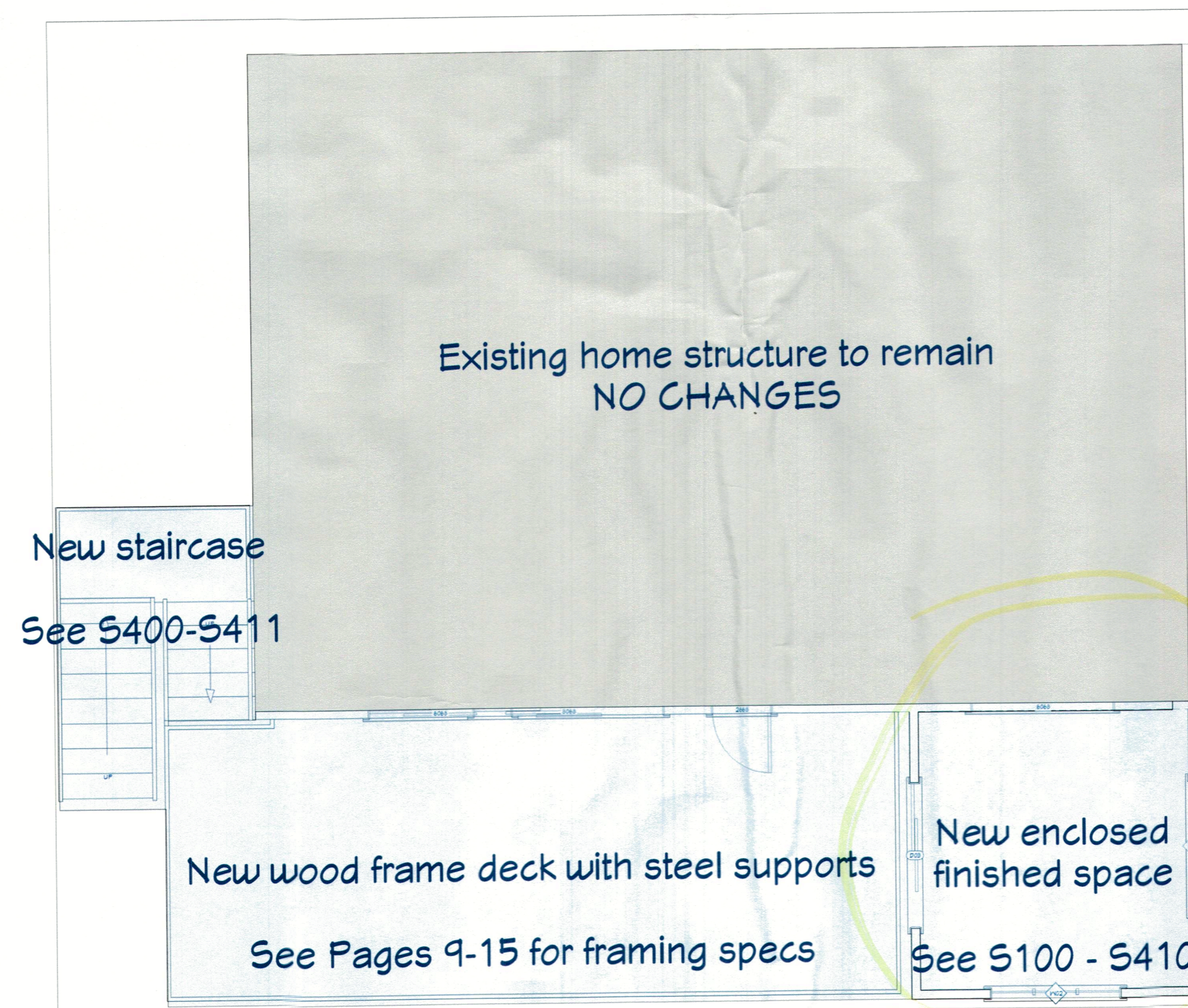
P-6

### Proposed Floor Plan Overview

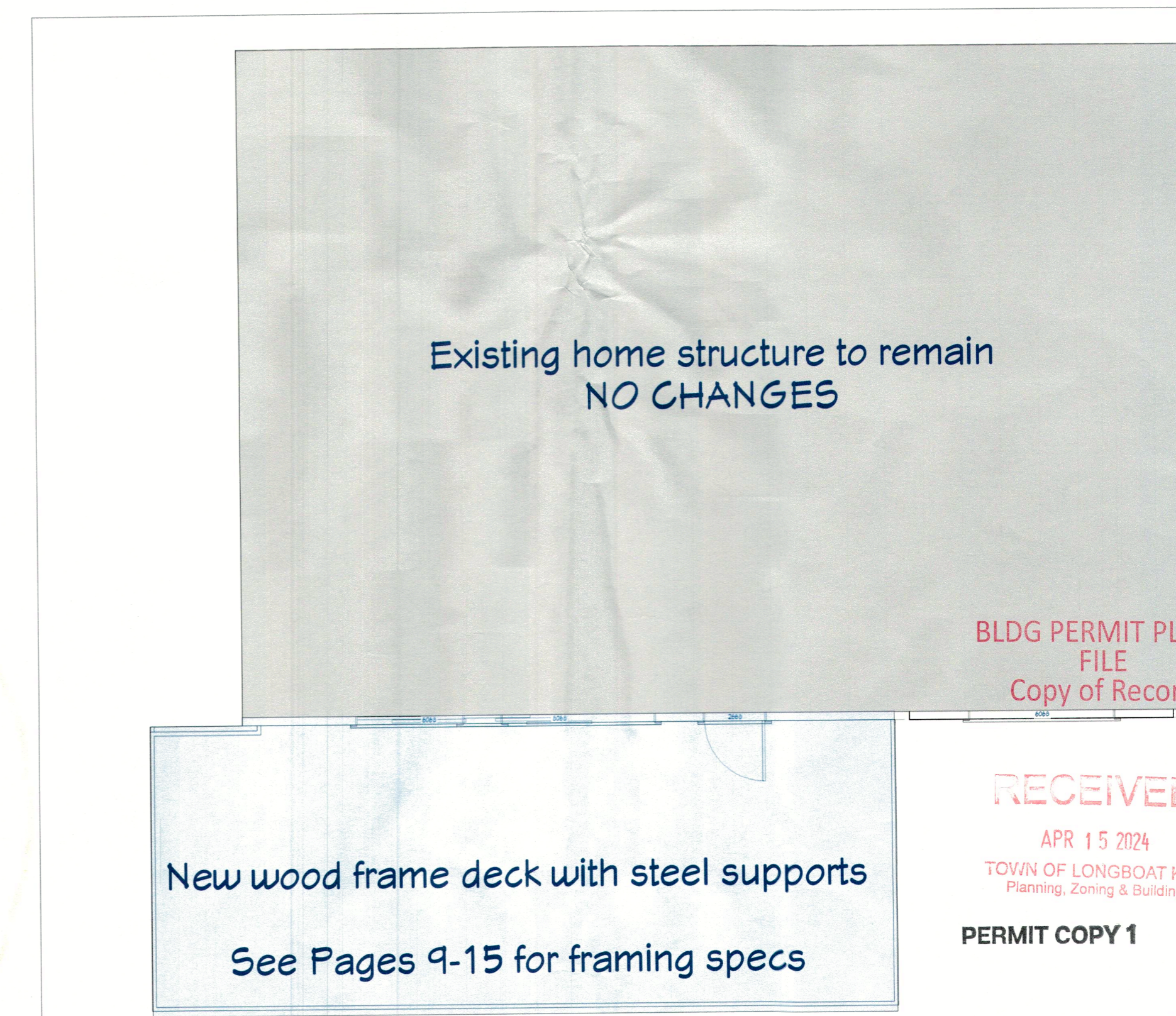
Level 0



Level 1



Level 2



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EXISTING - Elevation 1



PROPOSED - Elevation 1



EXISTING - Elevation 2



PROPOSED - Elevation 2



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Gertz, Todd  
 670 Penfield St  
 Longboat Key, FL 34228

Project Overview  
 Elevations

DRAWINGS PROVIDED BY:  
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 5610 Gulf of Mexico Dr  
 Longboat Key, FL

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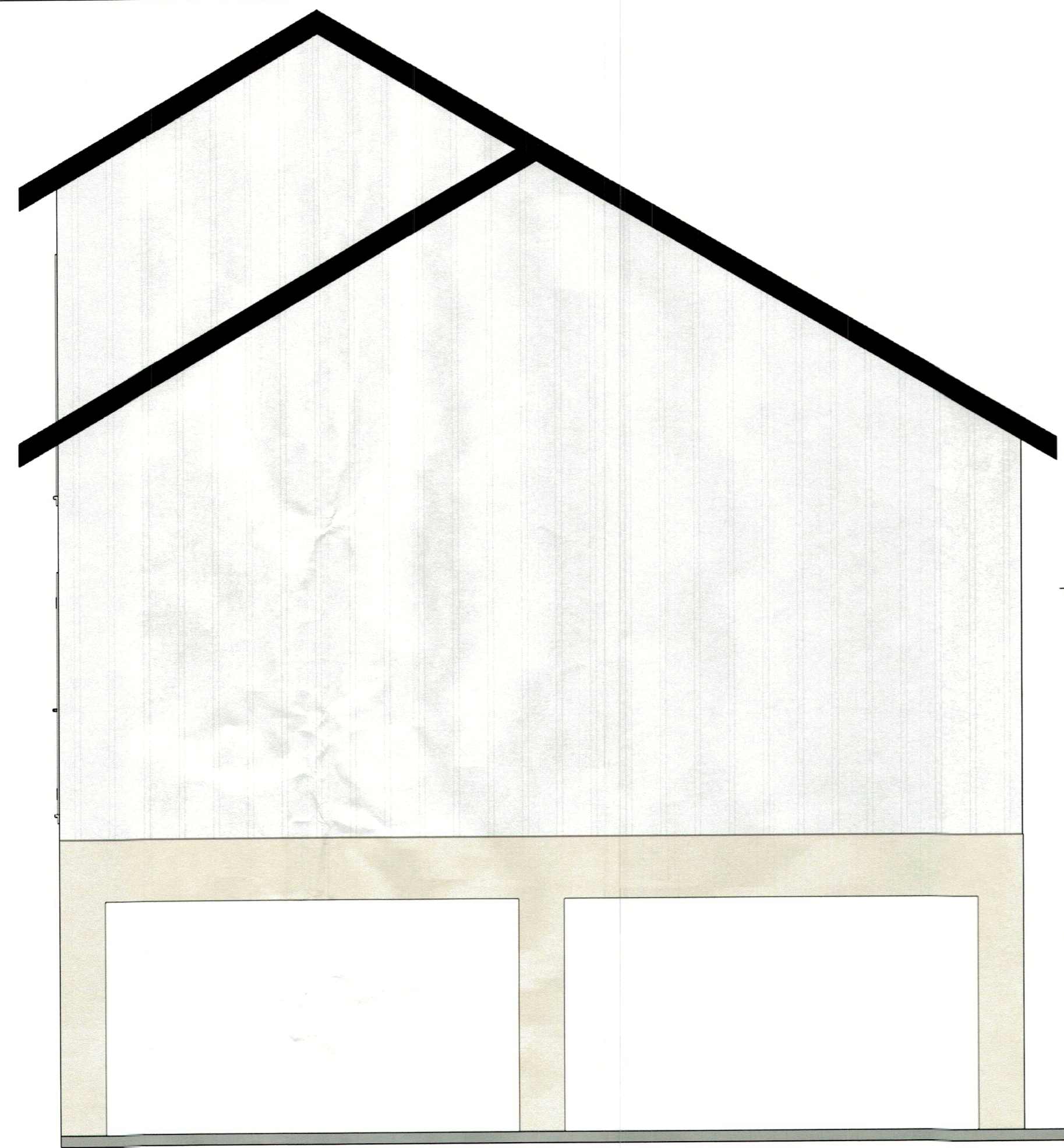
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DATE:  
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SCALE:  
 None

SHEET:  
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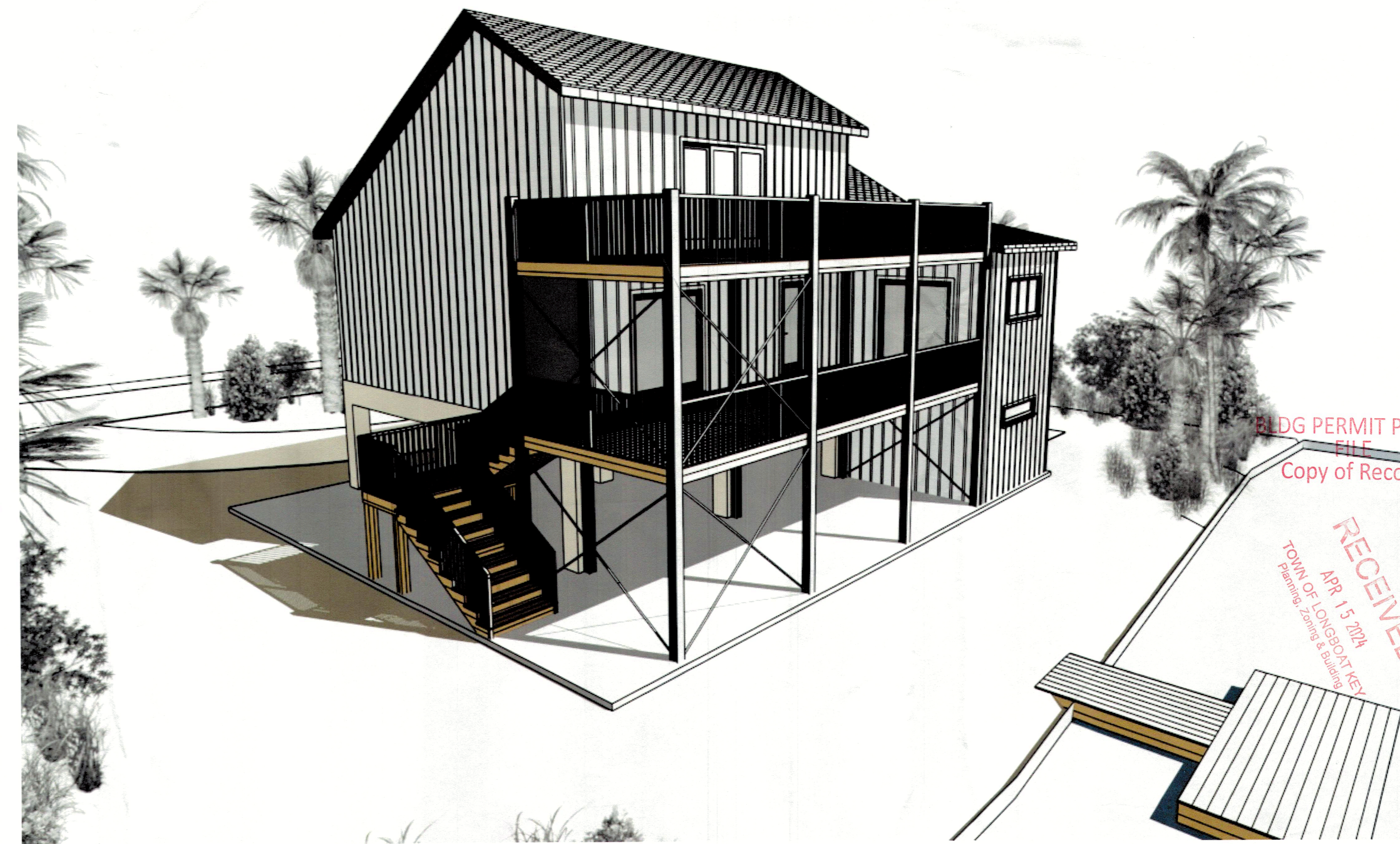
Existing - Elevation 3



Proposed - Elevation 3



Existing Overview



Proposed Overview

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REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Getz, Todd  
670 Fenfield St  
Longboat Key, FL 34228

Project Overview  
Elevations

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/15/2024

SCALE:

None

SHEET:

P-8

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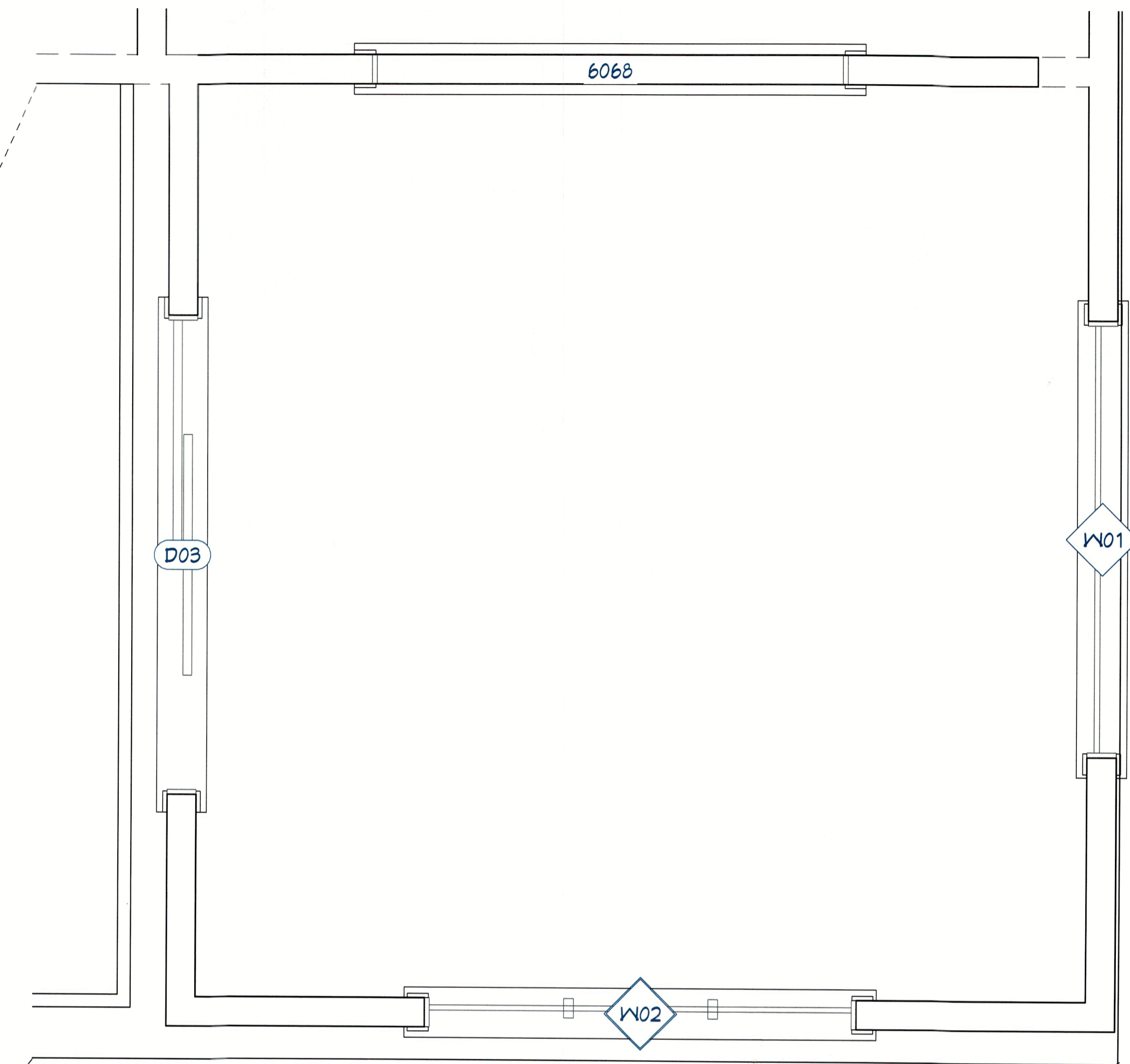
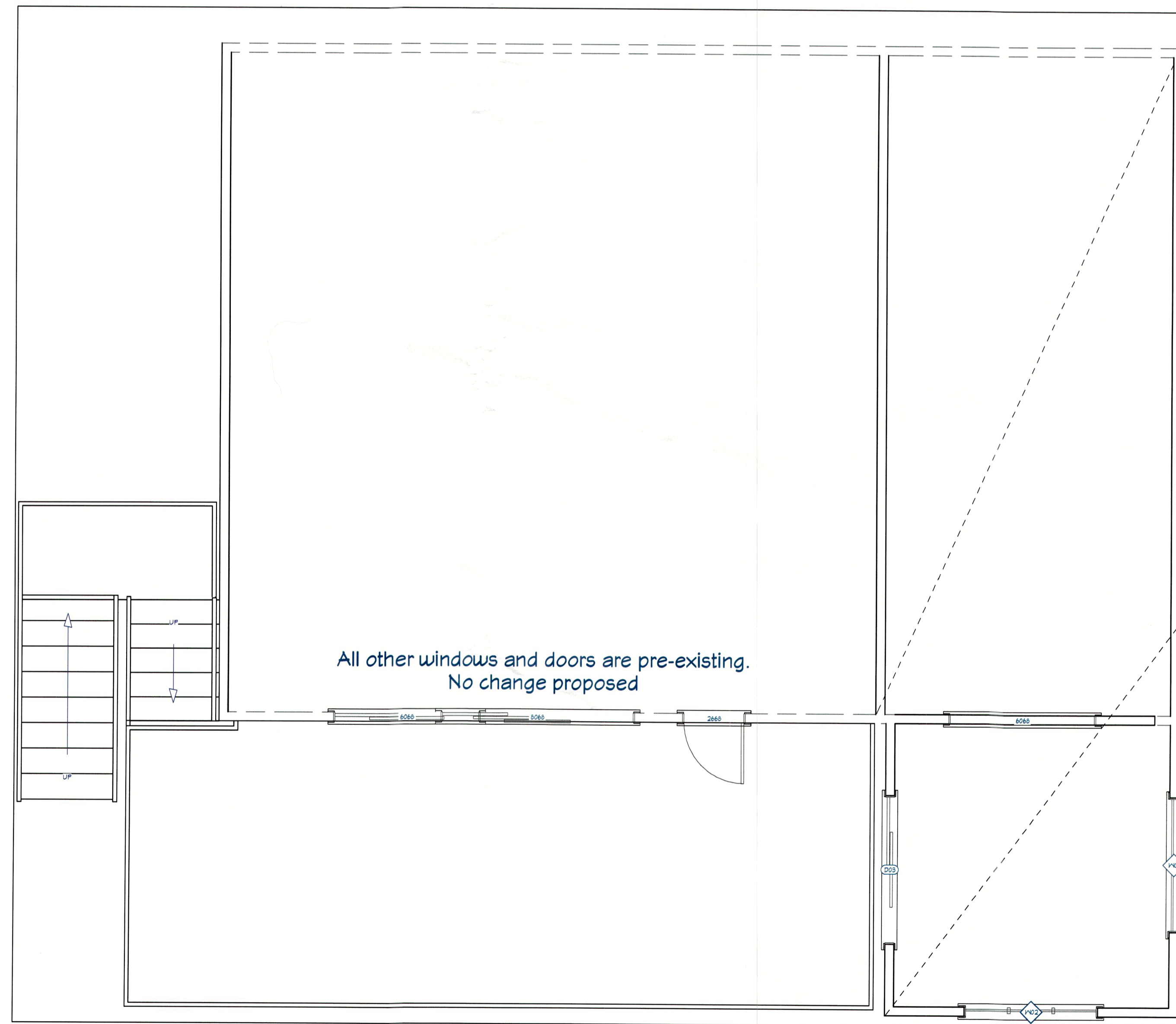
# Finish Specifications and NOA Information

**Doors** - See below for single new door; all other doors to remain the same.

**Windows** - See below for two new windows, all other windows to remain the same.

**Siding** - See permit PB24-0240 for NOA and other information.  
Work to be done by others.

**Roofing** - See permit PR23-0113 for NOA data and other information. Note that roofer will pull new permit for this work.  
Work to be done by others.



