



IMPERVIOUS COVERAGE		
3457.72 SF	BUILDING COVERAGE	8.01%
16.50 SF	REAR STAIR - UNROOFED	0.04%
22.00 SF	FRONT STAIR - UNROOFED	0.05%
3496.22 SF		8.10%

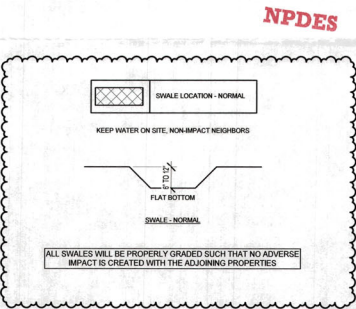
NAVD ELEVATIONS	
NAME	ELEVATION
GARAGE SLAB	-0.33
GRND LVL - T.O. SUB FLR.	0.00
1ST LVL - B.O. FL. SYST.	8.00
1ST LVL - T.O. SUB FLR.	9.56
1ST LVL - T.O. PORCH BEAM	19.23
2ND LVL - B.O. FLR. SYSTEM	19.56
2ND LVL - T.O. SUB FLR.	21.13
ROOF BEARING 10	25.94
ROOF BEARING 1	30.46
T.O. ROOF TOP DECK	30.67

MATCH LEGEND	
1ST LEVEL	
2ND LEVEL	

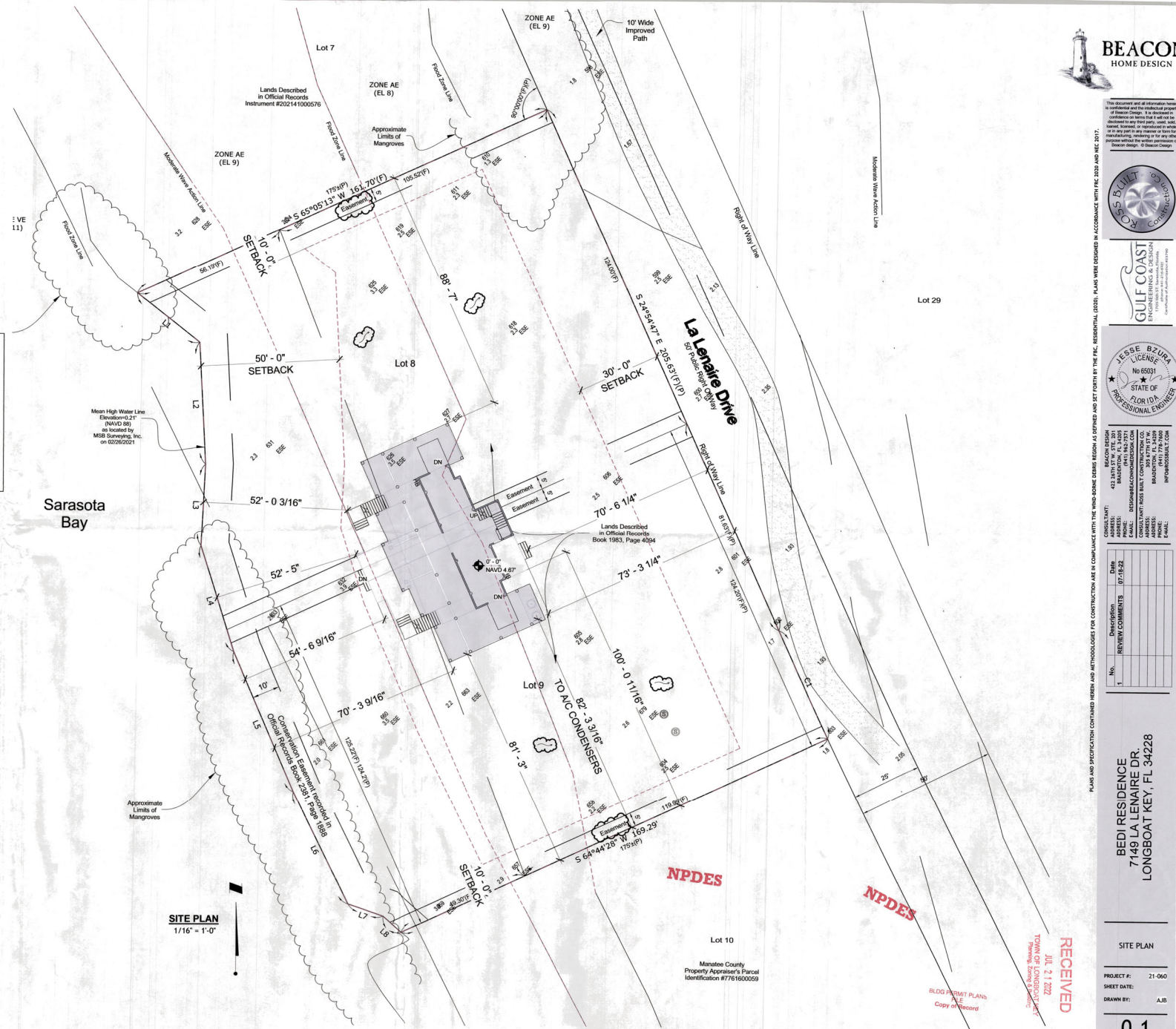
- GENERAL SITE NOTES:**
1. VERIFY SITE INFORMATION W/ SURVEY
  2. VERIFY UTILITY SERVICE ENTRY LOCATIONS AS REQUIRED.
  3. NO WOOD GRADE STAKES PERMITTED.
  4. POOL BY OTHERS