Door Schedule						
3D Exterior Elevation	Number	Label	Qty	Floor	Size	Description
	D03	6068	1	1	6068 R IN	Series SGD-5740 Vinyl Sliding Glass Door See NOA specs (Pages 16-18)

Window Schedule						
3D Exterior Elevation	Number	Label	Qty	Floor	Size	Description
	W01	5713FX	2	1	5713FX	Series PW-5520 PVC Fixed Window See NOA specs (Pages 13-15)
	W02	5730TC	1	1	5730TC	Series HR-5510 PVC Horizontal Rolling Window See NOA specs (Pages 9-12)

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Gertz, Todd  
670 Fenfield St  
Longboat Key, FL 34228

Project Overview  
Door & Window Schedule

DRAWINGS PROVIDED BY:  
Creative Kitchens and Baths  
5610 Gulf of Mexico Dr  
Longboat Key, FL

DATE:

4/15/2024

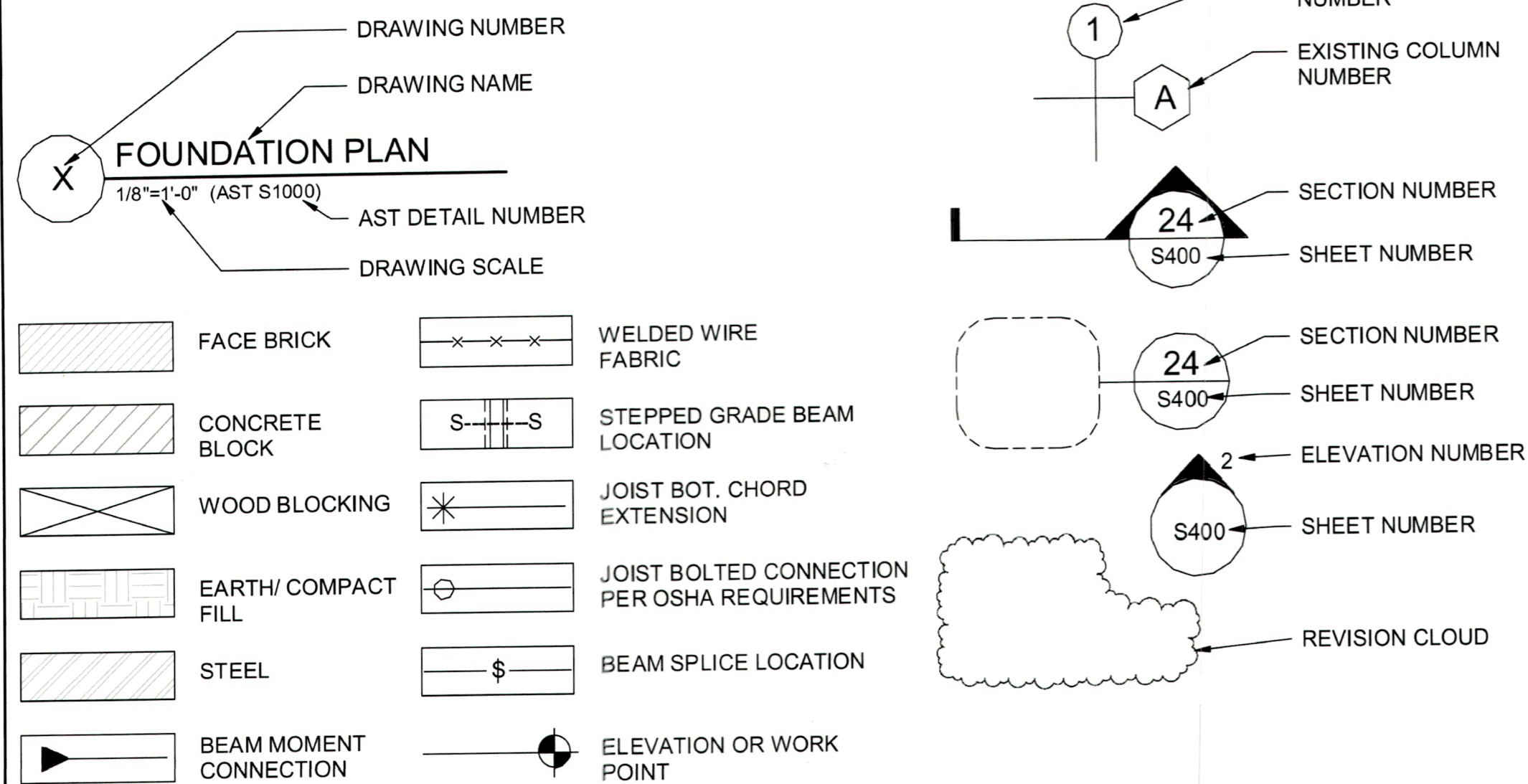
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SHEET:

P-16

**DRAWING SYMBOLS**



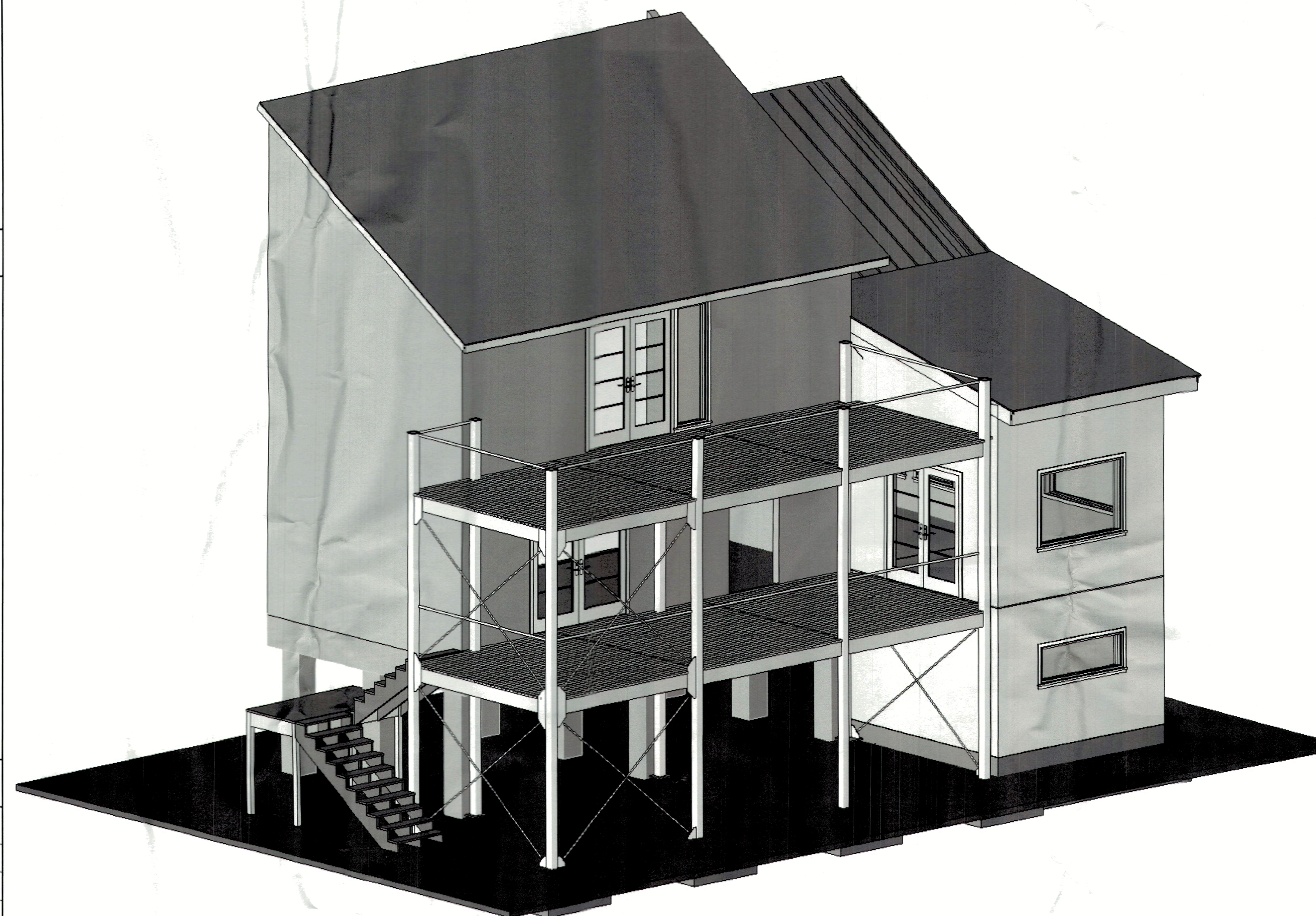
**ABBREVIATIONS**

<b>A</b> ADDL. ALT. ARCH. AR	<b>B</b> BLDG. BLK. BLKG. BM. BOT. BRG. BTWN.	<b>C</b> CIP CJ CL CLR. CMU	<b>D</b> DBL. DIA. DIAG. DL DO. DTL. DWG.	<b>E</b> EA. EL EMBED. EQ. EXIST. EXP. EXT.	<b>F</b> FAB. FD FNDN. FTG.	<b>G</b> GA. GALV. GC	<b>H</b> HORIZ. HK. HS HSS	<b>I</b> INFO. J. JBE JST. JT.	<b>K</b> K. KO KSI	<b>L</b> LL LLH LLV	<b>M</b> MAS. MATL. MAX. MECH. MEZZ. MFG. MIN. MISC. MO	<b>N</b> N NIC NTS	<b>O</b> OC OH OPNG. OPP.	<b>P</b> PC PERIM. PL PLF PROJ. PSF PSI	<b>Q</b> QTY.	<b>R</b> RAD. RD REIN. REQD. REV.	<b>S</b> SCHED. SM. SJI SPA. SQ. STD. STL. STRUCT.	<b>T</b> TBE TDE TEMP. TFE	<b>U</b> UNO	<b>V</b> VERT.	<b>W</b> W W/ WP WWR
ADDITIONAL ALTERNATE ARCHITECTURAL ANCHOR RODS	BUILDING BLOCK BLOCKING BEAM BOTTOM BEARING BETWEEN	CAST IN PLACE CONTROL JOINT CENTER LINE CLEARANCE) CONCRETE MASONRY UNIT COLUMN COMPOSITE CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COORDINATE CENTERED	DOUBLE DIAGONAL DEAD LOAD DITTO DETAIL DRAWING	EAST EACH ELEVATION EMBEDMENT EQUAL EXISTING EXPANSION EXTERIOR	FABRICATE(FOR) FLOOR DRAIN FOUNDATION FOOTING	GAGE, GAUGE GALVANIZED GENERAL CONTRACT(OR)	HORIZONTAL HOOK HEADED STUDS HOLLOW STRUCTURAL SECTION	INFORMATION JOIST BEARING ELEVATION JOIST JOINT	KIP KNOCK-OUT KIPS PER SQUARE INCH	LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL	MASONRY MATERIAL MAXIMUM MECHANICAL MEZZANINE MANUFACTURE(R) MINIMUM MISCELLANEOUS MASONRY OPENING	NORTH NOT IN CONTRACT NOT TO SCALE	ON CENTER(S) OVERHEAD OPENING OPPOSITE	PERIMETER PLATE POUNDS PER LINEAR FOOT PROJECT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	QUANTITY	RADIUS ROOF DRAIN REINFORCE(D), (ING) REQUIRED REVISION, REVISE(D)	SOUTH SCHEDULE SIMILAR STEEL JOIST INSTITUTE SPACE(S) SQUARE STANDARD STEEL STRUCTURAL	TOP OF BEAM ELEVATION TOP OF DECK ELEVATION TEMPORARY TOP OF FOOTING ELEVATION TOP OF PILE CAP ELEVATION TOP OF PIER ELEVATION TOP OF SLAB ELEVATION TOP OF WALL ELEVATION TYPICAL	UNLESS NOTED OTHERWISE	VERTICAL	WEST WITH WORK POINT WELDED WIRE REINFORCEMENT

**DRAWING INDEX**

SHEET NUMBER	SHEET NAME
S100	TITLE SHEET
S101	GENERAL STRUCTURAL NOTES
S200	FOUNDATION PLAN
S210	FRAMING PLAN
S220	FRAMING PLAN
S300	FRAMING ELEVATIONS
S400	FOUNDATION SECTIONS AND DETAILS
S410	FRAMING SECTIONS AND DETAILS
S411	FRAMING SECTIONS, SCHEDULE AND DETAILS

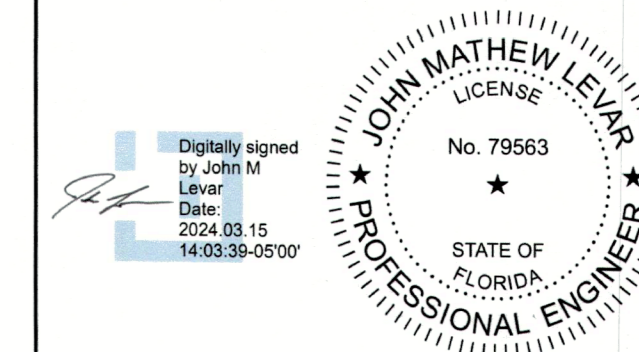
**670 PENFIELD ST  
LONGBOAT KEY, FL**



7301 OHMS LANE SUITE 215 (952) 854-9302 TEL. EDINA, MN 55439 ASTENG.COM

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AST FIRM REGISTRATION: 31630

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ENGINEER OF RECORD:  
J. LEVAR

DRAWN BY: S. STRICKLAND  
DESIGNED BY: M. SCHMIDT

AST JOB NUMBER:  
FL 1095

ISSUE RECORD  
ISSUED FOR PERMIT 02-09-2024  
FIELD UPDATES 03-15-2024

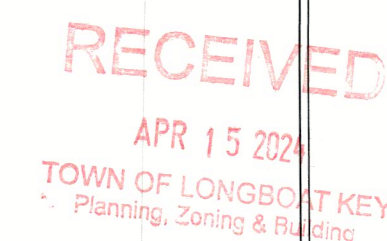
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PROJECT NAME  
**670 PENFIELD ST**

LOCATION  
LONGBOAT KEY, FL

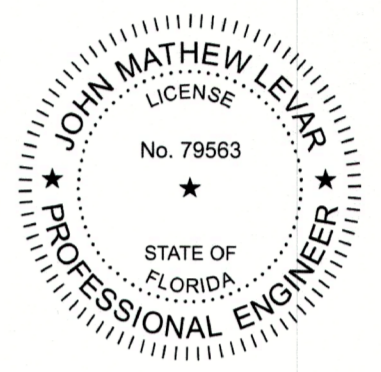
SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER  
**S100**  
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ENGINEER OF RECORD: S. STRICKLAND

DESIGNED BY: M. SCHMIDT

AST JOB NUMBER: FL 1095

ISSUE RECORD

Table with 2 columns: ISSUED FOR PERMIT, FIELD UPDATES. Dates: 02-09-2024, 03-15-2024.

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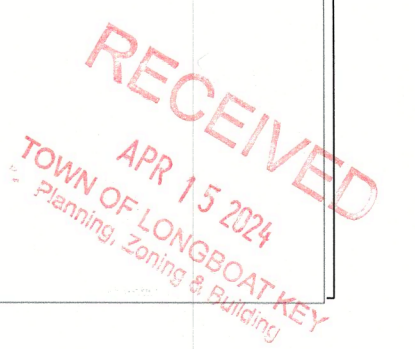
PROJECT NAME 670 PENFIELD ST

LOCATION LONGBOAT KEY, FL

SHEET TITLE GENERAL STRUCTURAL NOTES

SHEET NUMBER

S101



GENERAL STRUCTURAL NOTES:

- I. DESIGN DATA BUILDING CODE 1. FLORIDA STATE BUILDING CODE 2023 EDITION... II. DESIGN LOADS/DESIGN CRITERIA 1. WIND LOAD... 2. ROOF LOADS... 3. ROOF SNOW LOAD... 4. FLOOR LOADS... 5. STAIRS... 6. SEISMIC DESIGN DATA... C. ALTERNATE DESIGNS... D. FUTURE EXPANSION... E. GENERAL NOTES... F. REFERENCE STANDARDS... G. REQUIRED STRUCTURAL SUBMITTALS... H. SHOP DRAWINGS... I. SHOP DRAWING PACKAGES... J. PRIOR TO SUBMITTING... K. ELECTRONIC VERSION... L. SEE THE APPROPRIATE MATERIALS SECTION...

Table with 3 columns: CATEGORY, ITEM, COMMENTS. Includes CONCRETE, FOUNDATION REINFORCING, MIX DESIGNS FOR ALL CLASSES OF CONCRETE.

- III. SITE WORK GEOTECHNICAL REPORT 1. FOUNDATIONS, RETAINING & BASEMENT WALLS... 2. DESIGN NET SOIL BEARING CAPACITY IS AS FOLLOWS... 3. MINIMUM DEPTH FROM EXTERIOR GRADE TO BOTTOM OF BUILDING PERIMETER FOOTINGS SHALL BE 18".

- IV. CONCRETE CONCRETE MATERIAL PROPERTIES 1. CONCRETE PROPERTIES... 2. CONCRETE MIX DESIGNS & SUPPORTIVE DATA MUST BE SUBMITTED FOR APPROVAL... 3. FOR CONCRETE IN WET SERVICE OR IN CONTACT WITH WATER...

- B. REINFORCING MATERIAL PROPERTIES 1. REINFORCING PROPERTIES... 2. EPOXY COATING FOR REINFORCING SHALL CONFORM TO ASTM A-775 AND ACI-301 SECTION 3.2... 3. WHERE EPOXY COATED REINFORCING IS REQUIRED... 4. SOFT METRIC BAR SIZES VS. INCH-POUND (U.S. SYSTEM OF MEASURES) BAR SIZE TABLE.

Bar size comparison table: INCH-POUND BAR SIZE DESIGNATION vs SOFT METRIC BAR SIZE DESIGNATION.

- C. CAST IN PLACE CONCRETE 1. ALL CONCRETE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH IBC CHAPTER 19 & ACI-318... 2. ALL REINFORCING SHALL BE DETAILED, FABRICATED & PLACED IN ACCORDANCE WITH CRSI 'MANUAL OF STANDARD PRACTICE'... 3. PER ACI 318-16 SECTION 26.6.2.2, ALL REINFORCEMENT SHALL BE PLACED AND SUPPORTED PRIOR TO PLACING CONCRETE... 4. SPACING OF CONSTRUCTION OR CONTROL JOINTS IN WALLS EXPOSED TO VIEW SHALL NOT EXCEED 40 FEET... 5. SLEEVES EMBEDDED IN SLABS AND WALLS SHALL BE LOCATED CLEAR BETWEEN REINFORCING BARS... 6. UNLESS NOTED OTHERWISE ON THE DRAWINGS, PROVIDE EXTRA REINFORCING ON ALL SIDES OF ALL MISCELLANEOUS WALL AND SLAB OPENINGS... 7. PROVIDE A 3/4" CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE... 8. PROVIDE ISOLATION JOINTS AROUND COLUMNS AT SLAB ON GRADE AREAS... 9. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT: CONCRETE CAST AGAINST & PERMANENTLY EXPOSED TO EARTH... CONCRETE EXPOSED TO EARTH OR WEATHER... CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND... D. POST-INSTALLED CONCRETE ANCHORAGES 1. PER ACI 318-19 SECTION 17.1.3... 2. PER ACI 318-19 SECTION 17.2.2... 3. WHEN DIRECTED BY THE STRUCTURAL ENGINEER OF RECORD TO PROVIDE POST-INSTALLED ANCHORAGES...

- V. STEEL STEEL MATERIAL PROPERTIES 1. STEEL PROPERTIES... 2. ANCHOR RODS... 3. WELDING ELECTRODES... 4. STRUCTURAL TUBES... 5. EXPANSION BOLTS... B. STRUCTURAL STEEL 1. STRUCTURAL STEEL DESIGN & CONSTRUCTION SHALL CONFORM TO IBC CHAPTER 22... 2. STRUCTURAL STEEL SUPPLIER SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIAL SUPPLIED... 3. PROVIDE PROTECTIVE ASPHALTIC COATING OR EQUAL AROUND STRUCTURAL STEEL BELOW GRADE... 4. THIS STRUCTURE IS A NON-SELF SUPPORTING STEEL FRAME REQUIRING INTERACTION WITH OTHER ELEMENTS TO PROVIDE THE REQUIRED STABILITY...

Table with 3 columns: STEEL MATERIAL PROPERTIES, STRENGTH (PSI), ASTM. Includes PLATES, ANCHOR RODS, WELDING ELECTRODES, STRUCTURAL TUBES, EXPANSION BOLTS.

- VI. WOOD / TIMBER CONSTRUCTION DIMENSION LUMBER 1. STRUCTURAL LUMBER SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH IBC CHAPTER 23... 2. THIS STRUCTURE IS A NON-SELF SUPPORTING WOOD FRAME REQUIRING INTERACTION WITH OTHER ELEMENTS TO PROVIDE THE REQUIRED STABILITY... 3. ALL DIMENSION LUMBER SHALL BE GRADE STAMPED... 4. DIMENSION LUMBER SHALL BE #2 OR BETTER SOUTHERN PINE (GRADED PER NLGA)... 5. LOAD DURATION FACTOR Cd = 1.6 FOR WIND LOAD = 1.15 FOR SNOW LOAD... 6. ALL MEMBER SIZES SHOWN ON THE DRAWINGS ARE NOMINAL DIMENSIONS... 7. ALL BEAMS & JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH PREFABRICATED METAL JOIST HANGERS... 8. WOOD JOISTS SHALL BEAR ON THE FULL WIDTH OF SUPPORTING MEMBERS UNO... 9. NAILING SHALL BE IN ACCORDANCE WITH IBC SECTION 2304.9... 10. ALL HEADERS AND BEAMS SHALL HAVE KING AND JACK STUDS AT BEARING SUPPORTS... 11. ENGINEERED UPLIFT CONNECTIONS SHALL BE PROVIDED AT ALL ROOF MEMBER CONNECTIONS TO WALL TOP PLATES OR SUPPORTING MEMBERS... 12. FASTENERS IN TREATED WOOD COMPONENTS (FRT AND PRESERVATIVE) SHALL BE HOT DIP ZINC-COATED GALVANIZED STEEL UNO ON PLAN... 13. SLEEPERS AND BILLS BEARING ON CONCRETE OR MASONRY AND PERMANENT COLUMNS SUPPORTED BY FOOTINGS IN CONTACT WITH EARTH SHALL BE PRESERVATIVE TREATED... 14. WHERE PENNY WEIGHTS ARE INDICATED ON THE DRAWINGS, THE NAILS SHALL COMPLY WITH THE MINIMUM DIAMETERS INDICATED BELOW: PENNY WEIGHT MIN. SHANK DIAMETER... 15. NAILS AND STAPLES USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL CONFORM TO ASTM F 1667 AND SHALL HAVE THE FOLLOWING MINIMUM BENDING YIELD STRENGTHS: SHANK DIAMETER (IN) BENDING YIELD STRENGTH...

Table with 2 columns: PENNY WEIGHT, MIN. SHANK DIAMETER. Includes rows for 8D, 10D, 16D.

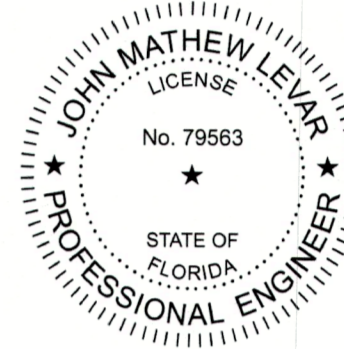
- B. ENGINEERED WOOD PRODUCTS 1. ENGINEERED WOOD SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH IBC CHAPTER 23... 2. ENGINEERED WOOD SUPPLIER SHALL PROVIDE ALL HANGERS, HARDWARE AND ACCESSORIES REQUIRED FOR INSTALLATION... 3. ENGINEERED WOOD MEMBERS INCLUDING PARALLEL STRAND LUMBER AND LAMINATED VENEER LUMBER SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES...

- C. STRUCTURAL SHEATHING 1. GENERAL A. PLYWOOD SHEATHING SHALL CONFORM TO IBC SECTION 2303.1.2 AND SHALL BE GRADE STAMPED BY APA... B. NAIL SIZE AND PATTERN SHALL BE AS INDICATED ON THE DRAWINGS... C. PLYWOOD SHALL HAVE A MINIMUM OF 4 PLIES... D. ORIENTED STRAND BOARD (OSB) IS AN ACCEPTABLE ALTERNATE WITH PRIOR WRITTEN APPROVAL... 2. FLOOR AND ROOF SHEATHING - HORIZONTAL USE A. PANEL FLOOR SHEATHING SHALL BE AS INDICATED ON THE FRAMING PLAN NOTES AND WOOD MATERIALS SCHEDULE... B. PANEL ROOF SHEATHING SHALL BE AS INDICATED ON THE FRAMING PLAN NOTES AND WOOD MATERIALS SCHEDULE... C. FASTENERS FOR FLOOR SHEATHING SHALL BE A MINIMUM OF 10d NAILS DRIVEN FLUSH WITH THE SURFACE OF THE SHEATHING... D. FASTENING FLOOR AND ROOF PANELS TO SUPPORTS USING COMMON NAILS AT 12" OC IN THE FIELD AND AT 6" OC AT THE EDGES... E. SHEATHING SHALL BE ORIENTED WITH THE STRONG AXIS PERPENDICULAR TO SUPPORTS... F. FLOOR AND ROOF DIAPHRAGMS SHALL BE BLOCKED WITH 2x4 BLOCKING... 3. WALL SHEATHING/SHEAR WALL PANELS - VERTICAL USE A. SEE THE DRAWINGS FOR SHEAR WALL SHEATHING THICKNESS, TYPE AND GRADE... B. REFER TO ARCHITECTURAL DRAWINGS FOR NON-SHEAR WALL SHEATHING TYPE... C. SEE THE DRAWINGS FOR SPECIFIC SHEAR WALL FASTENING REQUIREMENTS... D. STUD FRAMING SHALL BE A MAXIMUM OF 1" - 4" OC... E. UNO ON DRAWINGS, PROVIDE A MINIMUM OF 10d DRIVEN FLUSH WITH THE SURFACE OF THE SHEATHING... F. WALL SHEATHING MAY BE ORIENTED EITHER HORIZONTALLY OR VERTICALLY... G. WALL SHEATHING MAY BE ORIENTED EITHER HORIZONTALLY OR VERTICALLY.

- D. GYPSUM WALLBOARD SHEATHING 1. GYPSUM WALL BOARD SHALL NOT BE USED FOR SHEAR WALL SHEATHING IN SEISMIC DESIGN CATEGORIES E OR F... 2. TYPICAL GYPSUM WALL BOARD SHALL BE A MINIMUM OF 5/8" THICK UNO ON DRAWINGS... 3. STUD FRAME BACKUP FOR GYP BOARD SHEATHING SHALL BE A MAXIMUM OF 1" - 4" OC... 4. SEE IBC SECTION 2308.1 FOR REQUIREMENTS ON APPLICATION OF GYPSUM WALL BOARD TO WOOD FRAMING... 5. UNO ON DRAWINGS, PROVIDE No. 6, TYPE W or S x 1 1/2" LONG SCREW DRIVEN FLUSH WITH THE SURFACE OF THE SHEATHING... AND FIELD.

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REGISTRATION



AST FIRM REGISTRATION: 31630

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ENGINEER OF RECORD:  
 J. LEVAR

DRAWN BY: S. STRICKLAND  
 DESIGNED BY: M. SCHMIDT

AST JOB NUMBER:  
 FL 1095

ISSUE RECORD  
 ISSUED FOR PERMIT 02-09-2024  
 FIELD UPDATES 03-15-2024

BLDG PERMIT PLANS  
 FILE  
 Copy of Record

PROJECT NAME  
**670 PENFIELD ST**

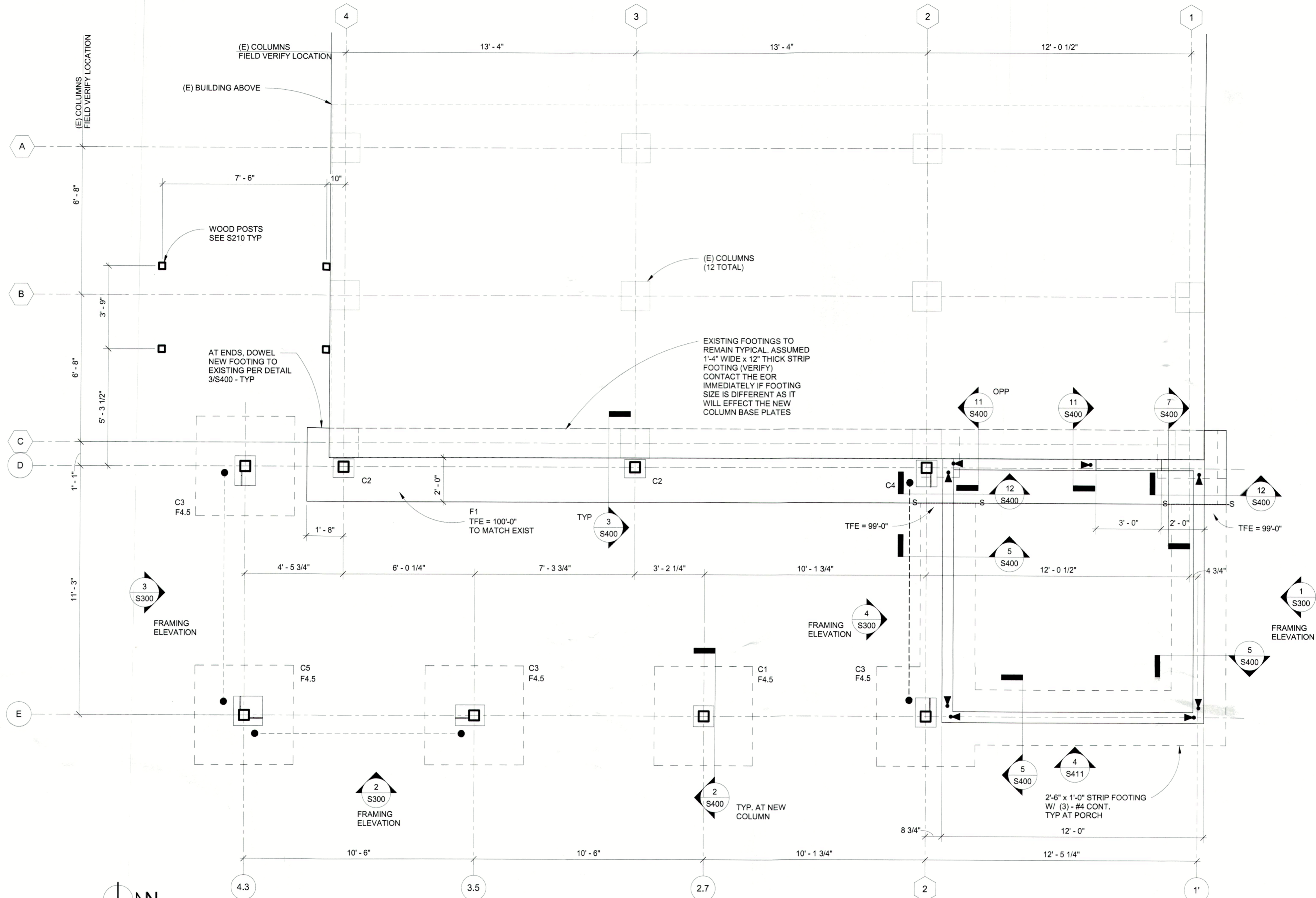
LOCATION  
 LONGBOAT KEY, FL

SHEET TITLE  
**FOUNDATION PLAN**

SHEET NUMBER

**S200**

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**1 FOUNDATION PLAN**  
 3/8" = 1'-0"

**FOUNDATION PLAN NOTES:**

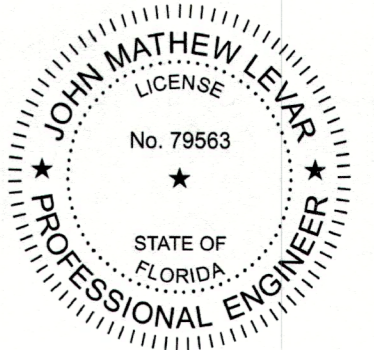
- IN THE AREA OF CONSTRUCTION, TOP OF SLAB ELEVATION (TSE) = 100'-0" IF THE EXISTING SLAB IS NOT AT A CONSISTENT ELEVATION, THE CONTRACTOR SHALL DETERMINE THE LOWEST POINT AND DEFINE AS 100'-0".
- VERIFY ALL ELEVATIONS AND DIMENSIONS WITH GENERAL CONTRACTOR.
- VERIFY ALL EXISTING CONDITIONS IN FIELD, INCLUDING EXISTING FOOTING ELEVATIONS.
- TOP OF NEW FOOTING ELEVATION (TFE) = 99'-0". UNO
- FOOTINGS SHALL BE CENTERED ON COLUMNS UNO ON PLAN.
- THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT THE FOOTING ELEVATIONS SHOWN LOCATE THE BOTTOM OF THE FOOTING AT AN ELEVATION WHICH PROVIDES BEARING IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF LOCATIONS THAT DO NOT SATISFY THOSE REQUIREMENTS. IN THOSE CASES, THE GRADE MAY BE ELEVATED WITH COMPACTED MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER OR THE FOOTING DEPTH MAY BE INCREASED WITH THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
- "F1" ON PLAN INDICATES FOOTING TYPE - SEE SCHEDULE ON THIS SHEET FOR FOOTING SIZE AND REINFORCING.
- "C1" ON PLAN INDICATES STEEL COLUMN TYPE - SEE SCHEDULE ON THIS SHEET FOR COLUMN SIZE.
- ON PLAN DENOTES SHEAR WALL END POST ANCHORAGE HARDWARE AT THE FOUNDATION LEVEL - SEE 4/S400 FOR ADDITIONAL INFORMATION ON HARDWARE.
- AT THE PORCH, WALL SHEATHING SHALL BE (1) LAYER OF 15/32" OSB AT THE EXTERIOR FACE OF THE WALL, BLOCKED, AND FASTENED WITH 8d NAILS AT 6" OC AT THE EDGE AND IN THE FIELD - TYP UNO IN 4/S411.
- SEE DETAIL 6/S400 FOR TYPICAL CONCRETE WALL CORNER REINFORCING.
- FOR END OF STAIR STRINGER CONNECTION TO EXISTING CONCRETE SLAB - SEE 8/S400.
- ON PLAN INDICATES DIAGONAL ROD CROSS BRACING, SEE ELEVATIONS.
- ALL STEEL TO BE GALVANIZED AND POWDER COATED.
- S ON PLAN INDICATES FOOTING STEP, SEE 7/S400

COLUMN SCHEDULE		
MARK & SIZE	BASE PLATE	REMARKS
C1 - HSS 5-1/2X5-1/2X1/4	PL3/4x11 1/2x 0'-11 1/2"	BP-1 - SEE DETAIL 1/S400
C2 - HSS 5-1/2X5-1/2X1/4	PL3/4x11 1/2x1'-0 3/4"	BP-2 - SEE DETAIL 3/S400
C3 - HSS 5-1/2X5-1/2X1/4	PL3/4x11 1/2x1'-4"	BP-3 - SEE DETAIL 1/S400
C4 - HSS 5-1/2X5-1/2X1/4	PL3/4x11 1/2x1'-2 1/2"	BP-4 - SEE DETAIL 3/S400
C5 - HSS 5-1/2X5-1/2X1/4	PL3/4x16x1'-4"	BP-5 - SEE DETAIL 1/S400

FOOTING SCHEDULE - 2,000 PSF			
MARK	SIZE	REINFORCING	REMARKS
F1	2'-0"x1'-4" THICK CONT. STRIP FTG	(3) #5 T & B CONT. #5 DWLS. SEE 3/S400	
F4.5	4'-6"x4'-6"x1'-0"	(6) #4 T & B EACH WAY	

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REGISTRATION



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ENGINEER OF RECORD:  
 J. LEVAR

DRAWN BY: DESIGNED BY:  
 S. STRICKLAND M. SCHMIDT

AST JOB NUMBER:  
 FL 1095

ISSUE RECORD  
 ISSUED FOR PERMIT 02-09-2024  
 FIELD UPDATES 03-15-2024

BLDG PERMIT PLANS  
 FILE  
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PROJECT NAME  
**670 PENFIELD ST**

LOCATION  
 LONGBOAT KEY, FL

SHEET TITLE  
**FRAMING PLAN**

SHEET NUMBER

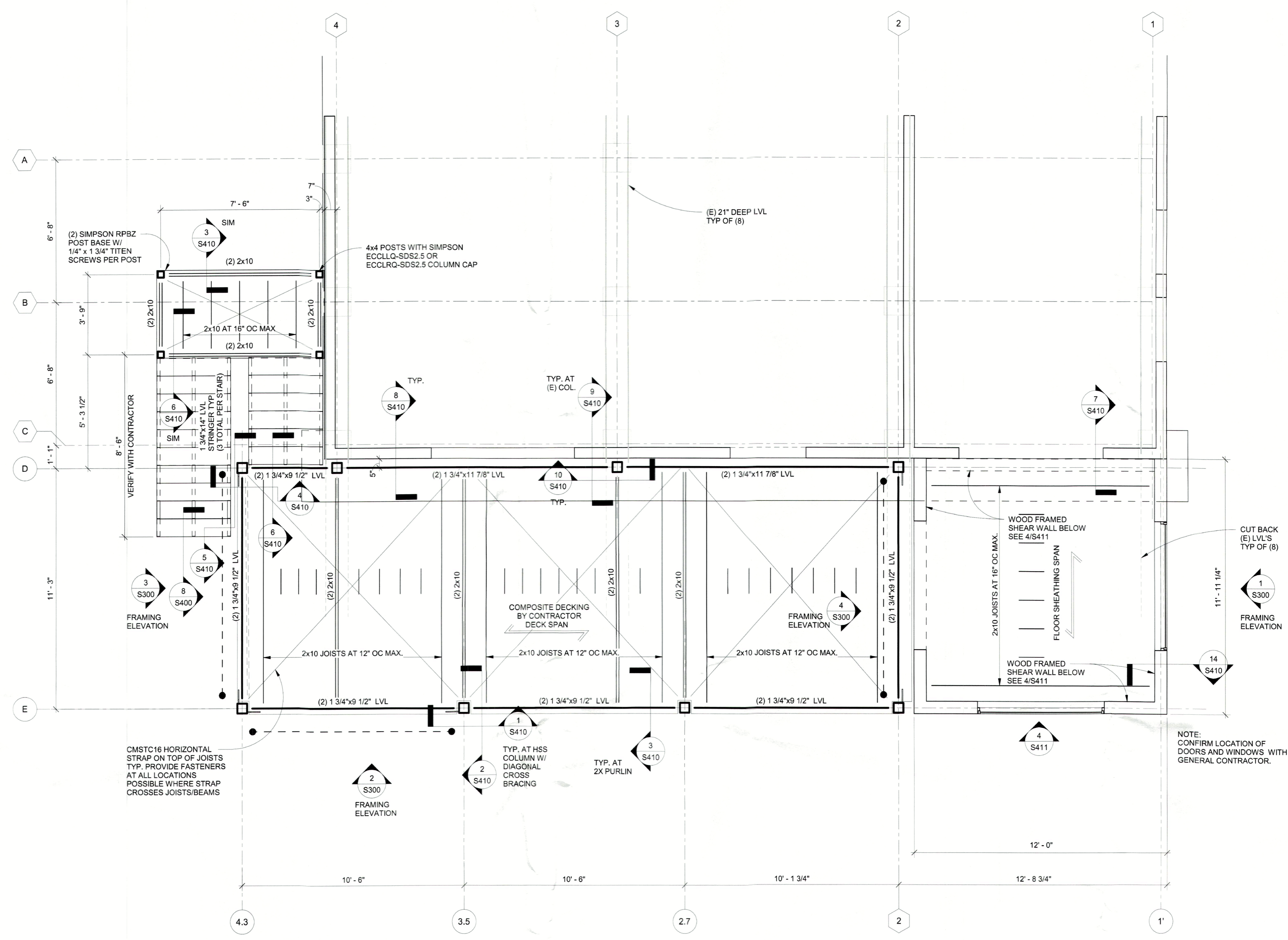
**S210**

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 Planning, Zoning & Building

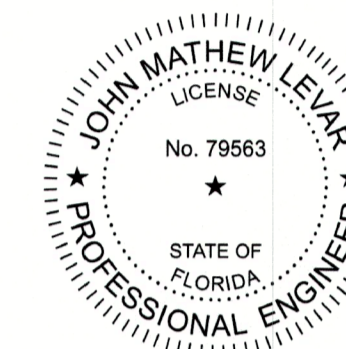
WOOD FASTENING SCHEDULE		
CONNECTION	FASTENING	LOCATION
1. JOIST/TRUSS TO TOP PLATE OR BEAM	(3) - 8d COMMON (2 1/2"x0.131") (3) - 3"x0.131" NAILS (3) - 3" - 14 GAGE STAPLES	TOENAIL
2. SOLE PLATE TO JOIST OR BLOCKING	16d (3 1/2"x0.135") AT 16" OC 3"x0.131" NAILS AT 8" OC 3" - 14 GAGE STAPLES AT 12" OC	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3" - 16d (3 1/2"x0.135") AT 16" OC (4) - 3"x0.131" NAILS AT 16" OC (4) - 3" - 14 GAGE STAPLES PER 16"	BRACED WALL PANELS
3. TOP PLATE TO STUD	(2) - 16d COMMON (3 1/2"x0.162") (3) - 3"x0.131" NAILS (3) - 3" - 14 GAGE STAPLES	END NAIL
4. STUD TO SOLE PLATE	(4) - 8d COMMON (2 1/2"x0.131") (4) - 3"x0.131" NAILS (3) - 3" - 14 GAGE STAPLES	TOENAIL
	(2) - 16d COMMON (3 1/2"x0.162") (3) - 3"x0.131" NAILS (3) - 3" - 14 GAGE STAPLES	END NAIL
5. DOUBLE STUDS	16d (3 1/2"x0.135") AT 24" OC 3"x0.131" NAILS AT 8" OC 3" - 14 GAGE STAPLES AT 8" OC	FACE NAIL
6. DOUBLE TOP PLATES	16d (3 1/2"x0.135") AT 16" OC 3"x0.131" NAILS AT 12" OC 3" - 14 GAGE STAPLES AT 12" OC	TYPICAL FACE NAIL
DOUBLE TOP PLATES	(8) - 16d COMMON (3 1/2"x0.162") (12) - 3"x0.131" NAILS (12) - 3" - 14 GAGE STAPLES	LAP SPLICE
7. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) - 8d COMMON (2 1/2"x0.131") (3) - 3"x0.131" NAILS (3) - 3" - 14 GAGE STAPLES	TOENAIL
8. RIM JOIST TO TOP PLATE	8d (2 1/2"x0.131") AT 6" OC 3"x0.131" NAILS AT 6" OC 3" - 14 GAGE STAPLES AT 6" OC	TOENAIL
9. BUILT-UP CORNER STUDS	16d COMMON (3 1/2"x0.162") 3"x0.131" NAILS 3" - 14 GAGE STAPLES	24" OC 16" OC 16" OC
10. BEAMHEADERS TO JACK STUDS/POST	(4) - 8d COMMON (2 1/2"x0.131")	TOENAIL

BUILT-UP WOOD HEADER / BEAM FASTENING SCHEDULE			
DIMENSION LUMBER			
	PLYS	DEPTH	FASTENERS
	2	D < 14"	16d NAILS 2 ROWS AT 12" OC
	2	D ≥ 14"	16d NAILS 3 ROWS AT 12" OC
	3	D < 14"	16d NAILS 2 ROWS AT 12" OC
	3	D ≥ 14"	16d NAILS 3 ROWS AT 12" OC
LVL			
	PLYS	DEPTH	FASTENERS
	2	D < 14"	1/4" Ø 2 1/2" SDS SCREWS 2 ROWS AT 12" OC
	2	D ≥ 14"	1/4" Ø 2 1/2" SDS SCREWS 3 ROWS AT 12" OC
	3	D < 14"	1/4" Ø 3 1/2" SDS SCREWS 2 ROWS AT 12" OC
	3	D ≥ 14"	1/4" Ø 3 1/2" SDS SCREWS 3 ROWS AT 12" OC

NOTES:  
 1. FOR 2 PLY MEMBERS ALL FASTENERS ARE TO BE INSTALLED FROM SAME SIDE.  
 2. FOR 3 PLY MEMBERS SAME FASTENERS ARE INSTALLED AT EACH FACE. STAGGER LAYOUT 1/2 FASTENER SPACING FROM ONE FACE TO THE OTHER.



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**J. LEVAR**

DRAWN BY: **S. STRICKLAND** DESIGNED BY: **M. SCHMIDT**

AST JOB NUMBER:  
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PROJECT NAME  
**670 PENFIELD ST**

LOCATION  
 LONGBOAT KEY, FL

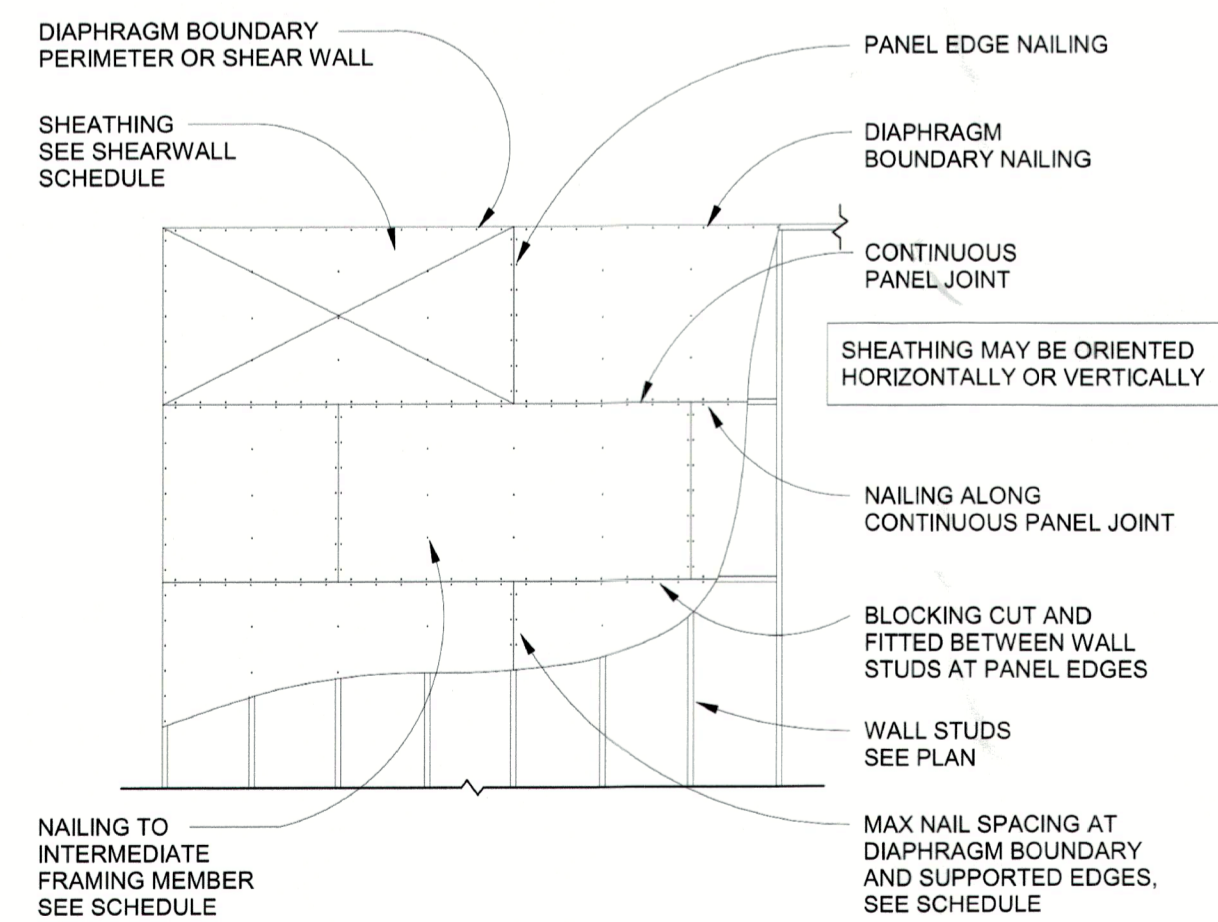
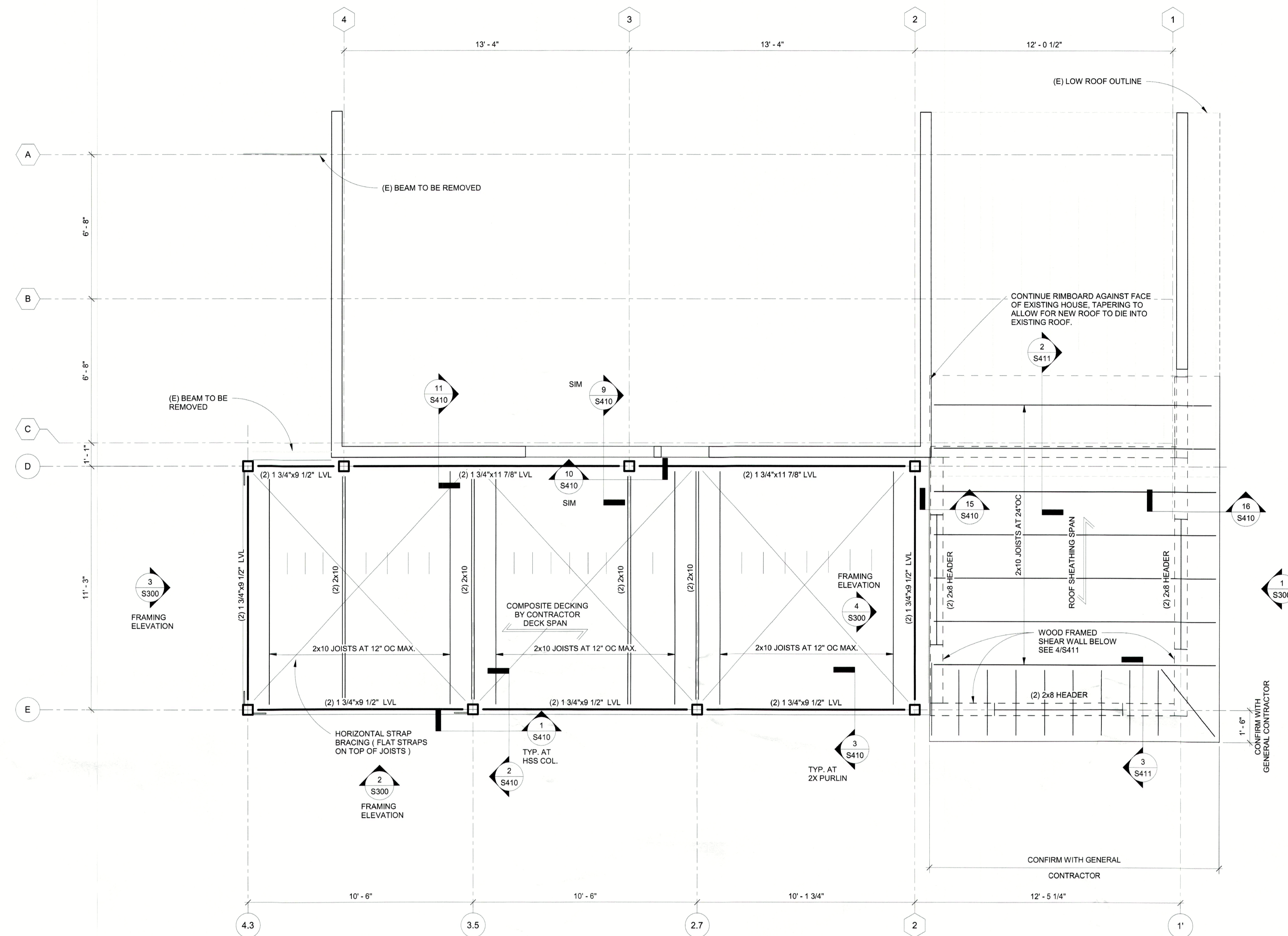
SHEET TITLE  
**FRAMING PLAN**