**SOIL TREATMENT NOTES:**

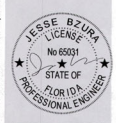
SOIL TREATMENT FOR TERMITES: PROVIDE TERMITE PROTECTION BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL T7H EDITION(2022). PROVIDE CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH FBC-R320. PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOOR SHALL NOT BE OF CELLULOSE CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.



**SITE PLAN**  
1/16" = 1'-0"



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No.	Description	Date
1	REVIEW COMMENTS	07-18-22

PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FBC. RESIDENTIAL (R202). PLANS WERE DESIGNED IN ACCORDANCE WITH FBC 2020 AND IBC 2017.

**BEDI RESIDENCE**  
7149 LA LENAIRE DR.  
LONGBOAT KEY, FL 34228

**RECEIVED**  
JUL 21 2022  
TOWN OF LONGBOAT KEY  
Planning & Zoning Dept.

**RECEIVED**  
JUL 21 2022  
MANATEE COUNTY  
Property Appraiser's Parcel Identification #7761600059

BLDG PERMIT PLANS  
Copy of Record

**SITE PLAN**

PROJECT #: 21-060  
SHEET DATE: 07-18-22 9:54:46 AM  
DRAWN BY: AIB  
**0.1**  
SCALE: As Indicated



**GENERAL NOTES:**

- DRYER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
- ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT U.N.O. DOUBLE GLAZED, HURRICANE-RATED.
- BUILDING INSULATION SHALL BE AS FOLLOWS:
  - FRAME WALL - FIBERGLASS BATT
  - F.G. BLOCK WALLS - R-5
  - FLOOR SYSTEM - OPEN CELL
  - ROOF TRUSSES - R-19 OR EQUIVALENT
- ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
- PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- A/C DRAINS TO BE READILY ACCESSIBLE.
- MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHIM SPACE SHALL BE LIMITED 1/4" MAXIMUM.
- ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
- WATER CLOSETS TO BE 16 GALLON.
- PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
- ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
- CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE ELEVATED ABOVE DFE AS REQUIRED PER FEM TECHNICAL BULLETIN 5.
- ELEVATORS IN STRUCTURES IN SPECIAL FLOOD HAZARD AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASCE 24-05 IT REQUIRES THAT UTILITIES AND UTILITY EQUIPMENT BE LOCATED ABOVE THE DFE UNLESS LOCATION BELOW THAT ELEVATION IS SPECIFICALLY ALLOWED IN ASCE 24, OR
- THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PREVENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM, FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS, AND INSTALLED AND ANCHORED TO RESIST FLOOD FORCES.
- ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.
- IF AN ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS.
- NOTE AS PER FBC 702.3.5. AT GARAGE CEILINGS BENEATH HABITABLE STRUCTURES, USE 5/8" TYPE "X" DRYWALL RUNNING PERPENDICULAR TO FRAMING MEMBERS. FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTEN WITH NAILS AT 6" O.C. MAX OR SCREWS AT 6" O.C. MAX USING 1 7/8" LONG G6 COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION R702.3.5.1. SCREWS FOR ATTACHING GYPSUM BOARD AND GYPSUM PANEL PRODUCTS TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1002 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8 INCH (15.9 MM). BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEM TB-2.
- DOORS OPENING FROM A GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR A SOLID OR HONEYCOMB STEEL DOOR NOT LESS THAN 1 3/8 INCH IN THICKNESS OR A 20 MINUTE FIRE DOOR.
- ELEVATOR COMPONENTS LOCATED BELOW DFE TO BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING AND ARE EQUIPPED WITH CONTROLS TO PREVENT CAB FROM DESCENDING INTO FLOODWATERS - ARE EQUIPPED WITH CONTROLS TO PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS - FBC 2020 - BUILDING - 107.2.1.
- BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEM TB-2.

**NPDES**

INTERIOR DOOR SCHEDULE						
TYPE MARK	LEVEL	TYPE	WIDTH	HEIGHT		
30-6/8	GRND LVL - T.O. SUB FLR	Int. Single	3'-0"	6'-8"		
30-6/8	GRND LVL - T.O. SUB FLR	Int. Single	3'-0"	6'-8"		
60-6/8	GRND LVL - T.O. SUB FLR	Int. Double	6'-0"	6'-8"		
50-8/0	1ST LVL - T.O. SUB FLR	Int. Double	5'-0"	8'-0"		
2/6-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-6"	8'-0"		
2/4-6/0	1ST LVL - T.O. SUB FLR	Int. Shower Door	2'-4"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/6-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-6"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
2/6-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-6"	8'-0"		
2/8-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-8"	8'-0"		
30-8/0	1ST LVL - T.O. SUB FLR	Int. Double	3'-0"	8'-0"		
2/4-8/0	1ST LVL - T.O. SUB FLR	Int. Single	2'-4"	8'-0"		
2/4-6/0	1ST LVL - T.O. SUB FLR	Int. Shower Door	2'-4"	6'-0"		
Grand total: 23						

EXTERIOR DOOR SCHEDULE						
TYPE MARK	LEVEL	TYPE	WIDTH	HEIGHT		
X002	GRND LVL - T.O. SUB FLR	Ext. 2 Panel - SGD	8'-0"	7'-0"		
X004	GRND LVL - T.O. SUB FLR	Ext. French (Single)	3'-0"	6'-8"		
X005	GRND LVL - T.O. SUB FLR	Int. Double	6'-0"	6'-8"		
X101	1ST LVL - T.O. SUB FLR	Ext. 2 Panel - SGD	8'-0"	8'-0"		
X102	1ST LVL - T.O. SUB FLR	Ext. French (Single)	2'-8"	8'-0"		
X103	1ST LVL - T.O. SUB FLR	Ext. 2 Panel - SGD	8'-0"	8'-0"		
X104	1ST LVL - T.O. SUB FLR	Ext. 5 Panel - SGD	16'-0"	8'-0"		
X105	1ST LVL - T.O. SUB FLR	Ext. 2 Panel - SGD	8'-0"	8'-0"		
X106	1ST LVL - T.O. SUB FLR	Ext. French (Single)	2'-8"	8'-0"		
X107	1ST LVL - T.O. SUB FLR	Ext. 2 Panel - SGD	8'-0"	8'-0"		
X108	1ST LVL - T.O. SUB FLR	Ext. French (Single)	2'-6"	8'-0"		
X201	2ND LVL - T.O. SUB FLR	Ext. 3 Panel - SGD	12'-0"	8'-0"		
Grand total: 12						