SHEET NUMBER

**S220**

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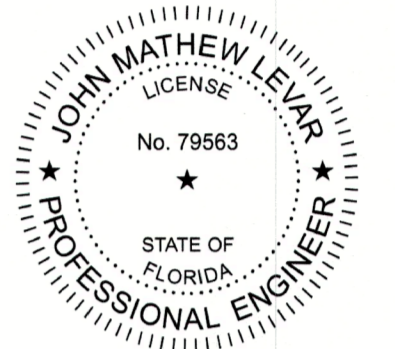


**2** BLOCKED WALL NAILING PLAN  
 1/4" = 1'-0" (AST S7025)

**1** LEVEL 3 FRAMING PLAN  
 3/8" = 1'-0"

- LEVEL 3 FRAMING PLAN NOTES:
- SEE SHEET S300 FRR ELEVATIONS. CONFIRM ALL OPENING LOCATIONS, DIMENSIONS, ELEVATIONS AND ROOF SLOPE W/ GENERAL CONTRACTOR.
  - WHERE NOTED ON PLAN, ROOF SHEATHING SHALL BE 1/2", APA EXPOSURE I WITH 48/24 RATING, UNO. FASTEN FLOOR SHEATHING TO SUPPORT W/ #9 SD SCREWS (SEE STRUCTURAL NOTES) AT 12" OC IN THE FIELD AND 6" OC AT PANEL EDGES.
  - ALL NEW HEADERS SHALL HAVE A MINIMUM OF (1) JACK STUD AND (1) KING STUD AT EACH END OF OPENING UNO.
  - SEE LEVEL 2 PLAN NOTES SHEET S210 FOR PORCH WALL SHEATHING.

REGISTRATION



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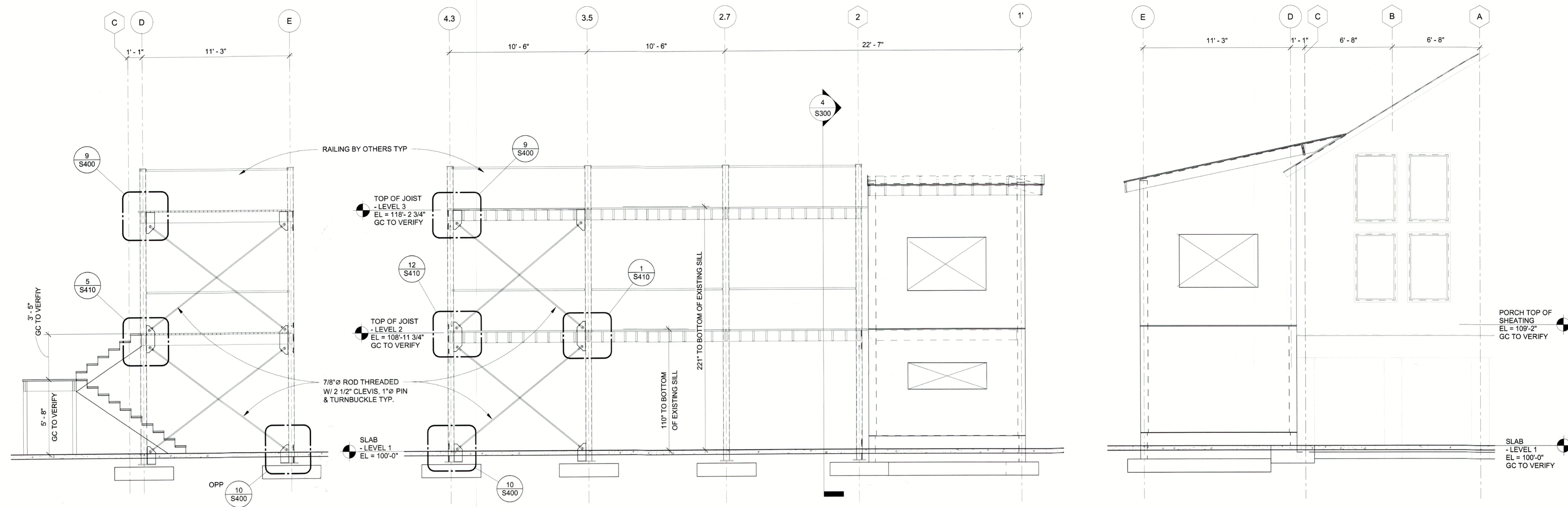
SHEET TITLE  
**FRAMING ELEVATIONS**

SHEET NUMBER

**S300**

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**3 FRAMING ELEVATION - SOUTH FACE**  
 1/4" = 1'-0"

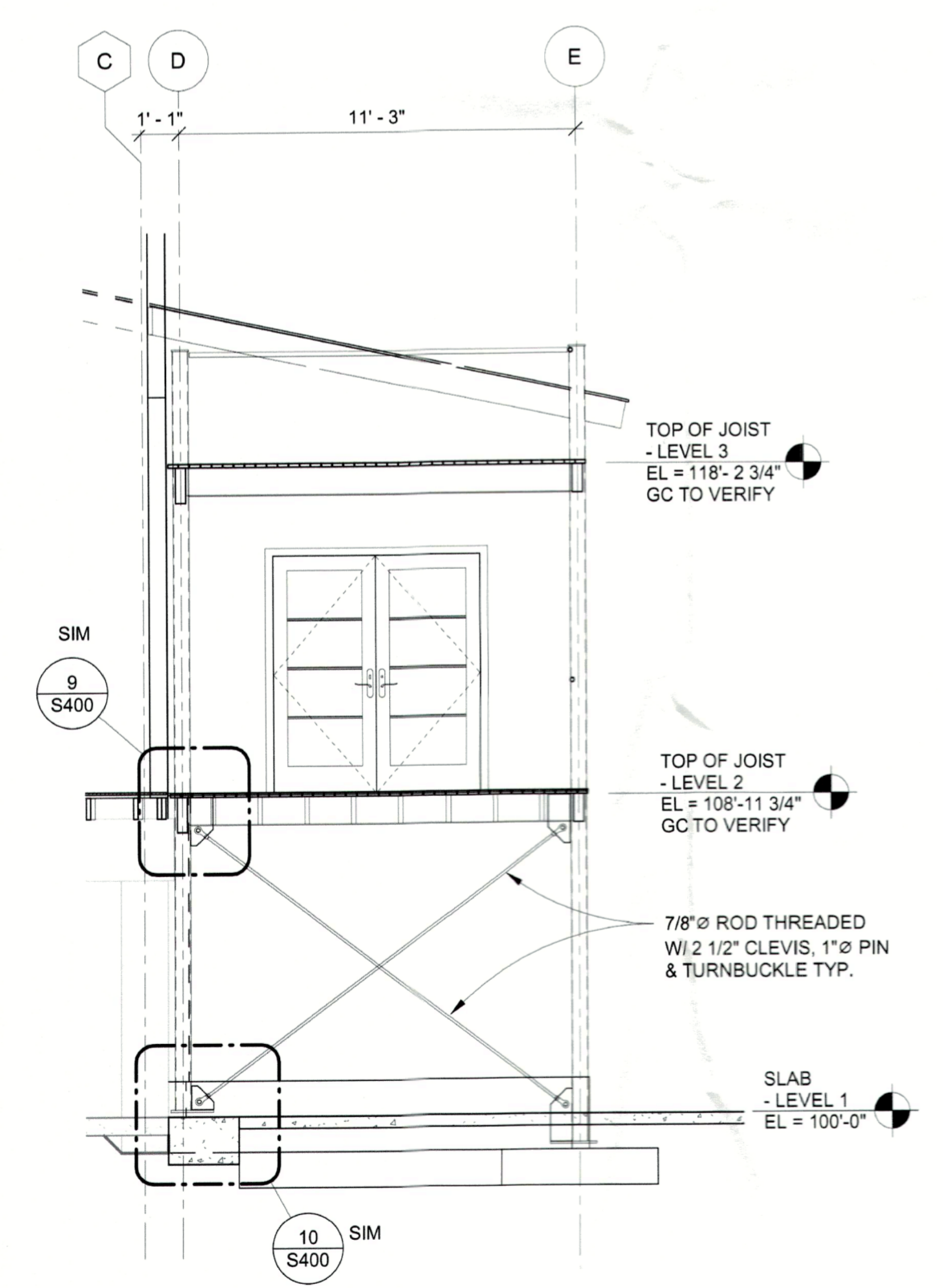
1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

**2 FRAMING ELEVATION - EAST FACE**  
 1/4" = 1'-0"

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

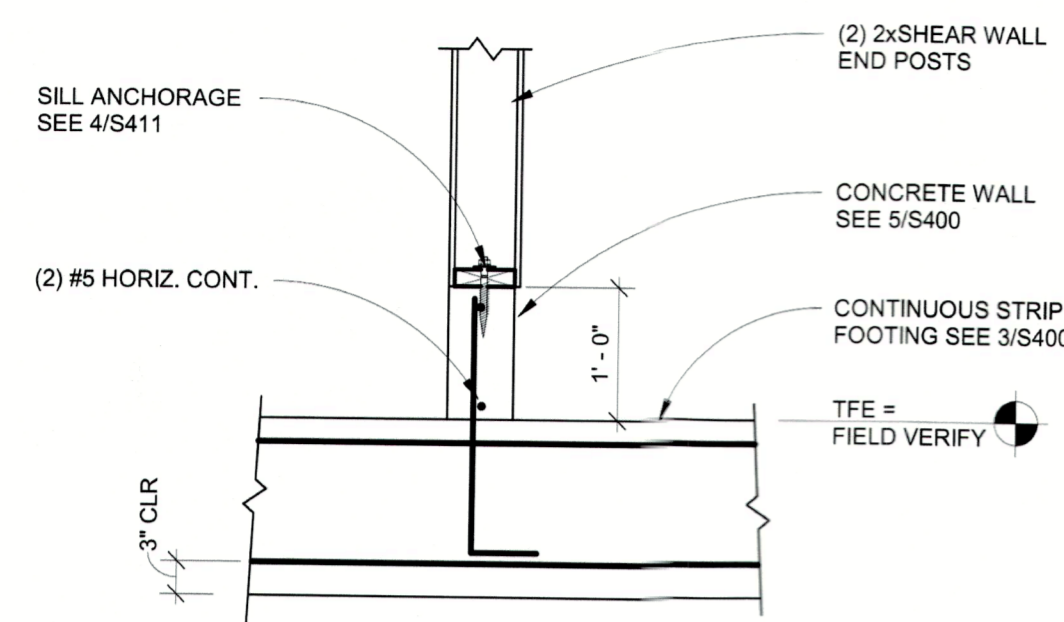
**1 FRAMING ELEVATION - NORTH FACE**  
 1/4" = 1'-0"

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

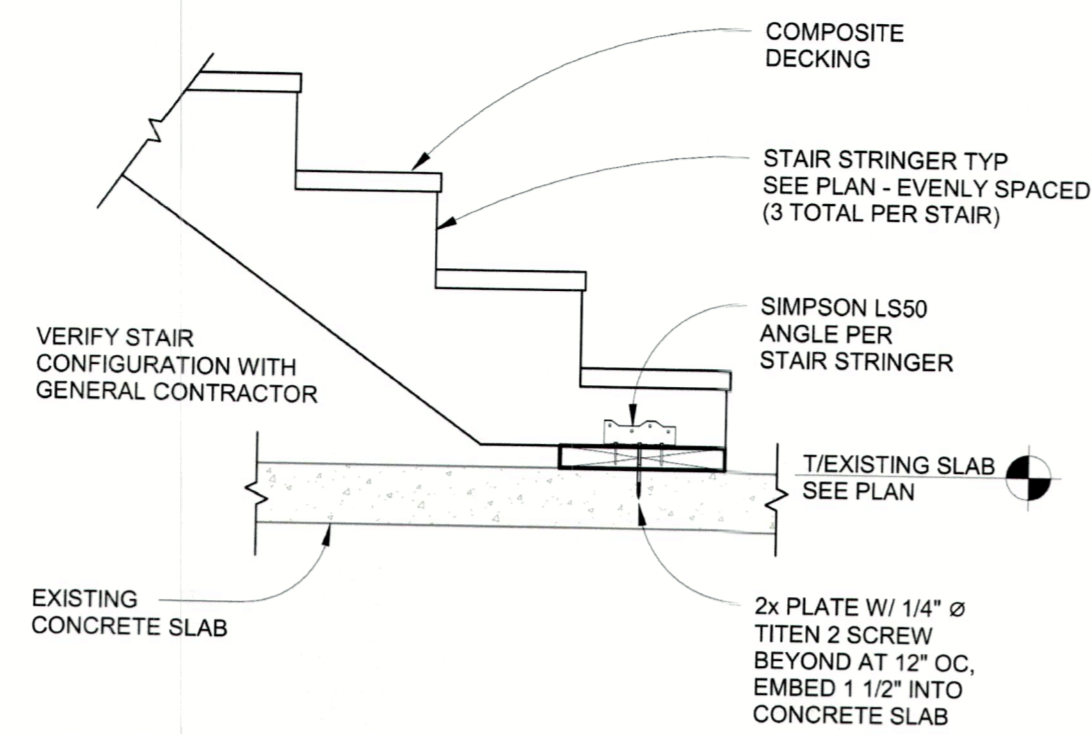


**4 FRAMING ELEVATION - SOUTH FACE OF ADDITION**  
 1/4" = 1'-0"

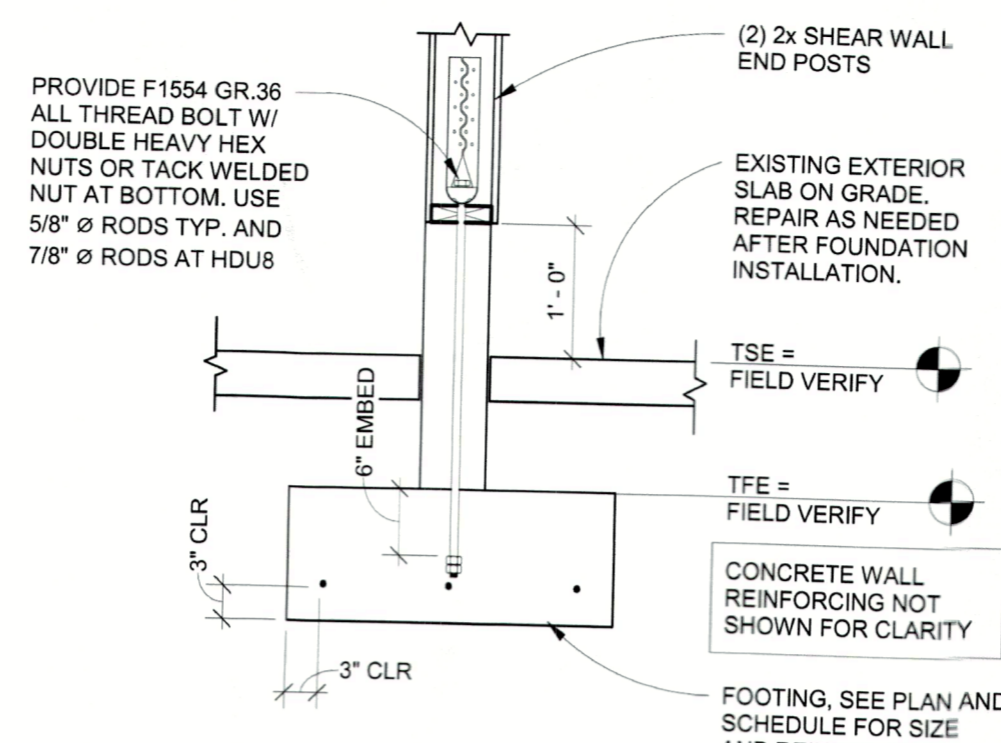
1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.



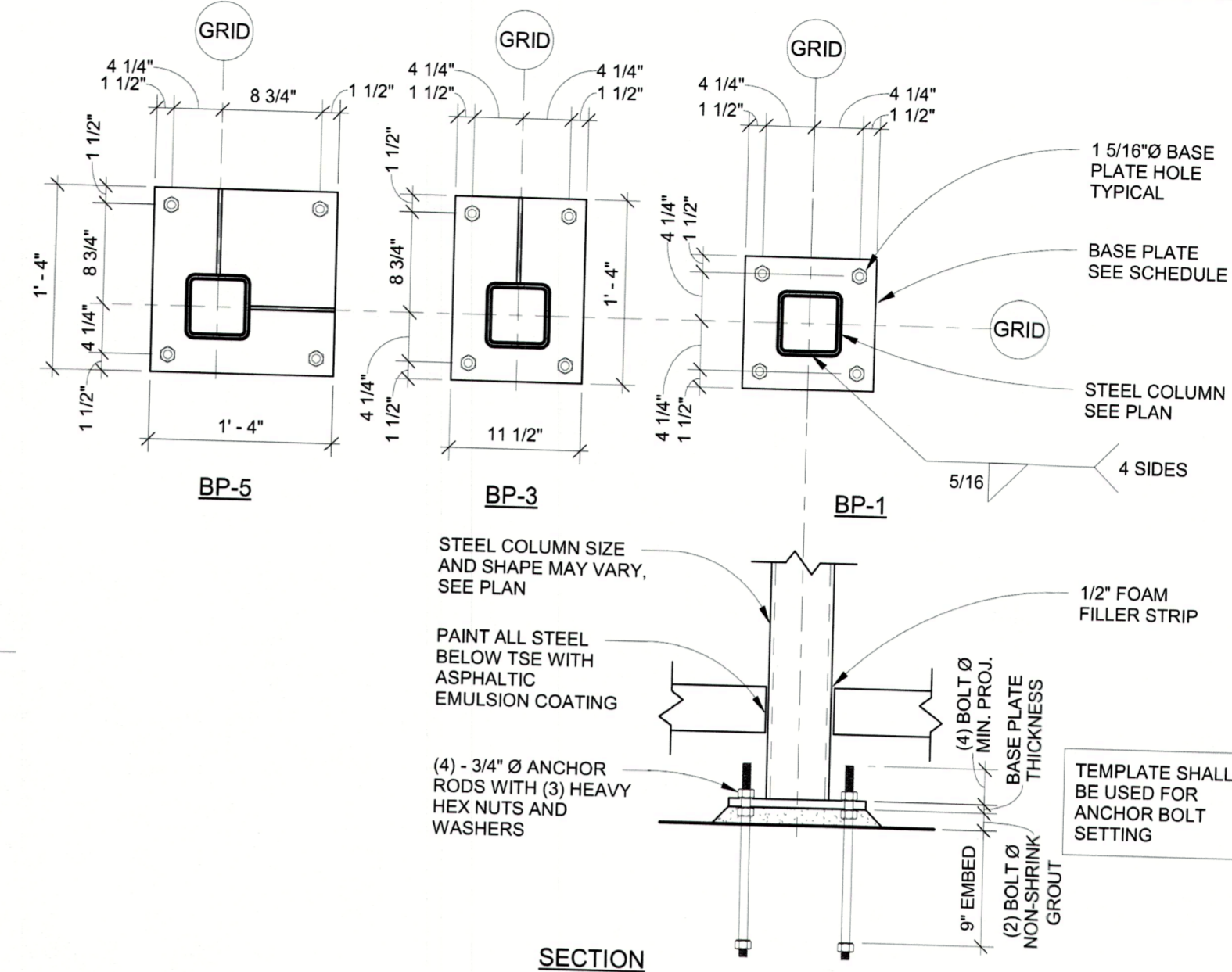
12 SECTION AT STUB WALL  
3/4" = 1'-0"



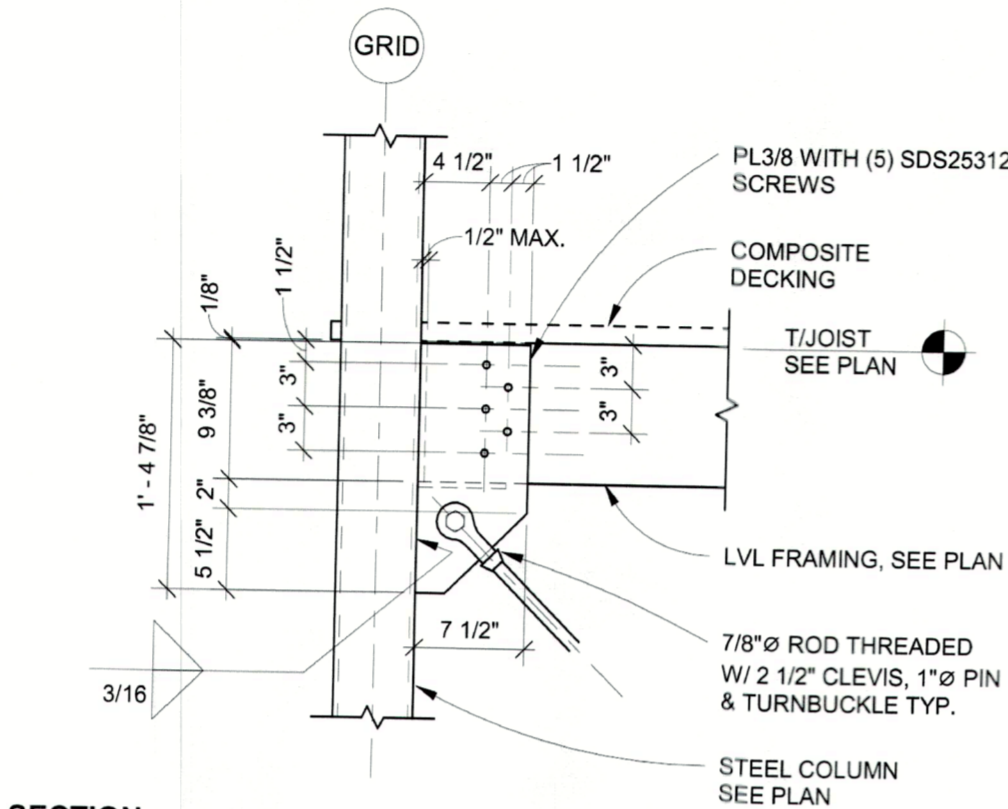
8 SECTION AT STRINGER BASE  
1" = 1'-0"