ROOF SCHEDULE								
TAG	TYPE	CONSTRUCTION	TOTAL THICKNESS	BEARING LEVEL	BUT HEIGHT (LEVEL OFFSET)	HEEL HEIGHT	TOP CHORD WIDTH	SLOPE / 12
01	TRUSS	3 1/2" TOP CHORD w/ 5/8" SHEATHING	4 1/8"	ROOF BEARING 1	4"	8 9/16"	3 1/2"	10
06	TRUSS	3 1/2" TOP CHORD w/ 5/8" SHEATHING	4 1/8"	2ND LVL - B.O. FLR SYSTM	-6"	-2 3/8"	3 1/2"	3
07	TRUSS	3 1/2" TOP CHORD w/ 5/8" SHEATHING	4 1/8"	2ND LVL - B.O. FLR SYSTM	-6"	-2 3/8"	3 1/2"	3
08	TRUSS	3 1/2" TOP CHORD w/ 5/8" SHEATHING	4 1/8"	1ST LVL - B.O. FL SYST.	0"	3 3/4"	3 1/2"	4.5
Grand total: 4								

FLOOR SCHEDULE							
MARK	TYPE	LEVEL	OVERALL THICKNESS	AREA	PERIMETER	ELEV AT BOTTOM	ELEV AT TOP
Exterior							
F-02	FLOOR TRUSS (14" W/ 3/4" SUB FLOOR)	1ST LVL - T.O. SUB FLR	1'-2 3/4"	784.83 SF	195'-4"	12'-8"	13'-10 3/4"
F-03	FLOOR FRAMING (12" W/ 3/4" SUB FLOOR)	1ST LVL - T.O. SUB FLR	1'-0"	65.33 SF	37'-4"	12'-8"	13'-8"
F-04	FLOOR TRUSS (14" W/ 3/4" SUB FLOOR)	2ND LVL - T.O. SUB FLR	1'-2 3/4"	159.01 SF	50'-10 1/4"	24'-2 3/4"	25'-5 1/2"
Interior							
F-01	FLOOR FRAMING (10" W/ 5/4 PT DECKING)	GRND LVL - T.O. SUB FLR	10 1/4"	1491.34 SF	212'-1 1/4"	3'-10"	4'-8 1/4"
F-05	FLOOR FRAMING (10" W/ 3/4" SUB FLOOR)	GRND LVL - T.O. SUB FLR	10"	852.33 SF	150'-8"	3'-10"	4'-8"
F-06	FLOOR TRUSS (18" W/ 3/4" SUB FLOOR)	1ST LVL - T.O. SUB FLR	1'-6 3/4"	1923.07 SF	287'-2"	12'-8"	14'-2 3/4"
F-07	FLOOR TRUSS (18" W/ 3/4" SUB FLOOR)	2ND LVL - T.O. SUB FLR	1'-6 3/4"	987.81 SF	193'-0"	24'-2 3/4"	25'-9 1/2"

ROOFING MATERIAL TAKEOFF						
TAG	MATERIAL SURFACE AREA	MATERIAL + 5%	+ 10%	+ 15%	+ 20%	
01	677.40 SF	711.27 SF	745.14 SF	779.01 SF	812.88 SF	
02	281.28 SF	295.35 SF	309.41 SF	323.47 SF	337.54 SF	
03	1205.08 SF	1265.34 SF	1325.59 SF	1385.85 SF	1446.10 SF	
04	497.68 SF	522.57 SF	547.45 SF	572.33 SF	597.22 SF	
05	1850.83 SF	1943.39 SF	2035.92 SF	2128.46 SF	2221.00 SF	
06	30.06 SF	31.57 SF	33.07 SF	34.57 SF	36.08 SF	
07	30.06 SF	31.57 SF	33.07 SF	34.57 SF	36.08 SF	
08	38.19 SF	40.10 SF	42.01 SF	43.92 SF	45.83 SF	
Grand total: 8 4610.60 SF						