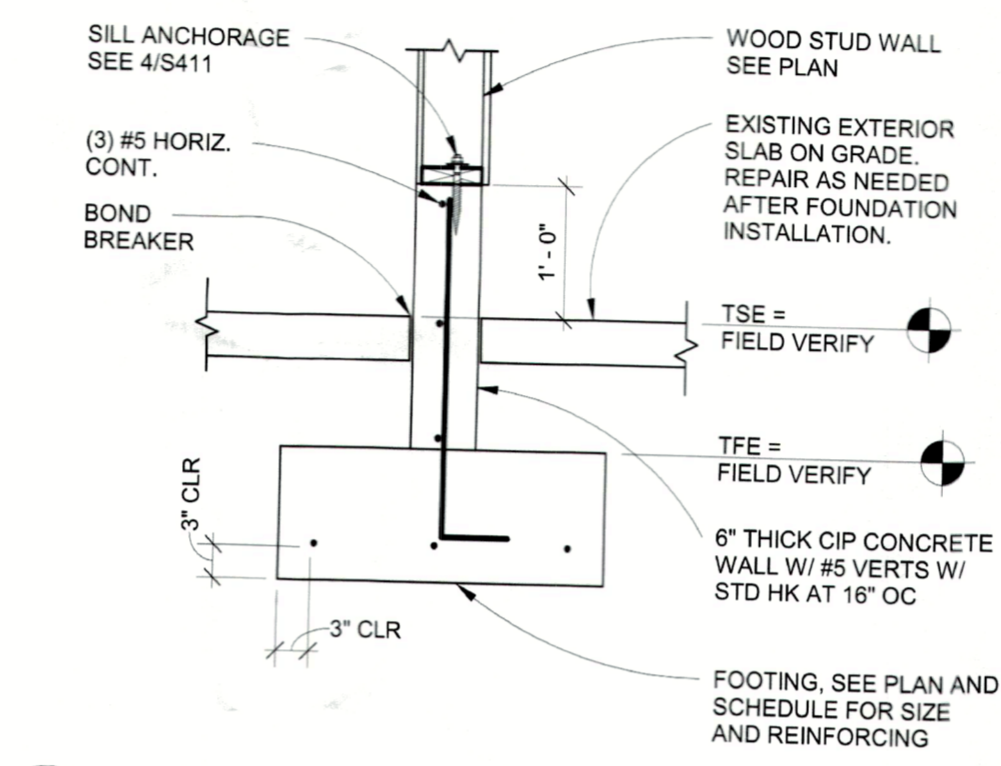
4 SECTION AT SHEAR WALL HOLD DOWN LOCATIONS  
3/4" = 1'-0"



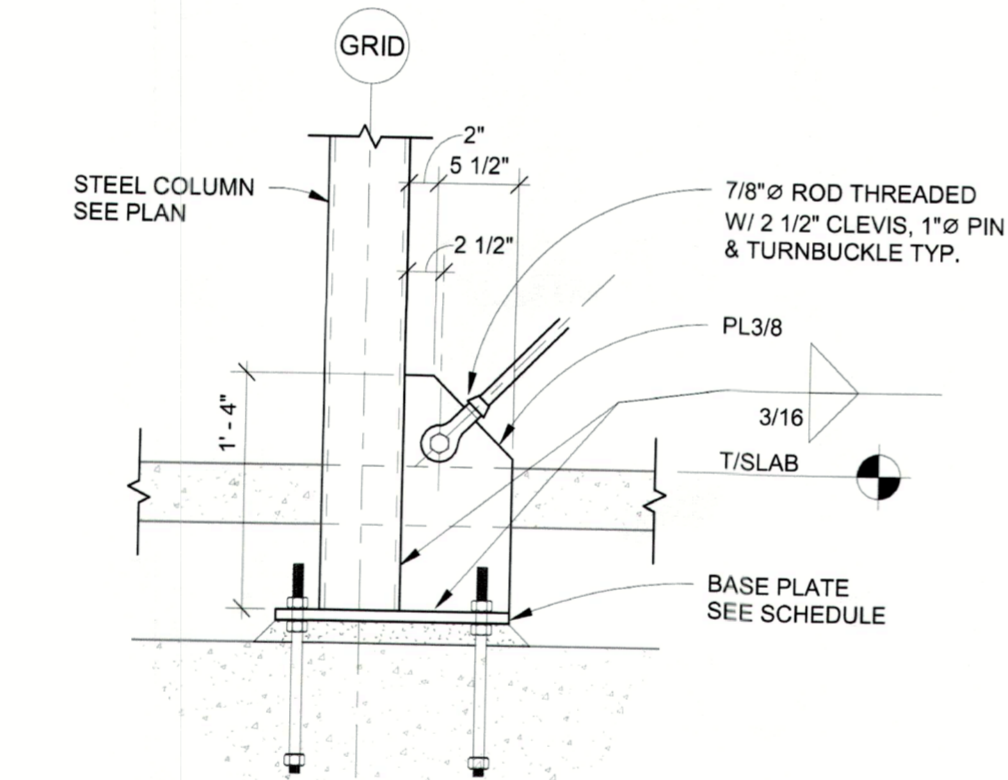
1 TYPICAL ANCHOR BOLT SETTING  
1" = 1'-0" (AST S5000a)



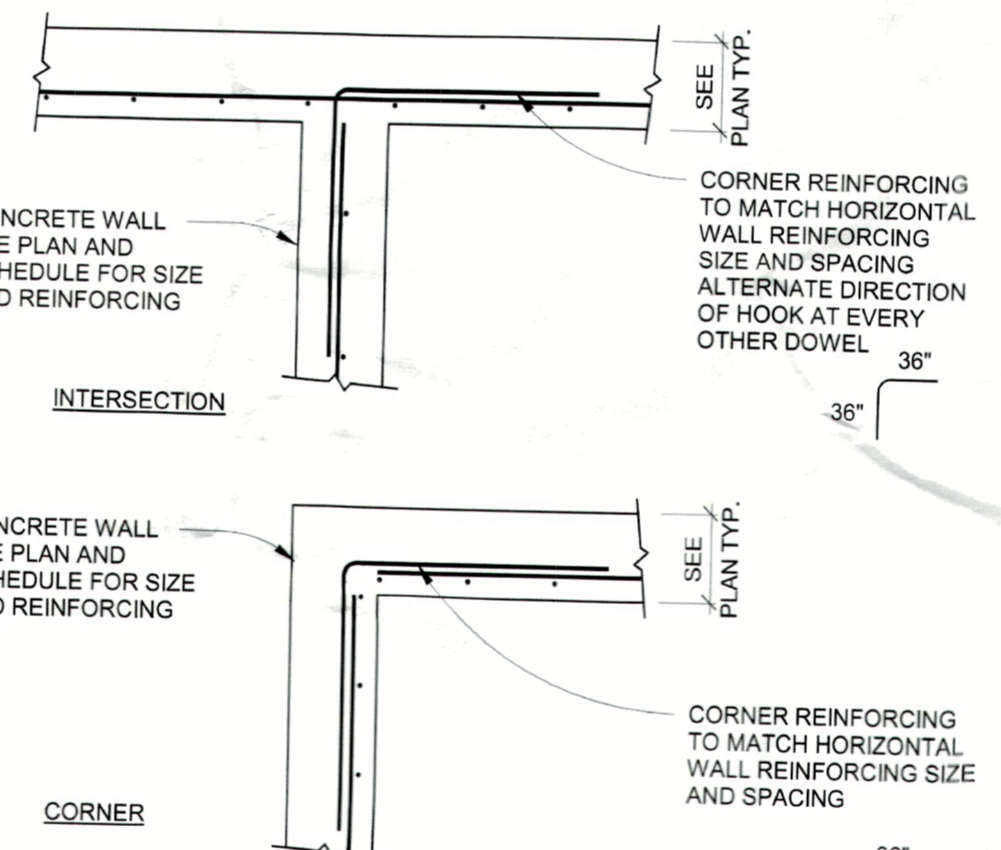
9 SECTION  
1" = 1'-0"



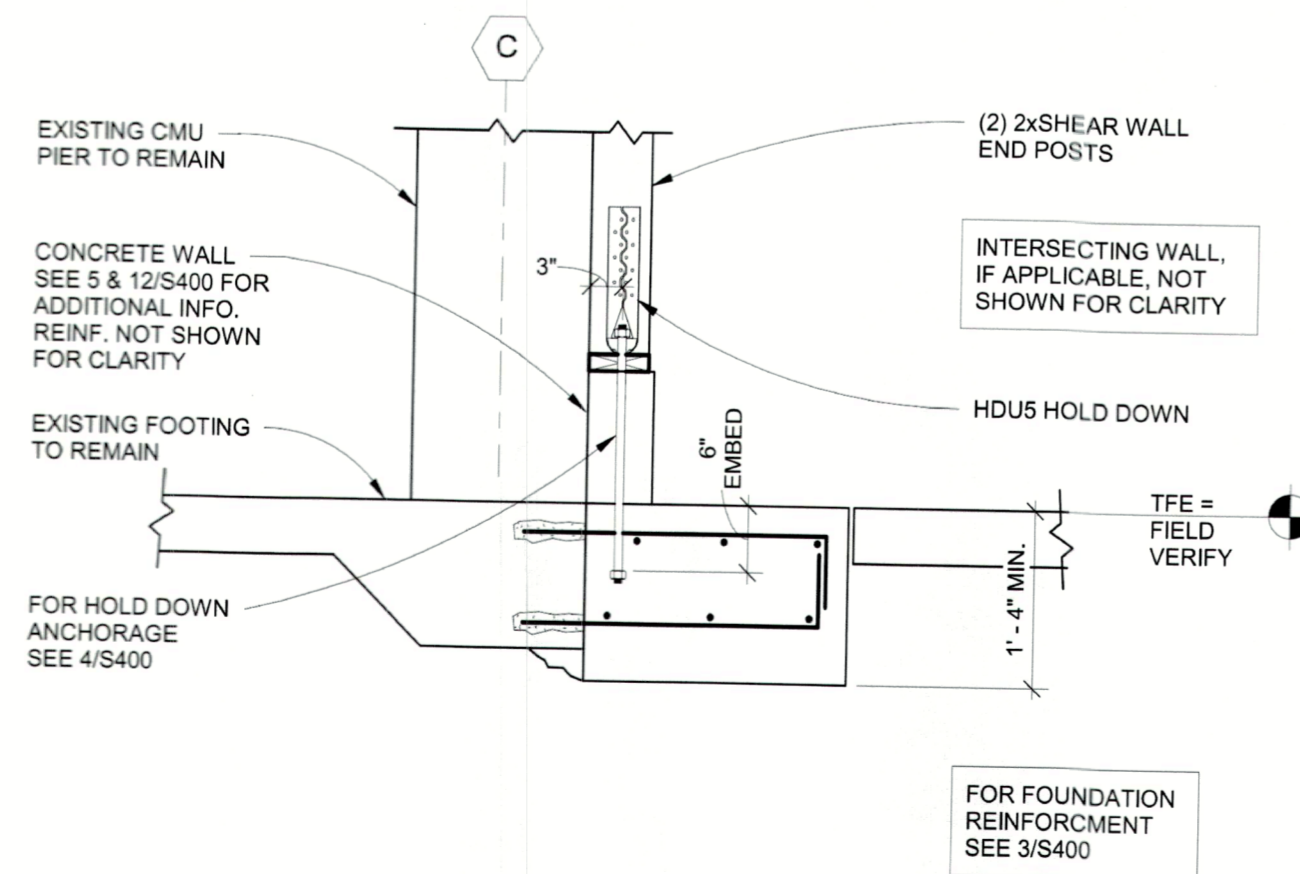
5 SECTION AT STUB WALL  
3/4" = 1'-0"



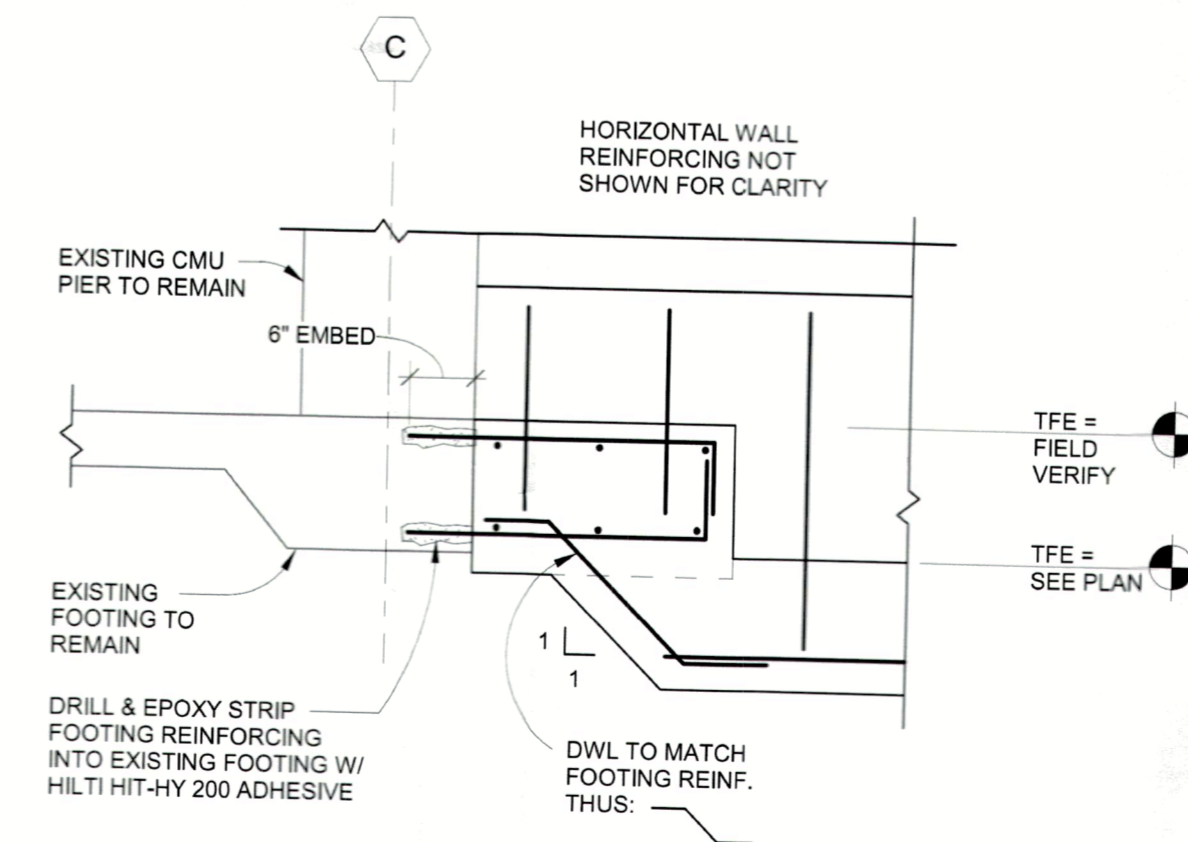
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1" = 1'-0"



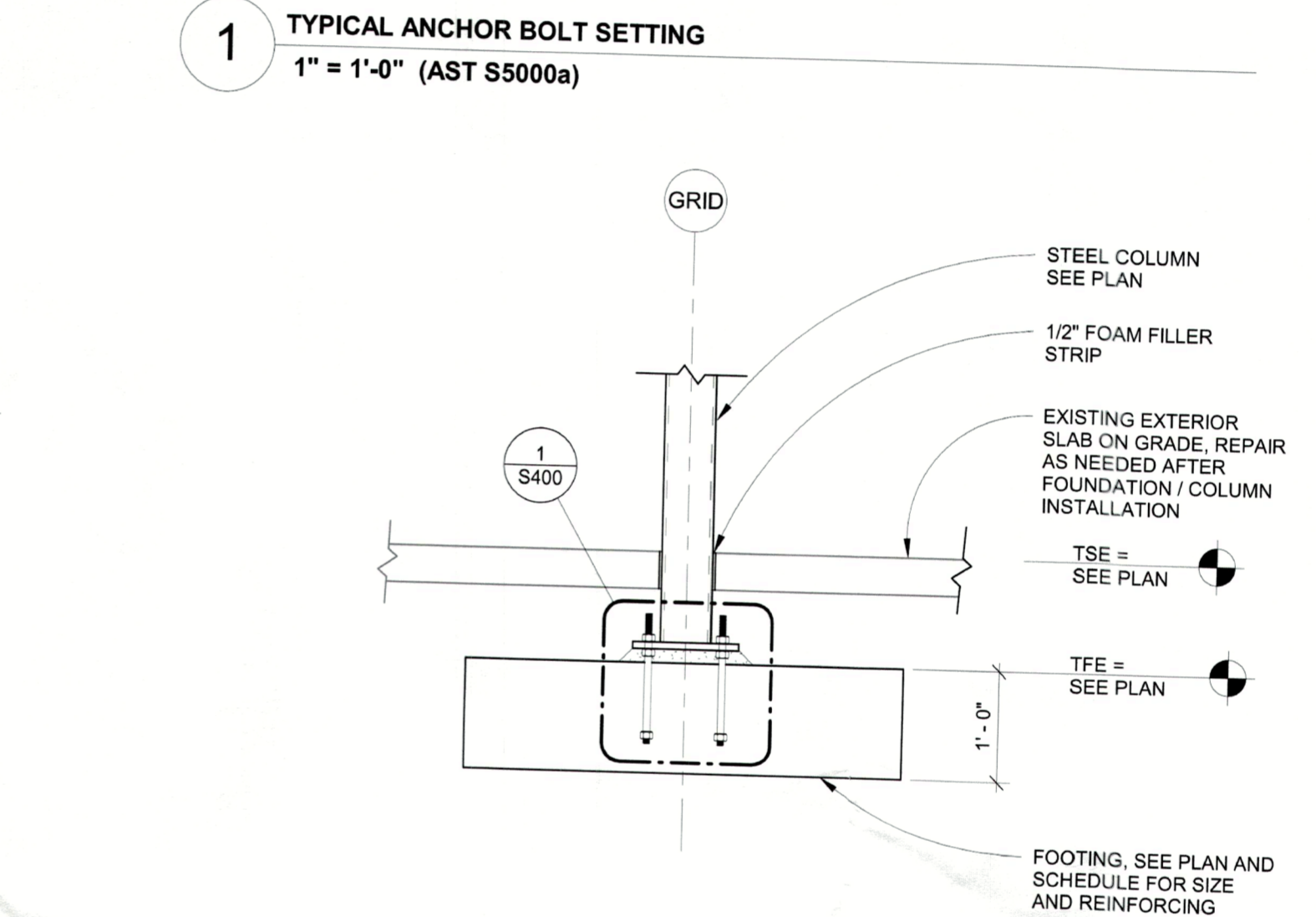
6 TYPICAL CONCRETE WALL CORNER REINFORCING  
1/2" = 1'-0" (AST S2004a)



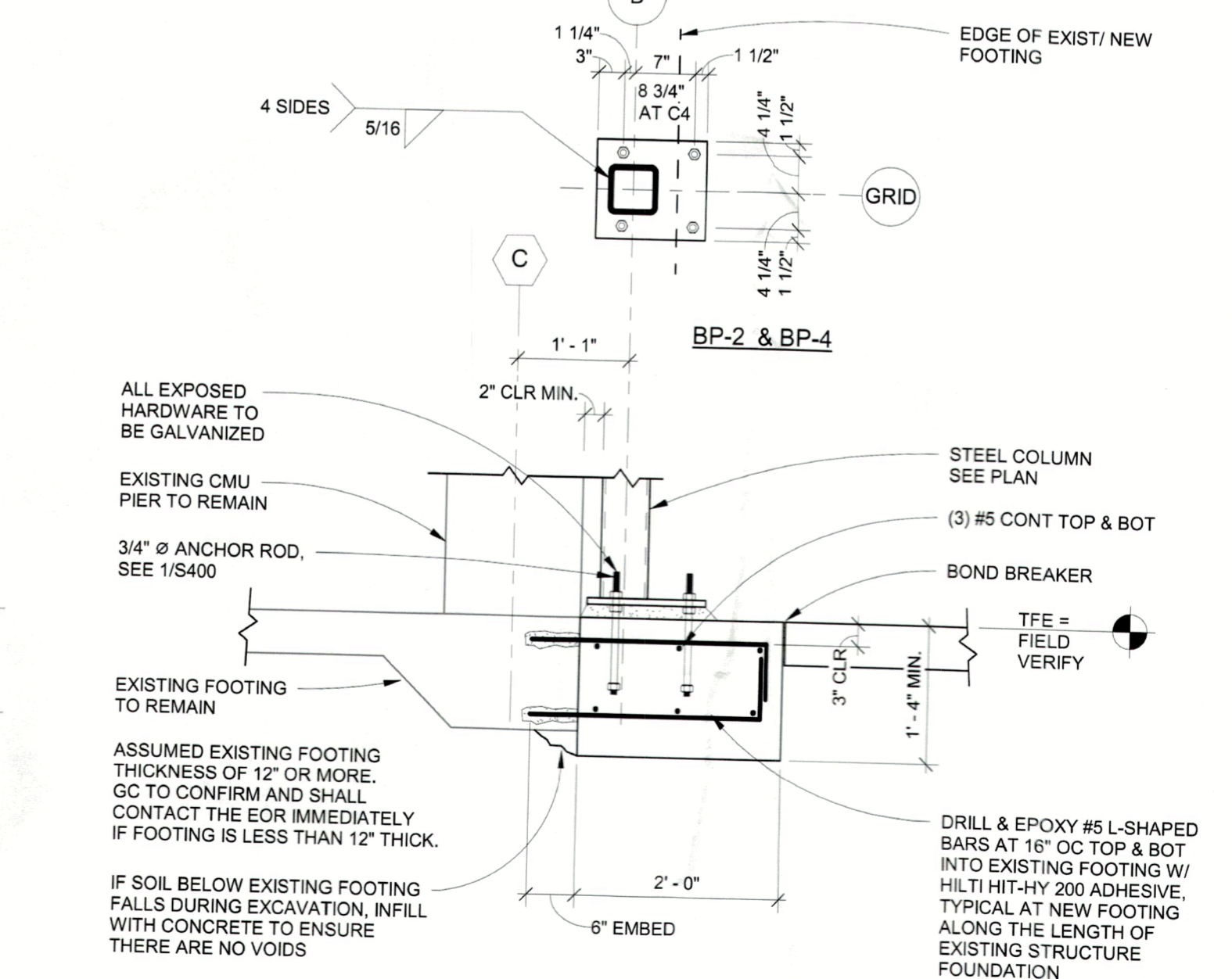
11 SECTION AT HOLD DOWN  
3/4" = 1'-0"



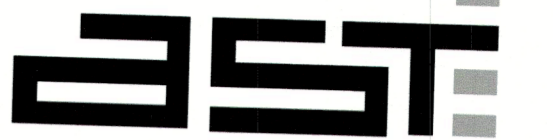
7 SECTION AT FOOTING STEP  
3/4" = 1'-0"



2 SECTION AT FOOTING  
3/4" = 1'-0"



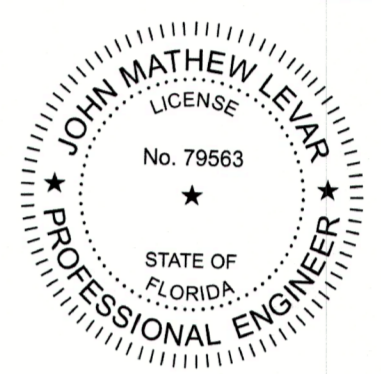
3 SECTION AT EXISTING FOOTING  
3/4" = 1'-0"



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BLDG PERMIT PLANS  
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PROJECT NAME  
670 PENFIELD ST

LOCATION  
LONGBOAT KEY, FL

SHEET TITLE  
FOUNDATION SECTIONS AND DETAILS

SHEET NUMBER

S400

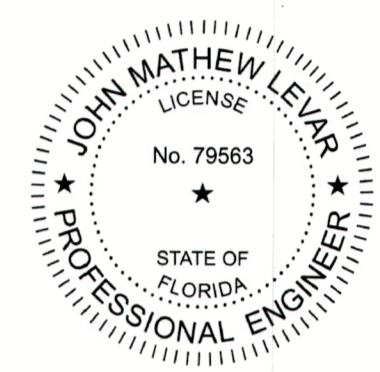
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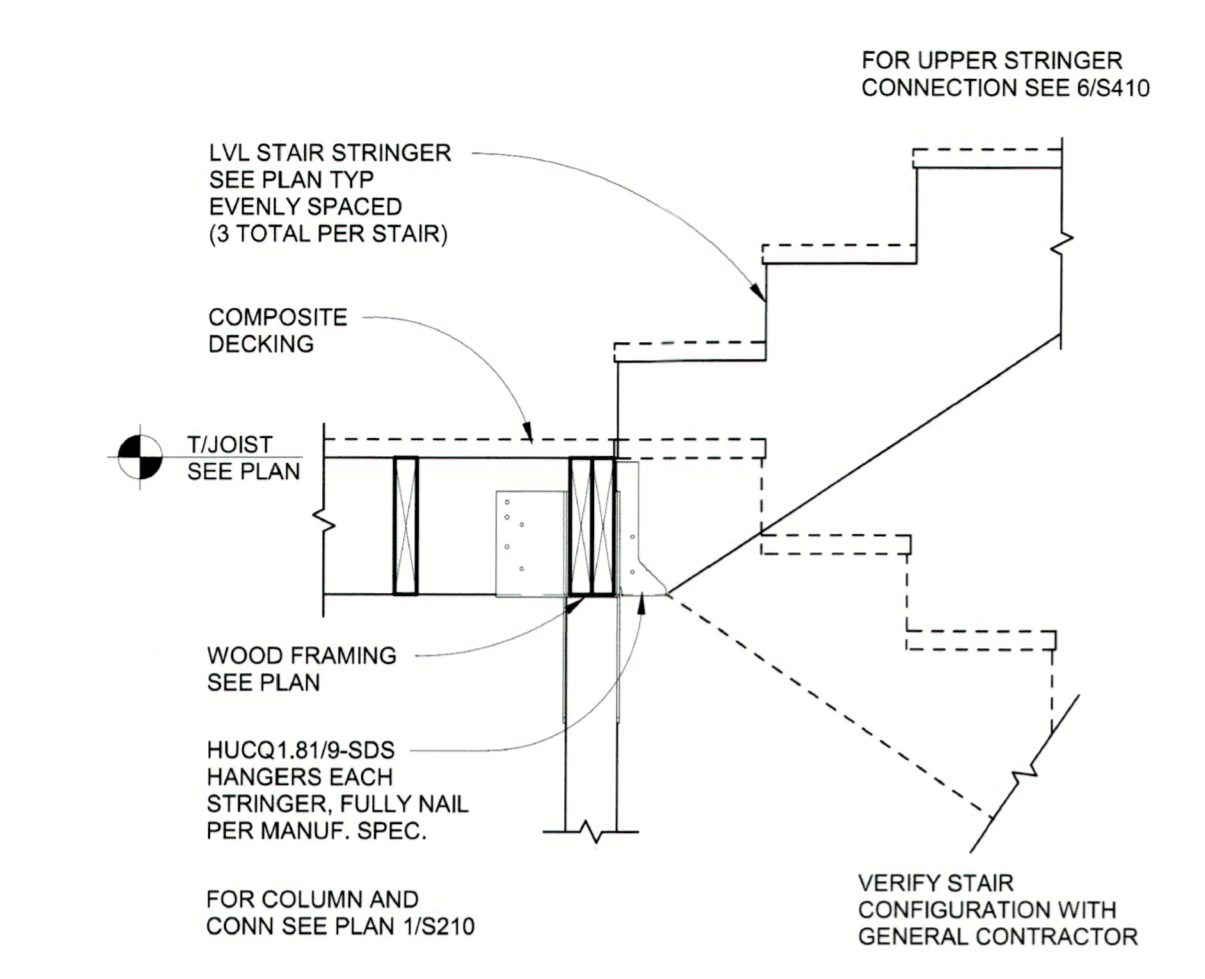
LOCATION  
LONGBOAT KEY, FL

SHEET TITLE  
**FRAMING SECTIONS AND DETAILS**

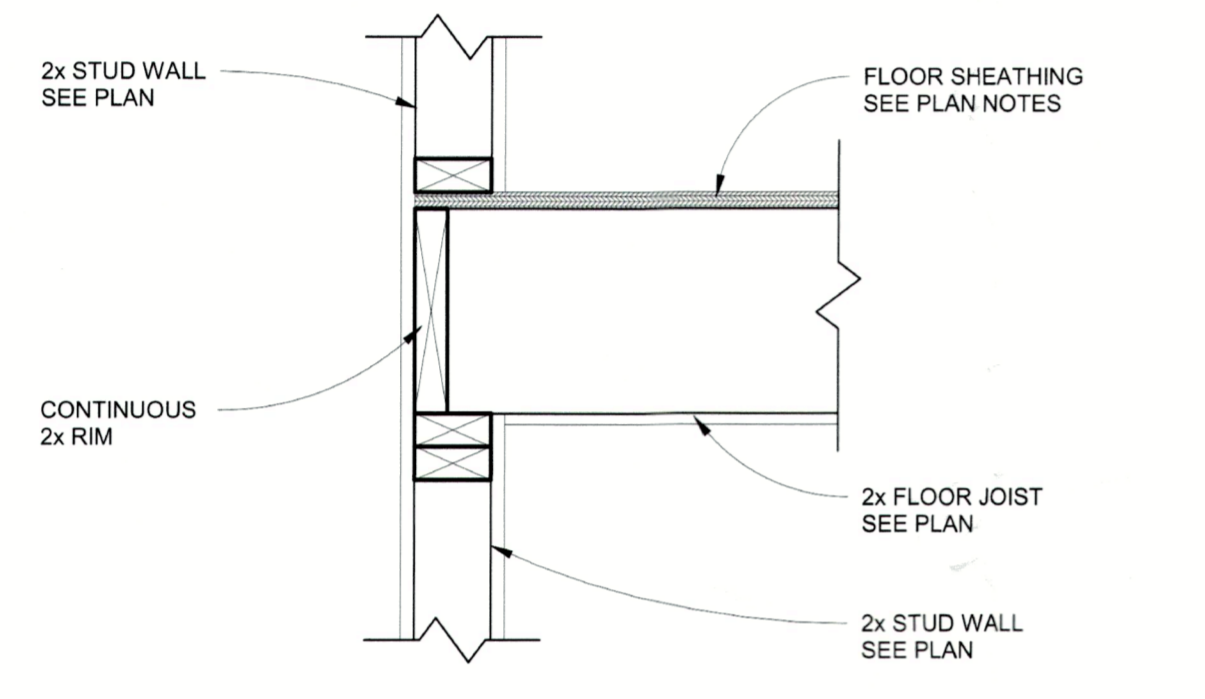
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**S410**

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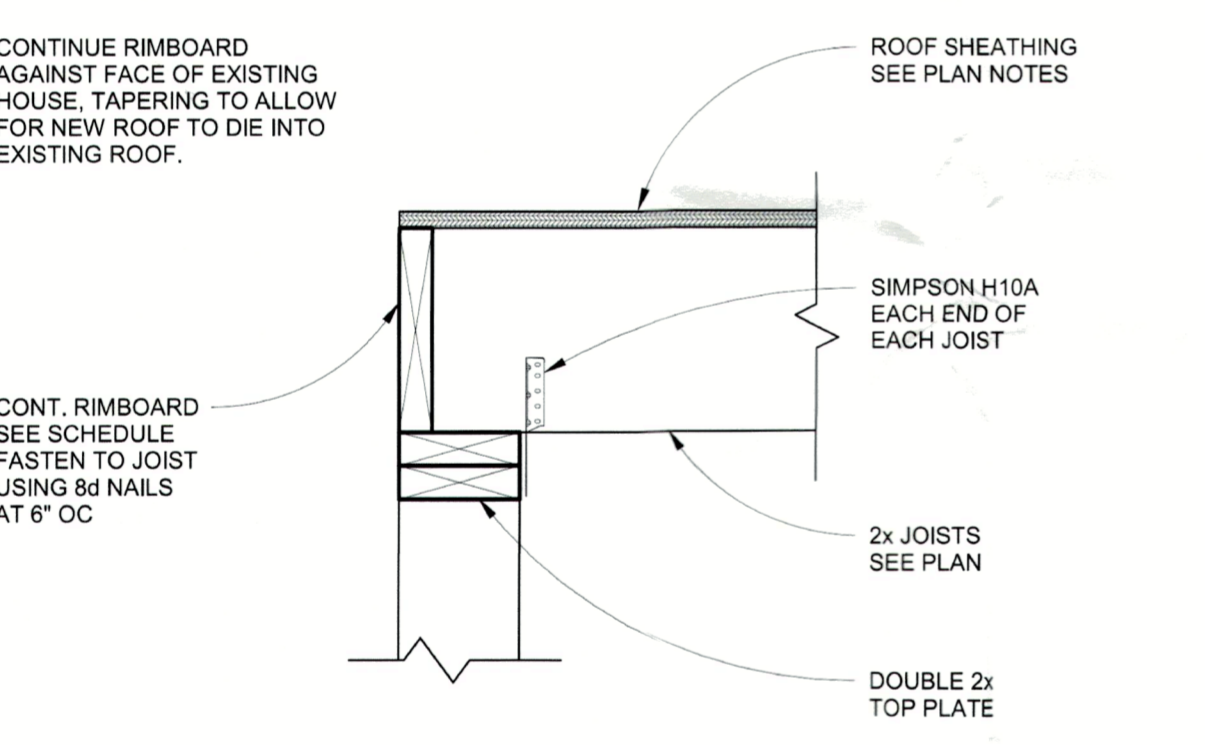
APR 15 2024  
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Planning, Zoning & Building



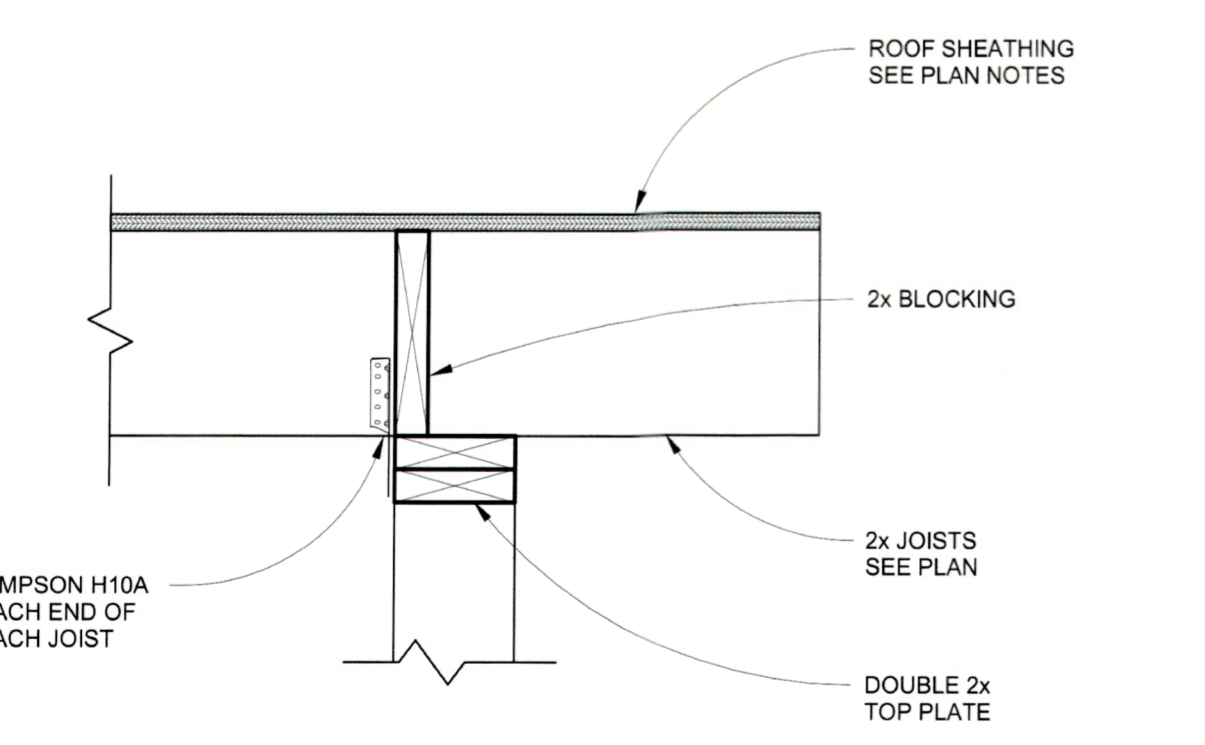
13 SECTION  
1" = 1'-0"



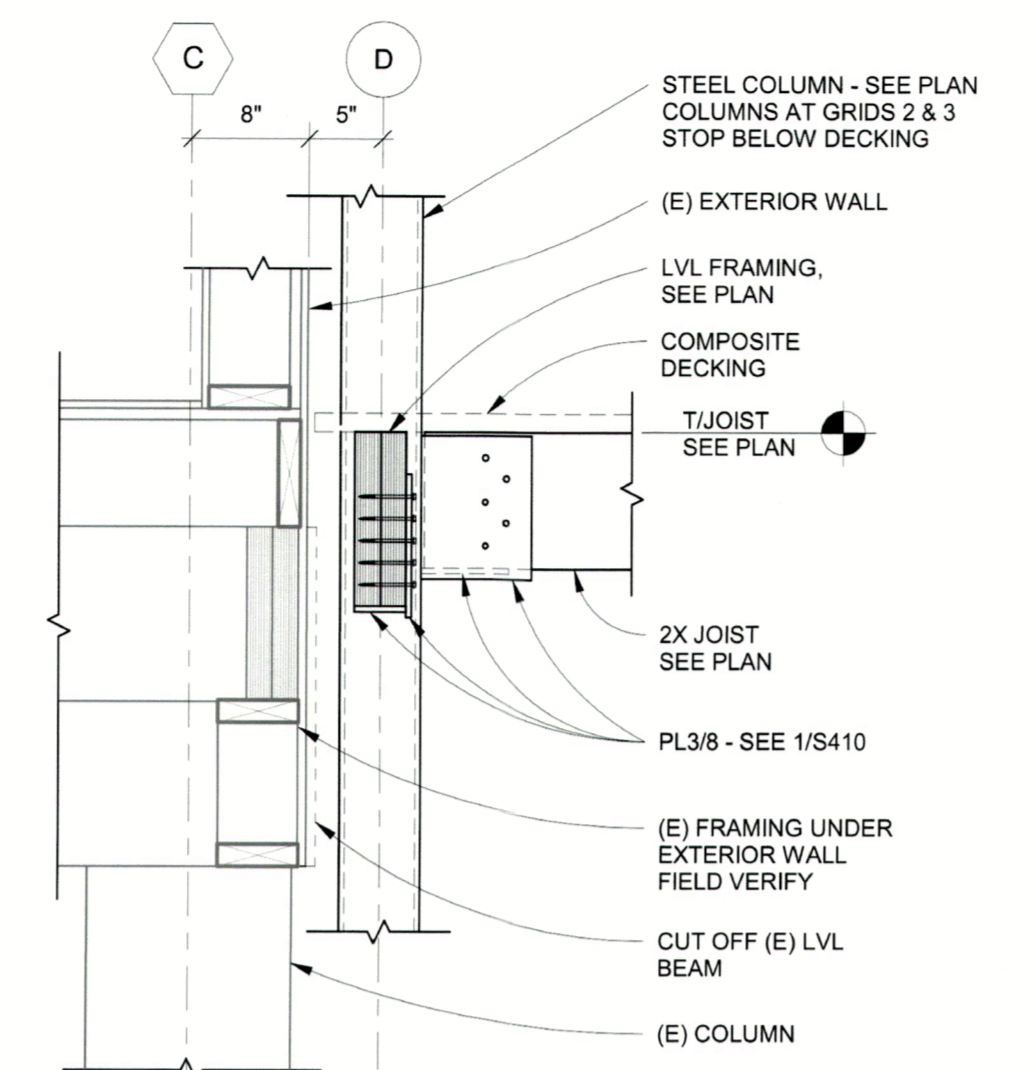
14 SECTION  
1 1/2" = 1'-0" (AST S7032)



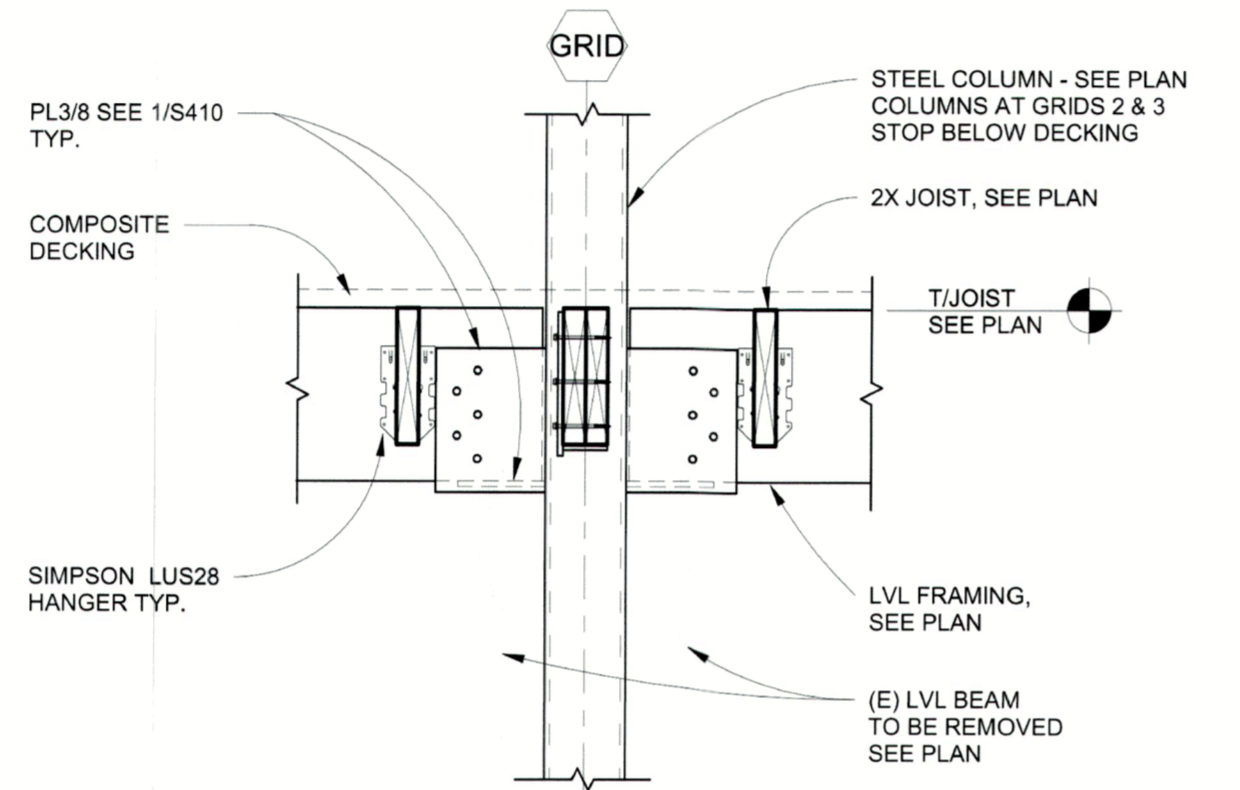
15 SECTION  
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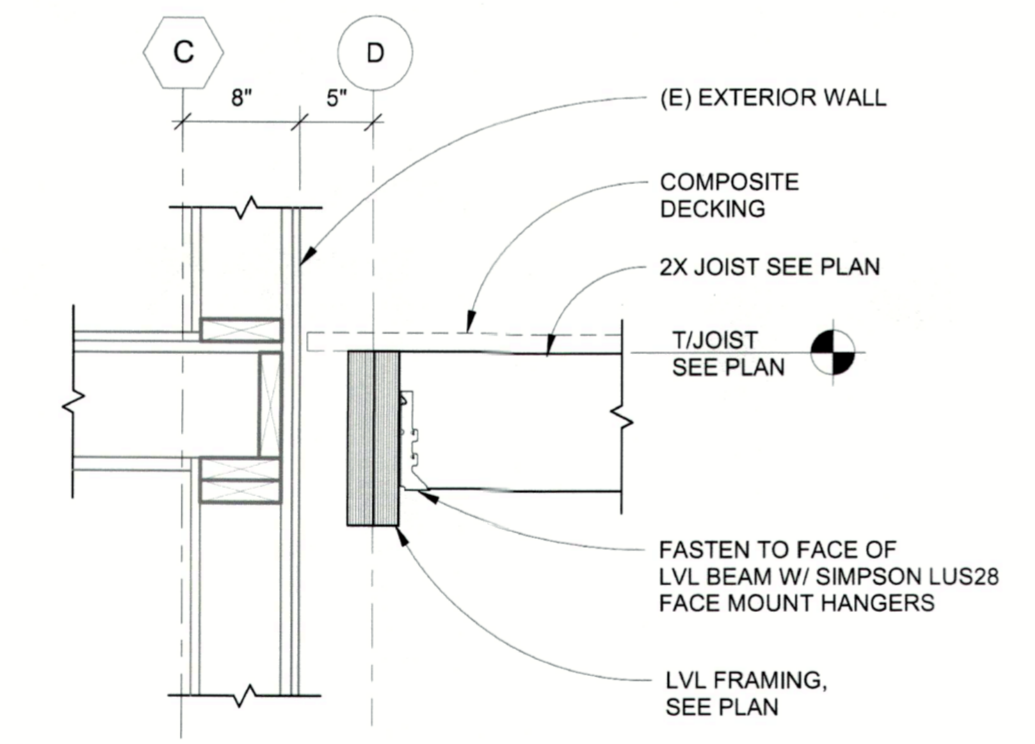
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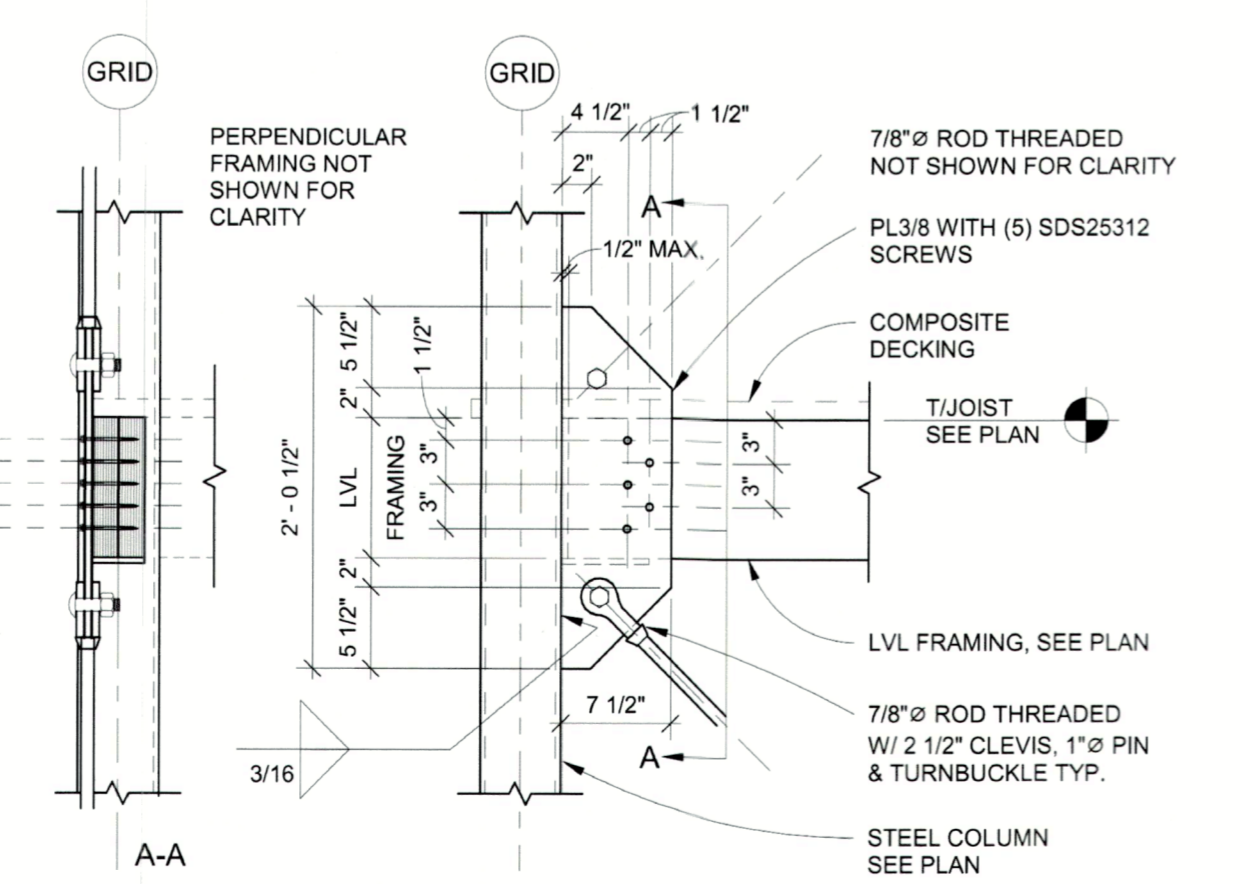
9 SECTION  
1" = 1'-0"