WINDOW SCHEDULE								
TYPE MARK	LEVEL	TYPE	HEAD HEIGHT	SILL HEIGHT	WIDTH	HEIGHT	EGRESS	
W003	GRND LVL - T.O. SUB FLR	Fixed	6'-8"	2'-0"	4'-0"	4'-8"		
W004	GRND LVL - T.O. SUB FLR	Fixed	6'-8"	1'-8"	3'-0"	5'-0"		
W006	GRND LVL - T.O. SUB FLR	Fixed	6'-8"	2'-0"	4'-0"	4'-8"		
W007	GRND LVL - T.O. SUB FLR	Casement	6'-4"	2'-4"	3'-0"	4'-0"	X	
W103	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	2'-0"	5'-0"		
W104	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	2'-0"	5'-0"		
W105	1ST LVL - T.O. SUB FLR	Casement	8'-0"	4'-0"	2'-0"	4'-0"		
W106	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	2'-6"	5'-0"	X	
W107	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-4"	4'-0"	4'-8"		
W108	1ST LVL - T.O. SUB FLR	Casement	8'-0"	2'-4"	3'-0"	5'-8"	X	
W109	1ST LVL - T.O. SUB FLR	Casement	8'-0"	2'-4"	3'-0"	5'-8"	X	
W110	1ST LVL - T.O. SUB FLR	Casement	3'-4"	4"	3'-0"	3'-0"	X	
W111	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-4"	4'-0"	4'-8"		
W112	1ST LVL - T.O. SUB FLR	Casement	8'-0"	4'-0"	2'-6"	4'-0"	X	
W113	1ST LVL - T.O. SUB FLR	Fixed	8'-0"	6'-8"	3'-0"	1'-4"		
W114	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	3'-0"	5'-0"	X	
W115	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	3'-0"	5'-0"	X	
W116	1ST LVL - T.O. SUB FLR	Casement	8'-0"	3'-0"	3'-0"	5'-0"	X	
W130	2ND LVL - T.O. SUB FLR	Casement	8'-0"	1'-0"	3'-0"	7'-0"	X	
W201	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-8"	2'-6"	5'-4"	X	
W202	2ND LVL - T.O. SUB FLR	Fixed	8'-0"	2'-8"	2'-6"	5'-4"	X	
W203	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-8"	2'-6"	5'-4"	X	
W204	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-8"	2'-6"	5'-4"	X	
W205	2ND LVL - T.O. SUB FLR	Fixed	8'-0"	2'-8"	2'-6"	5'-4"	X	
W206	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-8"	2'-6"	5'-4"	X	
W207	2ND LVL - T.O. SUB FLR	Fixed (Round)	7'-4"	5'-4"	2'-0"	2'-0"		
W208	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-6"	2'-0"	5'-6"		
W210	2ND LVL - T.O. SUB FLR	Casement	8'-0"	1'-0"	3'-0"	7'-0"	X	
W211	2ND LVL - T.O. SUB FLR	Fixed	8'-0"	1'-0"	3'-0"	7'-0"	X	
W212	2ND LVL - T.O. SUB FLR	Casement	8'-0"	1'-0"	3'-0"	7'-0"	X	
W213	2ND LVL - T.O. SUB FLR	Casement	8'-0"	2'-6"	2'-0"	5'-6"		
W214	2ND LVL - T.O. SUB FLR	Fixed (Round)	7'-6 1/2"	5'-6 1/2"	2'-0"	2'-0"		
Grand total: 32								

WALL SCHEDULE						
TYPE MARK	TYPE	WIDTH	FUNCTION	LENGTH	AREA	
W-03	FRAME - 3 1/2"	3 1/2"	Interior	141'-11 1/2"	1031.07 SF	
W-04	FRAME - 5 1/2"	5 1/2"	Interior	146'-1"	1060.28 SF	
W-05	FRAME - 5 1/2" W/ 1/2" SHEATHING	6"	Exterior	546'-4"	3818.18 SF	
W-06	FRAME - 5 1/2" W/ 1/2" SHEATHING (BOTH SIDES)	6 1/2"	Interior	20'-11 1/4"	22.07 SF	
W-10	SHOWER WALL (W CURB)	1/2"	Interior	25'-4 1/2"	200.94 SF	
W-11	SCREENING 2	1/4"	Exterior	67'-0 7/8"	693.09 SF	
Grand total: 78						947'-9 1/8" 6825.62 SF