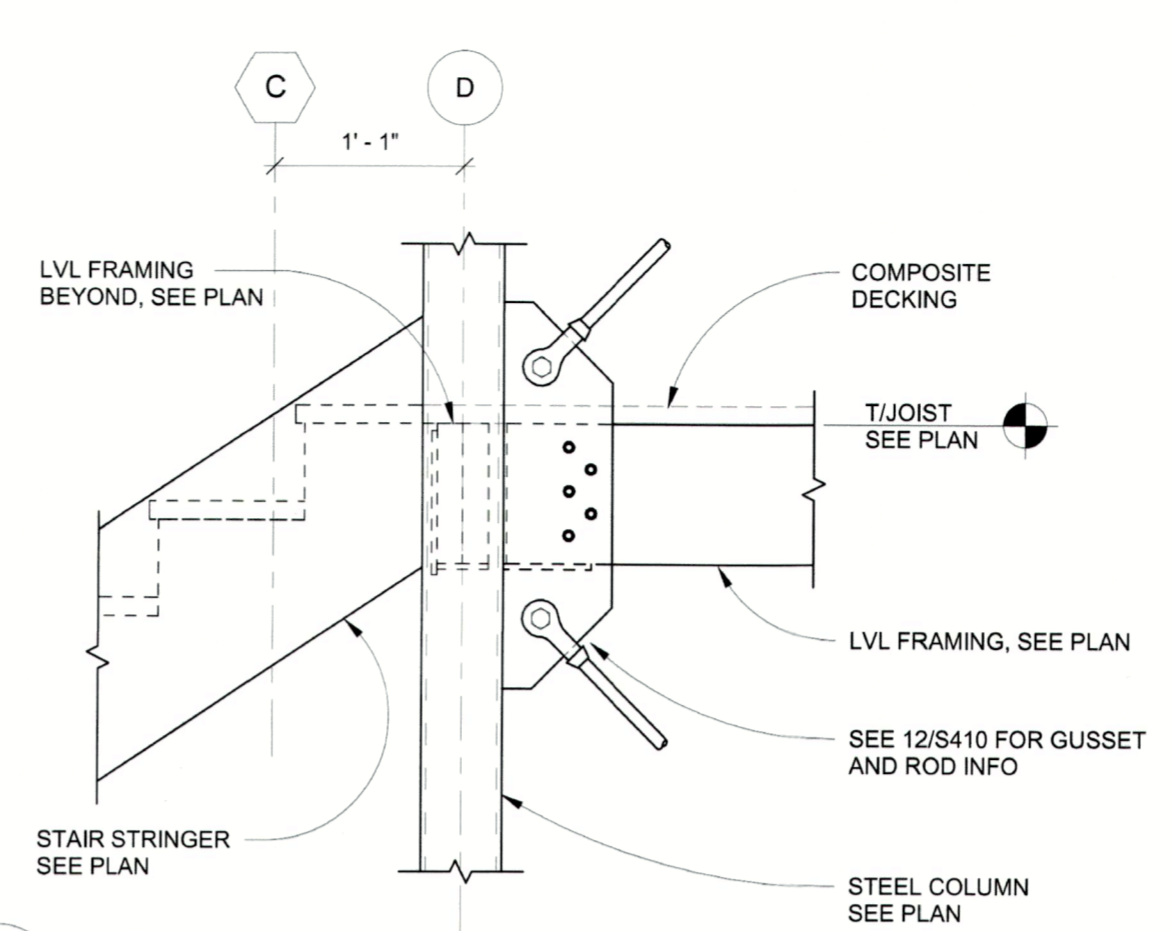
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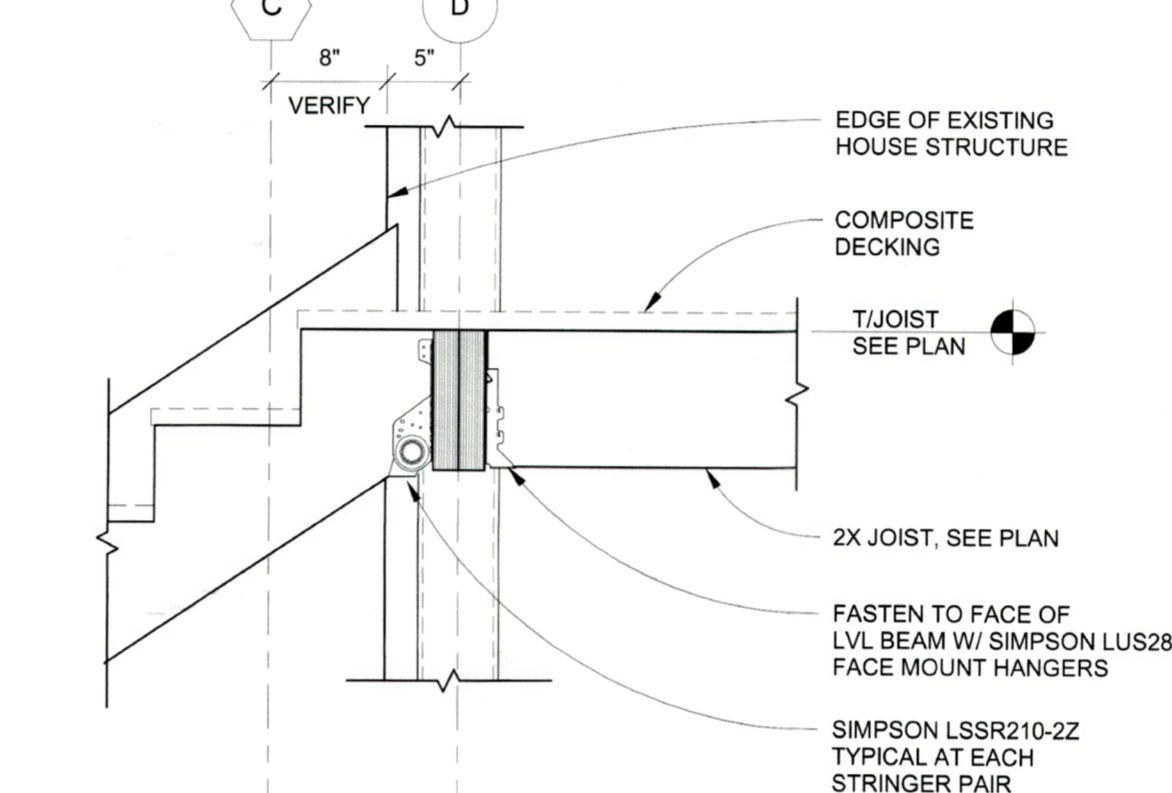
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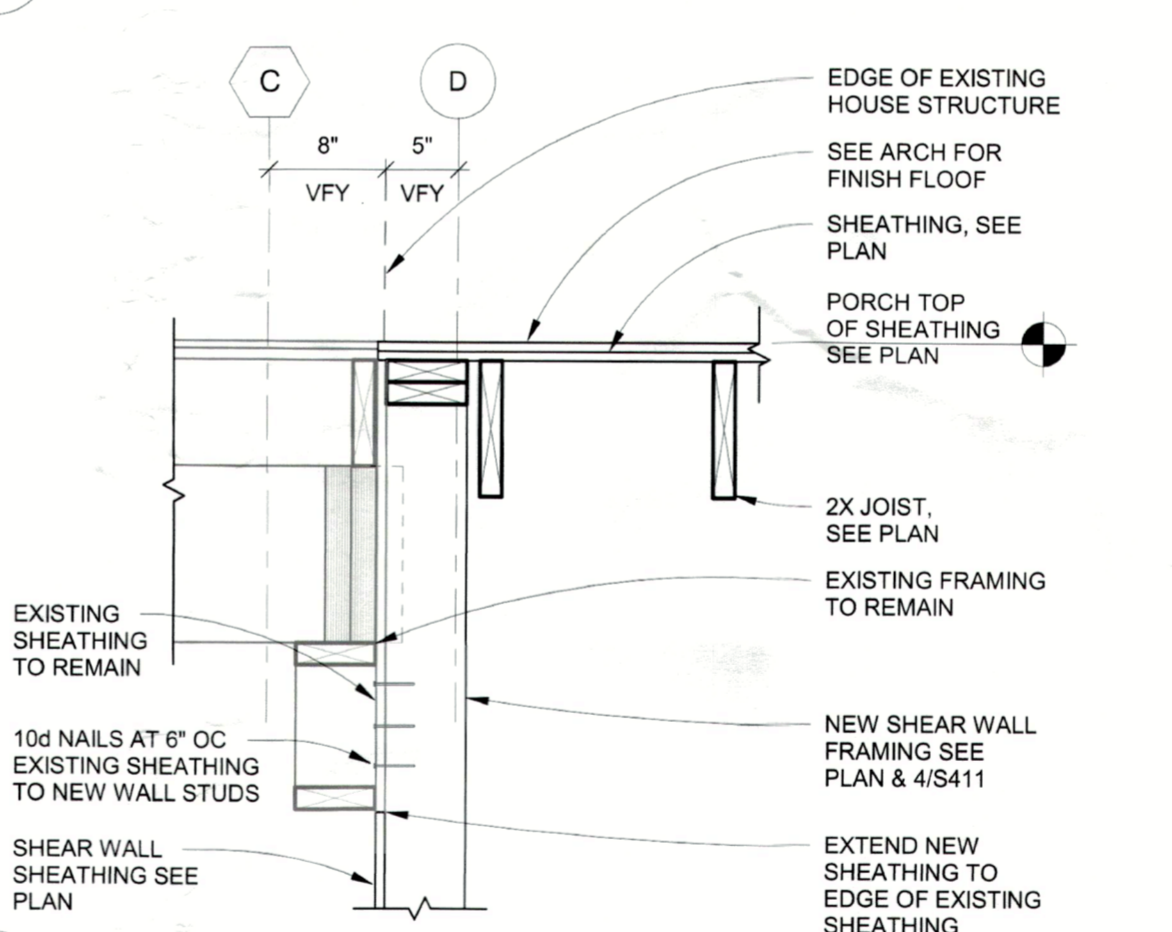
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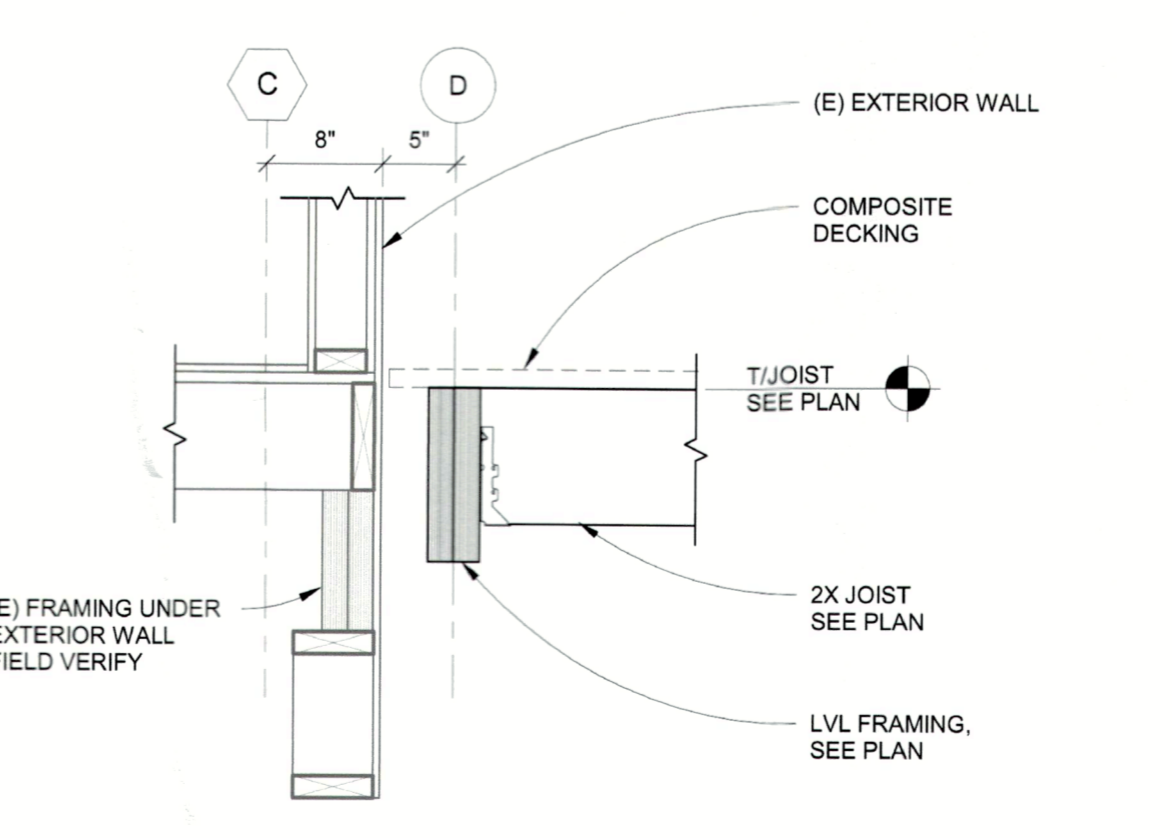
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1" = 1'-0"



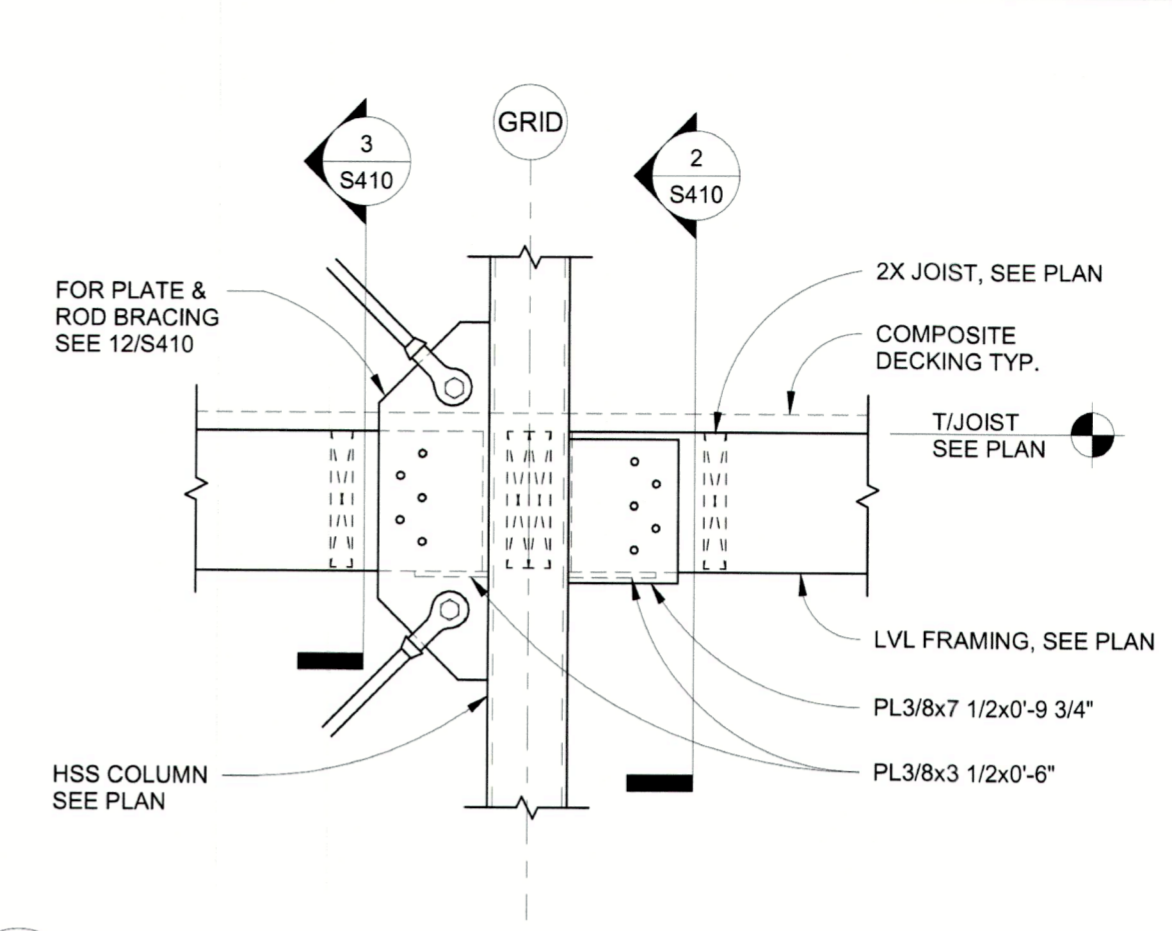
6 SECTION  
1" = 1'-0"



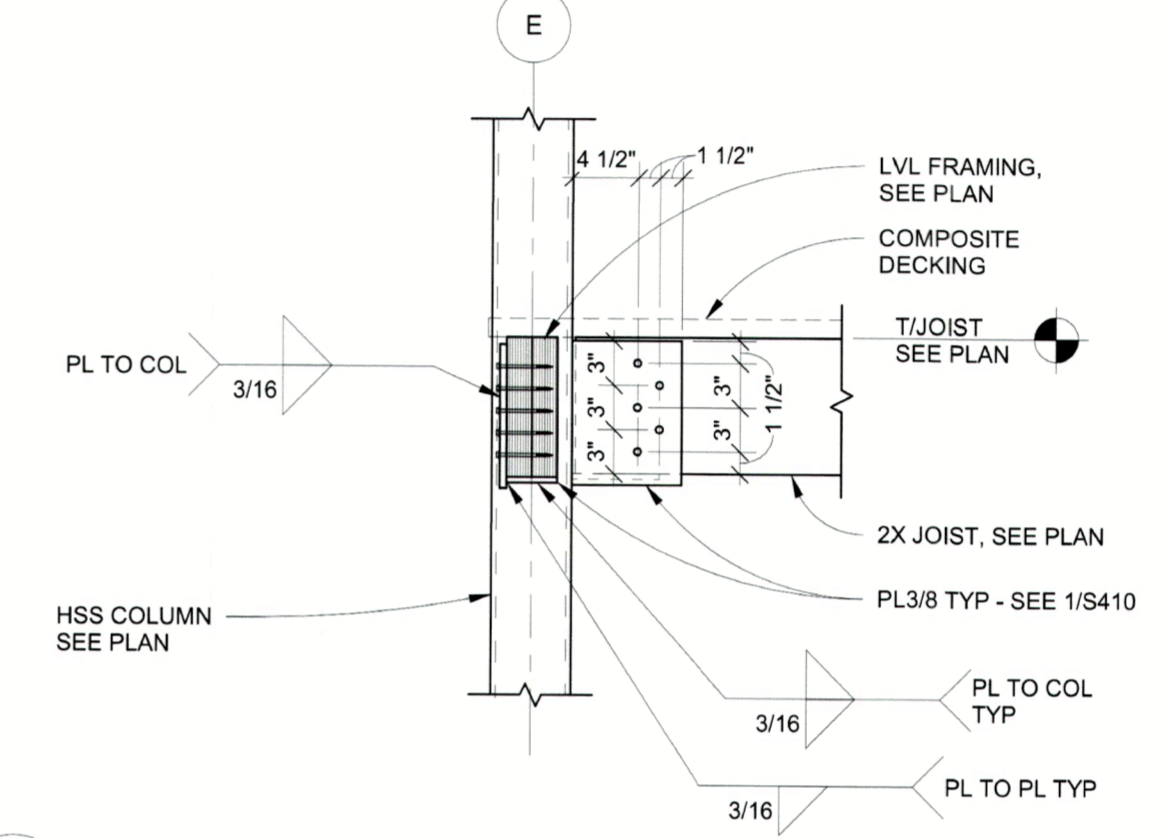
7 SECTION  
1" = 1'-0"



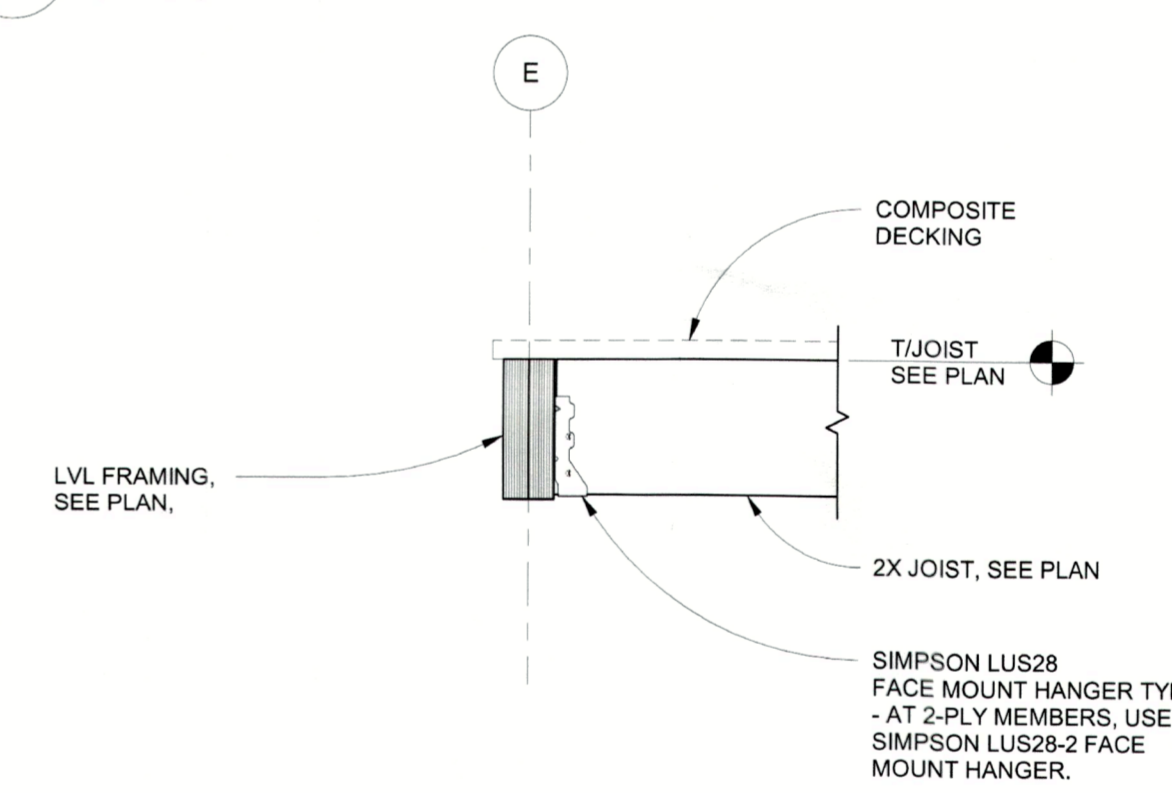
8 SECTION  
1" = 1'-0"



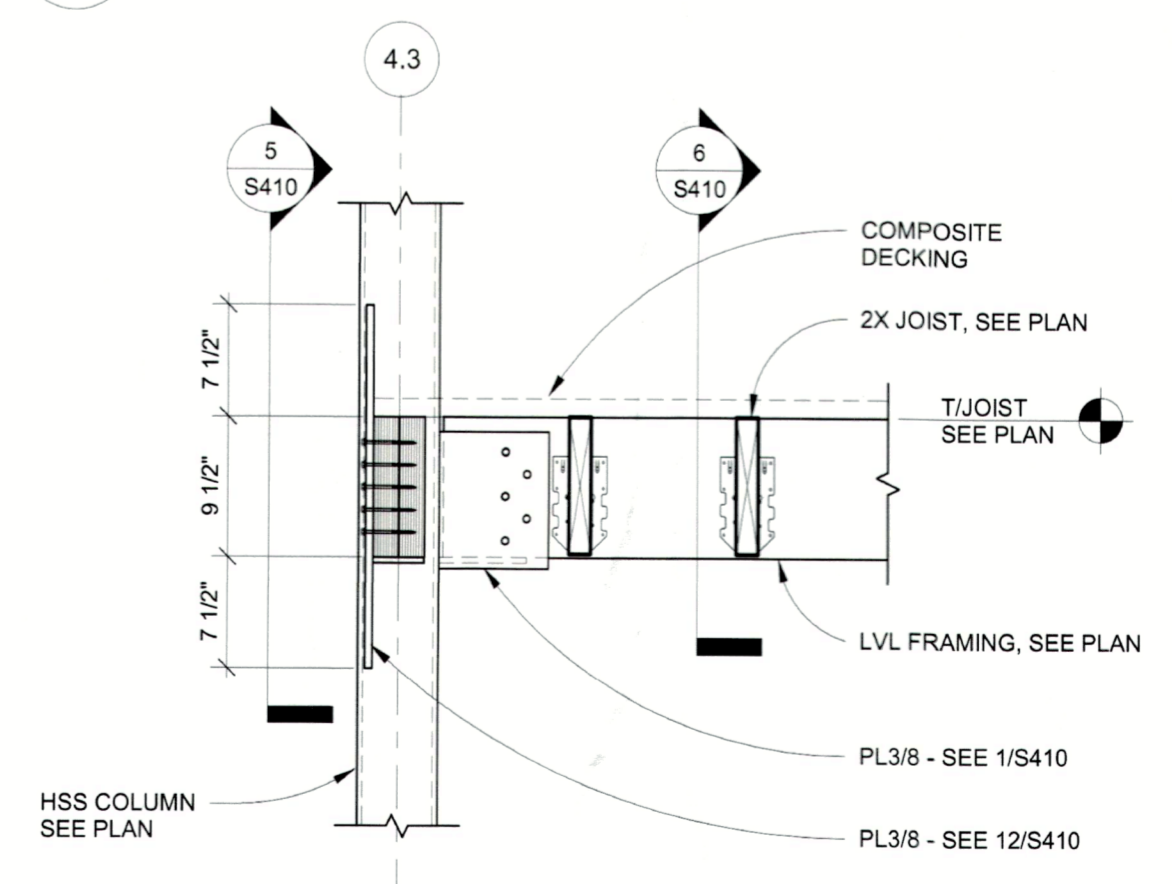
1 SECTION  
1" = 1'-0"