WALL LEGEND	
W-01	8" CMU (SCALED ON PLANS AS 7.58")
W-02	8" CMU W/ FURRING (SCALED ON PLANS AS 7.58")
W-03	2X4 WOOD FRAMED
W-04	2X6 WOOD FRAMED
W-05	2X6 WOOD FRAMED W/ 1/2" SHEATHING
W-06	2X6 WOOD FRAMED W/ 1/2" SHEATHING (BOTH SIDES)
W-07	2X6 WOOD FRAMED
W-08	2X6 WOOD FRAMED W/ 1/2" SHEATHING
W-09	GLASS ENCLOSURE (NO CURB)
W-10	GLASS ENCLOSURE (W/ CURB)


NOTE: SEE S. SHEETS FOR ADDITIONAL WALL ASSEMBLY INFO

NOTE: THE FOLLOWING SYMBOLS ARE USED TO REPRESENT ROOM BOUNDING TRUSS WEBS, AND MAY APPEAR SIMILAR TO WALLS

- TRUSS - VERTICAL WEBB (GABLE END)
- TRUSS - VERTICAL WEBB (ROOM OPENING)

SIDING SCHEDULE			
MATERIAL NAME	MATERIAL AREA	AREA PLUS 5%	AREA PLUS 10%
SIDING - LAP - SMOOTH 7"	3215.06 SF	3375.81 SF	3536.56 SF
SIDING - PANEL - SMOOTH	983.33 SF	1011.49 SF	1059.66 SF
W/BATTEN 18"			
Grand total: 50 4178.38 SF 4387.30 SF 4596.22 SF			

**RECEIVED**  
JUN 11 2020  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Utilities



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WALL LEGEND

W-01 8" CMU (SCALED ON PLANS AS 7.58")

W-02 8" CMU W/ FURRING (SCALED ON PLANS AS 7.58")

W-03 2X4 WOOD FRAMED

W-04 2X6 WOOD FRAMED

W-05 2X6 WOOD FRAMED W/ 1/2" SHEATHING

W-06 2X6 WOOD FRAMED W/ 1/2" SHEATHING (BOTH SIDES)

W-07 2X6 WOOD FRAMED

W-08 2X6 WOOD FRAMED W/ 1/2" SHEATHING

W-09 GLASS ENCLOSURE (NO CURB)

W-10 GLASS ENCLOSURE (W/ CURB)

NOTE: SEE S. SHEETS FOR ADDITIONAL WALL ASSEMBLY INFO

NOTE: THE FOLLOWING SYMBOLS ARE USED TO REPRESENT ROOM BOUNDING TRUSS WEBS, AND MAY APPEAR SIMILAR TO WALLS

- TRUSS - VERTICAL WEBB (GABLE END)
- TRUSS - VERTICAL WEBB (ROOM OPENING)

W/D PERMIT PLANS  
P.L. Copy of Record

GENERAL SCHEDULES

PROJECT #: 21-060  
SHEET DATE: \_\_\_\_\_  
DRAWN BY: A.B.  
**0.3**  
SCALE 1/4" = 1'-0"

PRINT DATE: 05/16/22 3:44:27 PM

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**GULF COAST**  
EXHAUST FAN & EXHAUST  
FAN CONTRACTORS

**JESSE BZURA**  
LICENSE  
No. 60531  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

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PROJECT: 21-060  
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EMAIL: INFO@BDCON.COM

PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE F.P.C. RESIDENTIAL (DOB) ISLAND WERE DESIGNED IN ACCORDANCE WITH F.P.C. 2020 AND INC. 2021.

No.	Description	Date

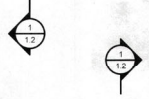
**BEDI RESIDENCE**  
7149 LA LENAIRE DR  
LONGBOAT KEY, FL 34228

**ELEVATIONS**  
PROJECT #: 21-060  
SHEET DATE: AUB  
DRAWN BY: AUB  
**1.0**  
SCALE: As Indicated

PRINT DATE: 06/16/22 3:44:47 PM



**FRONT (WEST) ELEVATION**  
1/4" = 1'-0"



**REAR (EAST) ELEVATION**  
1/4" = 1'-0"

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TOWN OF LONGBOAT KEY  
Planning, Zoning & Services



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EN지니어ING & DESIGN  
A Division of Beacon Design

**JESSE BZUNA**  
LICENSED PROFESSIONAL ENGINEER  
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PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE MINOR BOUNDING REGION AS DEFINED AND SET FORTH BY THE F.L.C. RESIDENTIAL (2020) PLANS AND SPECIFICATIONS.