2 SECTION  
1" = 1'-0"



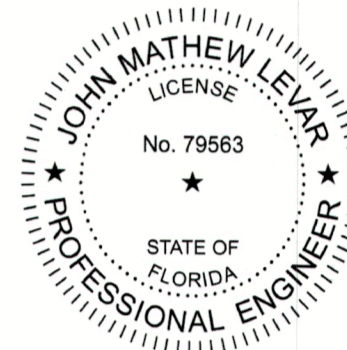
3 SECTION  
1" = 1'-0"



4 SECTION  
1" = 1'-0"

PERMIT COPY

REGISTRATION



AST FIRM REGISTRATION: 31630

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOHN MATHEW LEVAR, P.E. ON 03/15/2024 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT TO BE CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

ENGINEER OF RECORD:  
Checker

DRAWN BY: S. STRICKLAND  
DESIGNED BY: M. SCHMIDT

AST JOB NUMBER:  
FL 1095

ISSUE RECORD  
ISSUED FOR PERMIT 02-09-2024  
FIELD UPDATES 03-15-2024

BLDG PERMIT PLANS  
FILE  
Copy of Record

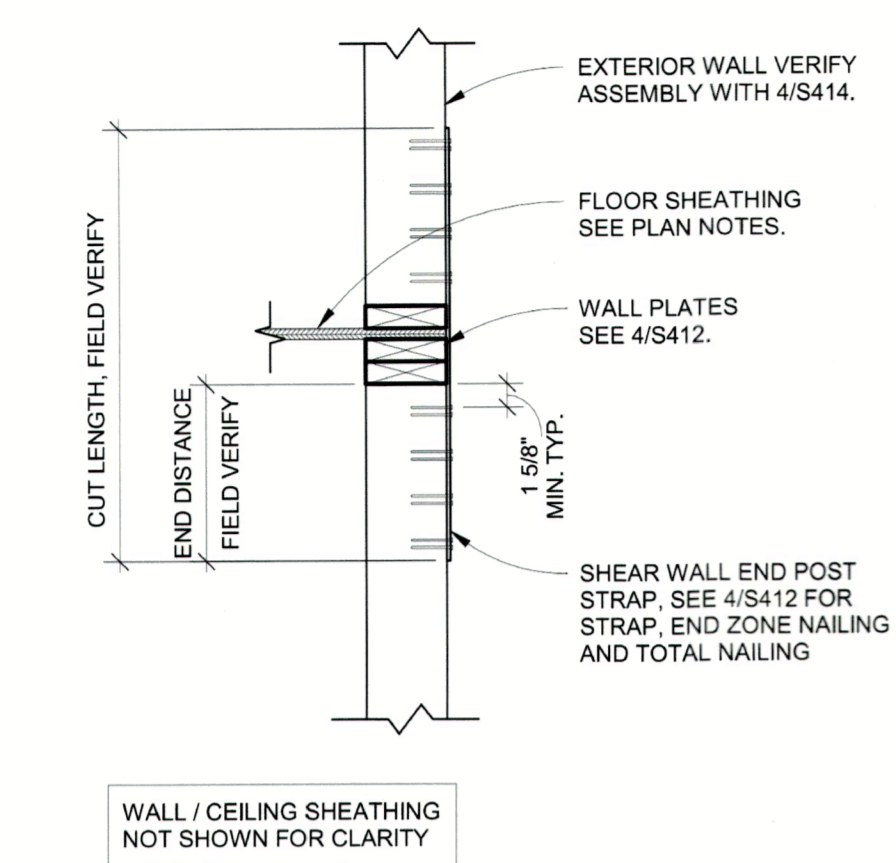
PROJECT NAME  
**670 PENFIELD ST**

LOCATION  
LONGBOAT KEY, FL

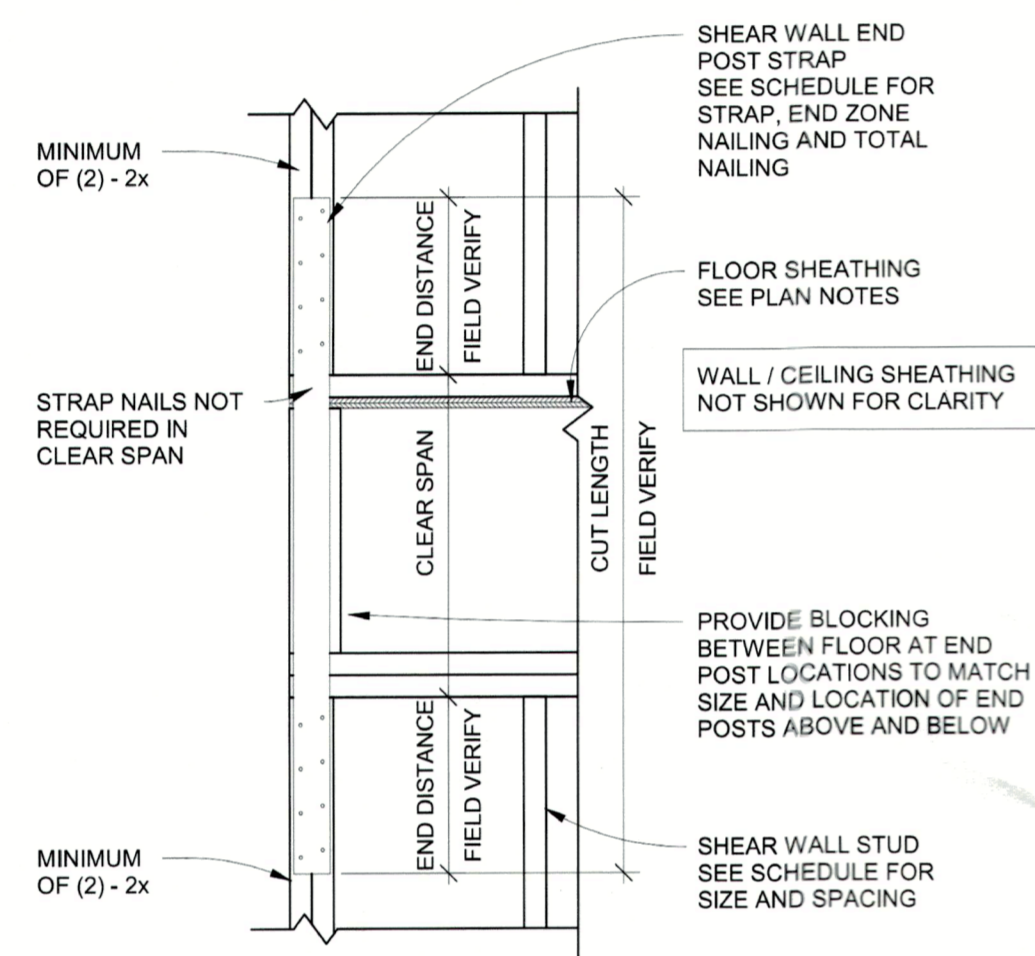
SHEET TITLE  
**FRAMING SECTIONS, SCHEDULE AND DETAILS**  
SHEET NUMBER

**S411** RECEIVED

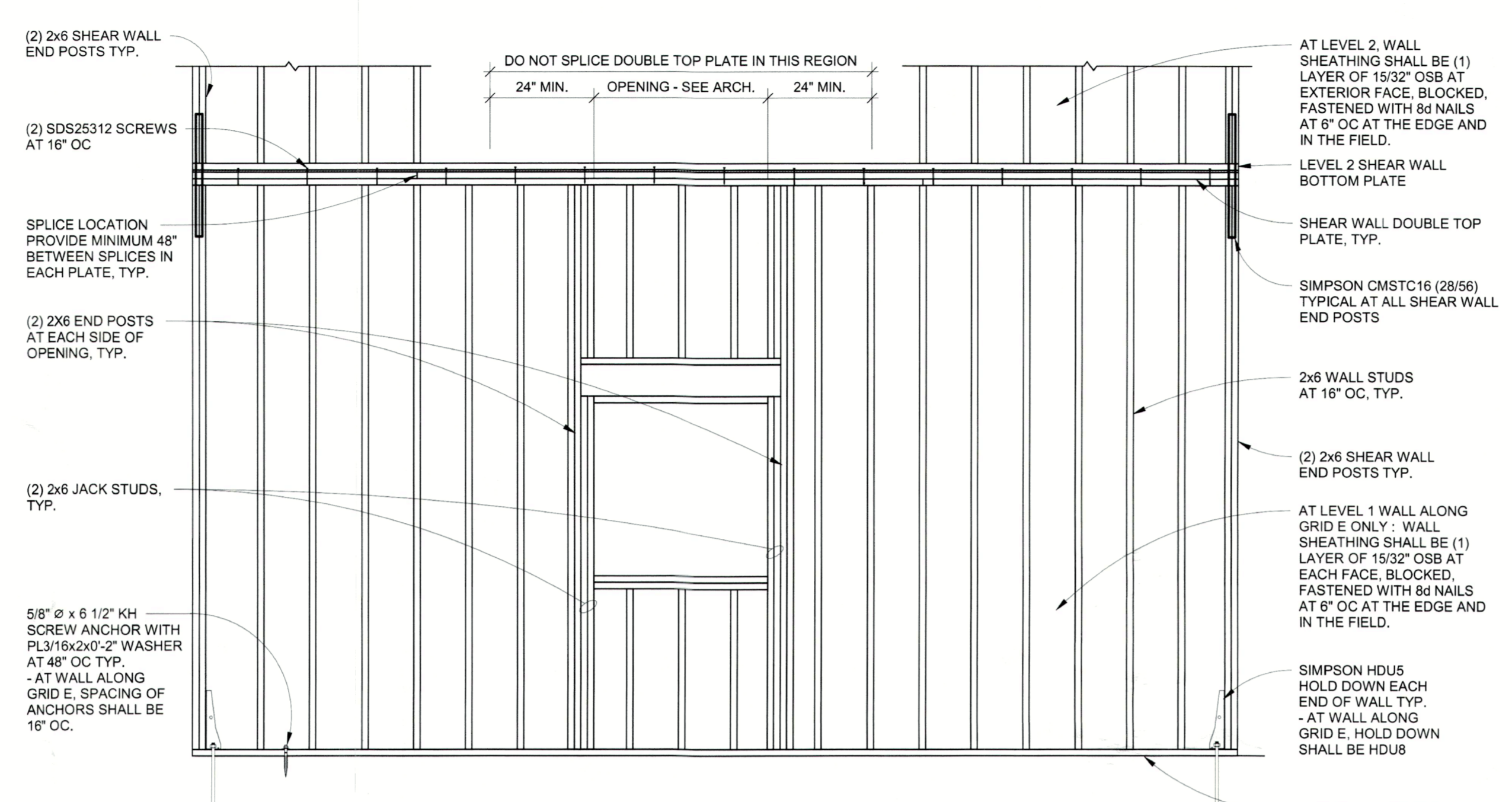
APR 15 2024  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building



**5** TYPICAL EXTERIOR WALL END POST STRAP  
1" = 1'-0" (AST S7002c)

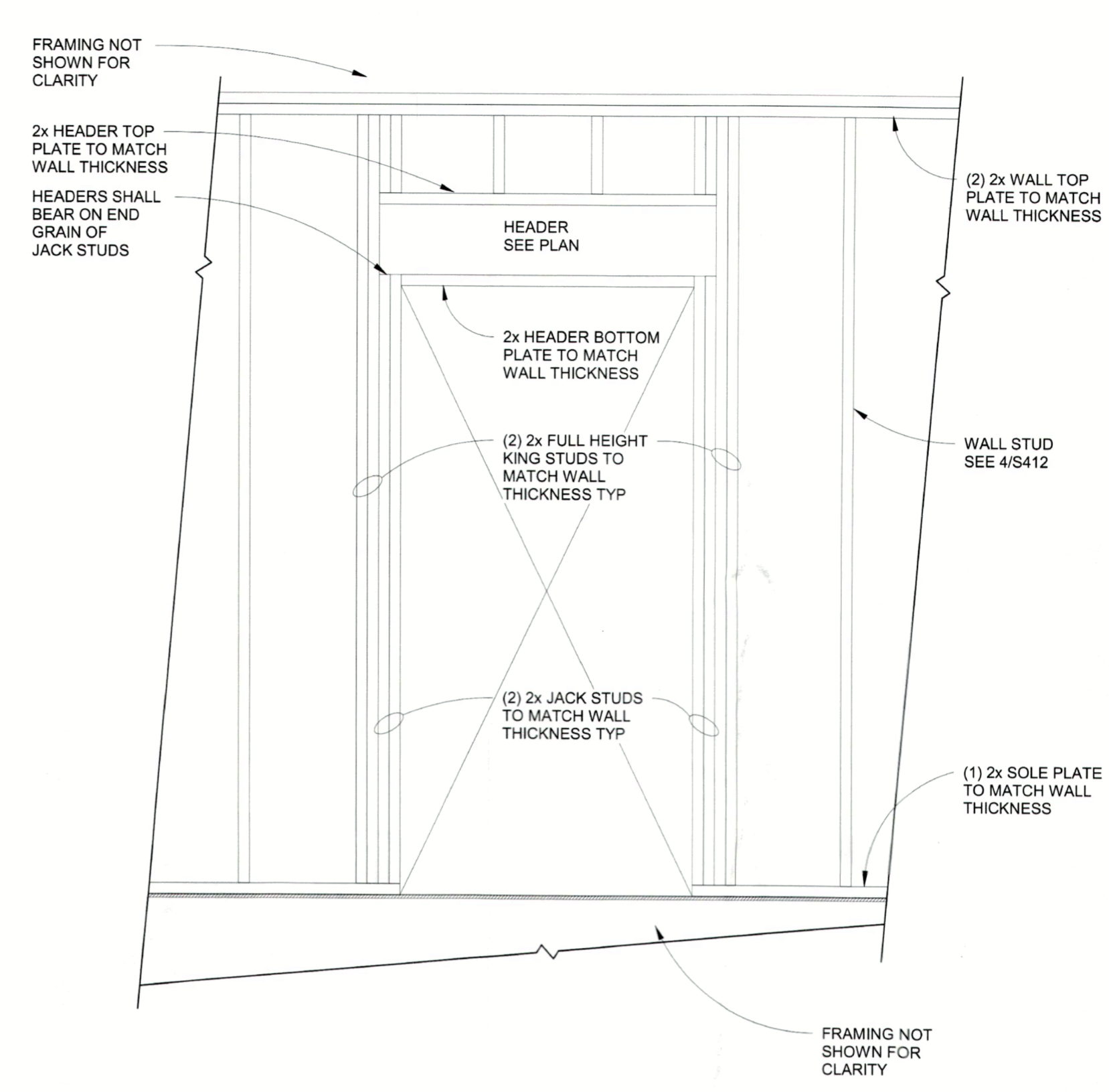


**6** TYPICAL PARTY WALL END POST STRAP  
1" = 1'-0" (AST S7002a)

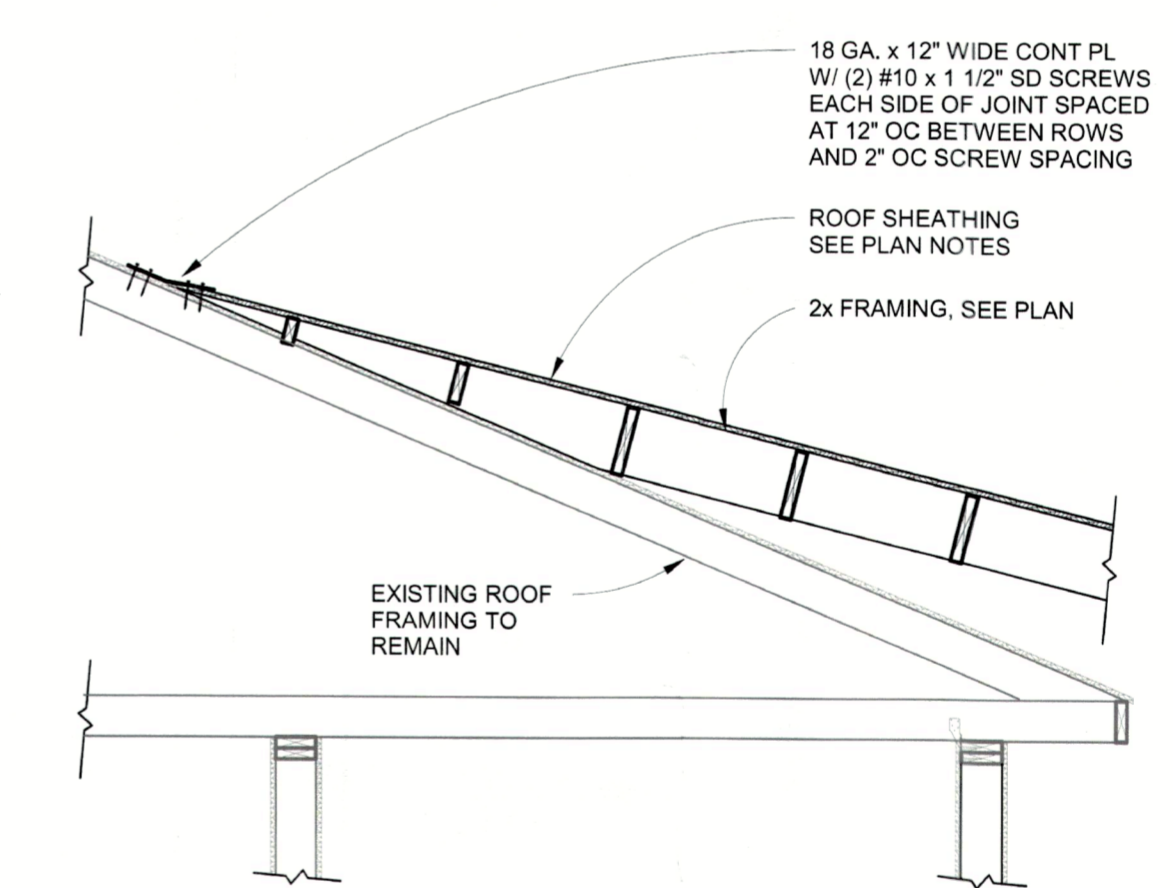


- NOTES:
- ALL PANEL EDGES AT WALL ARE TO BE BACKED WITH 2x BLOCKING (BLOCKED CONSTRUCTION).
  - BLOCKING SHALL BE PLACED AT 4'-0" OC MAX. AND IS REQUIRED REGARDLESS OF SHEATHING LENGTH / ORIENTATION.
  - SEE GENERAL CONTRACTOR FOR INTERIOR SHEATHING. ATTACH WITH NOMINAL FASTENER PER GENERAL NOTES.
  - AT STRAP LOCATIONS, THE VALUES NOTED AFTER CMSTC16 (END LENGTH/TOTAL) INDICATES THE QUANTITY OF 10d NAILS (0.148"x3") REQUIRED IN THE END LENGTH AND TOTAL QUANTITY IN THE STRAPS. SEE DETAIL 5/S412 FOR NAILING LAYOUT.

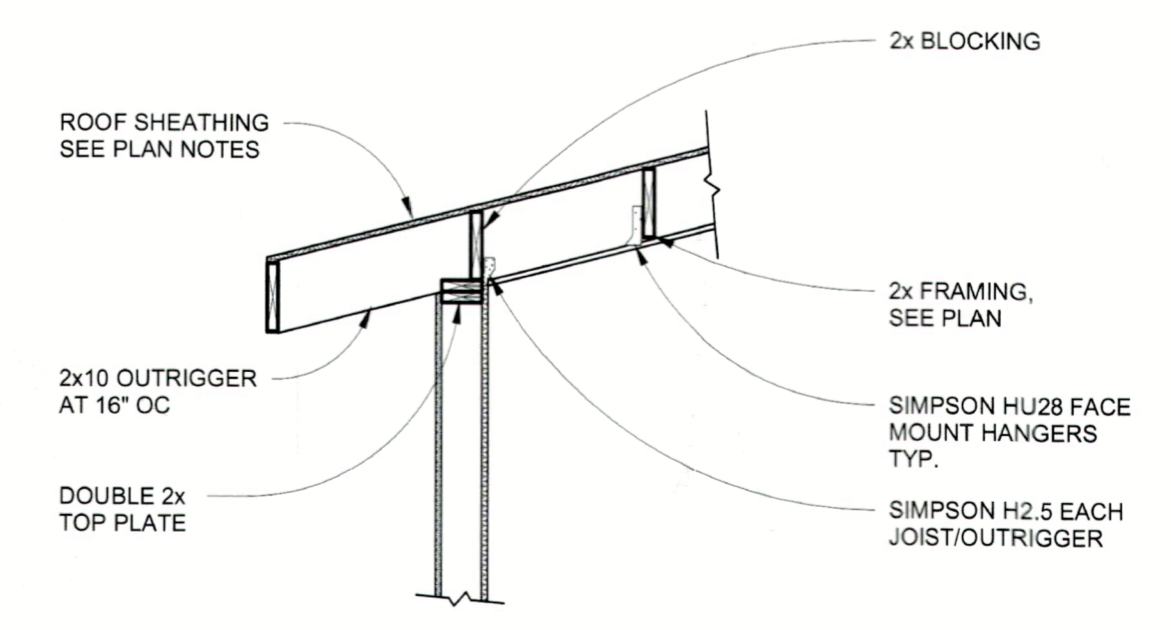
**4** PERFORATED SHEAR WALL DETAIL  
1/2" = 1'-0"



**1** WALL LEGEND (AT WOOD HEADERS)  
3/4" = 1'-0" (AST S7068)



**2** SECTION  
1/2" = 1'-0" (AST S7087\*)



**3** SECTION  
1/2" = 1'-0" (AST S7088)

WOOD FRAMING SPECIES AND GRADE SCHEDULE									
COMPONENT	WOOD SPECIES		GRADE	TREATMENT			REMARKS		
WALLS (DIMENSION LUMBER)	SOUTHERN PINE (SP)		#2	TREATED					
LEVEL 1 BEARING WALL STUDS	X		X						
LEVEL 2 BEARING WALL STUDS	X		X						
BEARING WALL SOLE PLATES (LEVEL 1)	X		X	X					
BEARING WALL SOLE PLATES (LEVELS 2)	X		X						
BEARING WALL TOP PLATES (ALL LEVELS)	X		X						
HEADERS/BEAMS	X		X				PROVIDE ENGINEERED LUMBER WHERE NOTED ON PLAN		
EXTERIOR JOISTS/BEAM	X		X	X					
EXTERIOR POST/COLUMN	X		X	X					
COMPONENT	TYPE		MINIMUM DESIGN PROPERTIES (psi)						REMARKS
ENGINEERED LUMBER	LVL	PSL	LSL	E	Fb	Fv	Fc (perp)	Fcd	
BEAMS / HEADERS	X	ALTERNATE		1,900,000	2,600	285	750	2,510	EXTERIOR MEMBERS SHALL BE TREATED
RIM BOARD			X	1,300,000	1,700	400	680	1,400	WEYERHAUSER 1 1/4" TIMBERSTRAND LSL
STAIR STRINGER	X			1,900,000	2,600	285	750	2,510	EXTERIOR MEMBERS SHALL BE TREATED
COMPONENT	TYPE		JOINT			EXPOSURE			REMARKS
SHEATHING	PLYWOOD	OSB	GYP. BOARD	T&G	FLAT	APA EXPOSURE 1	APA EXTERIOR RATED	EXTERIOR RATED	
FLOORS		X		X		X			
ROOFS		X		X	X	X			PROVIDE T&G EDGES FOR FLAT ROOFS
EXTERIOR SHEARWALLS		X	X		X			X	SEE SCHEDULE FOR WALLS REQUIRED OSB

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