No.	Description	Date

**BEDI RESIDENCE**  
7149 LA LENAIRE DR.  
LONGBOAT KEY, FL 34228

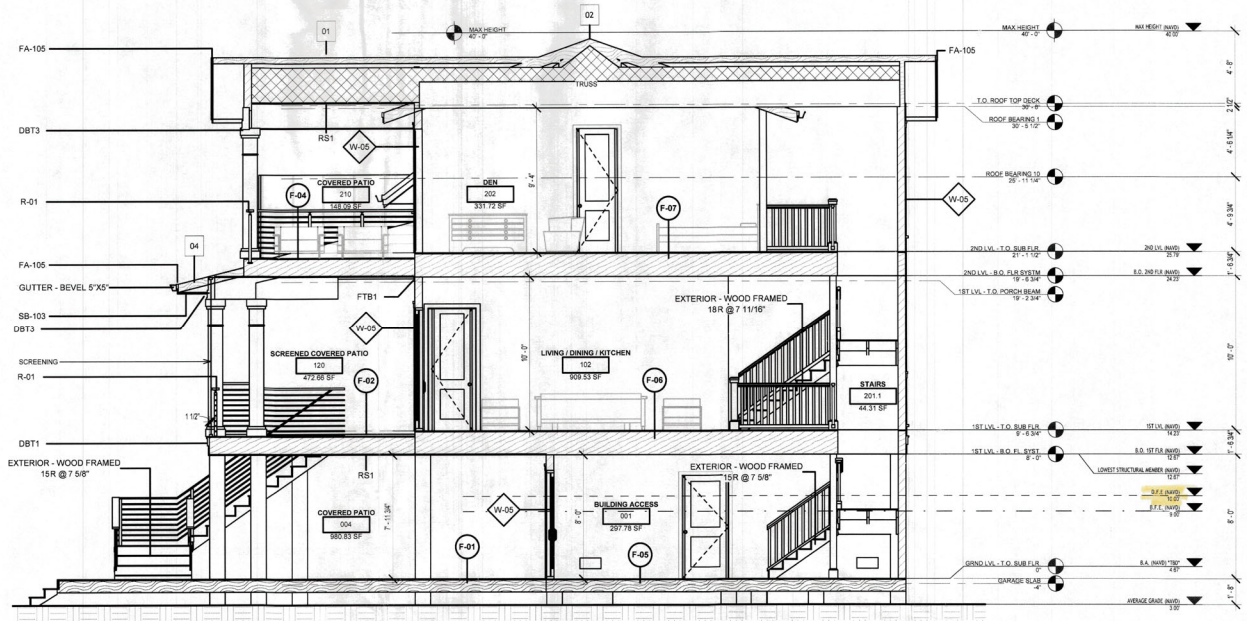
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FILE  
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SECTIONS

PROJECT #: 21-060  
SHEET DATE:  
DRAWN BY: A.B.

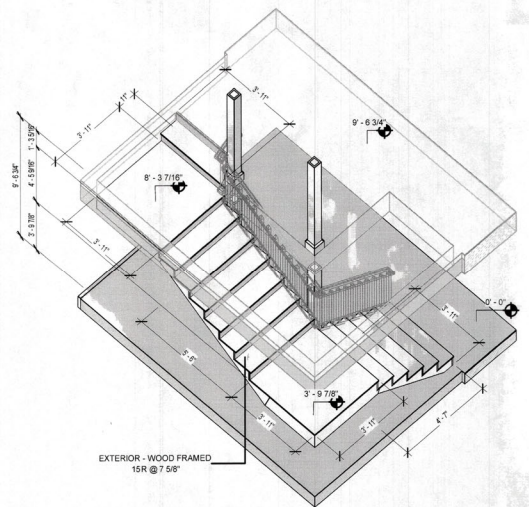
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SCALE 1/4" = 1'-0"

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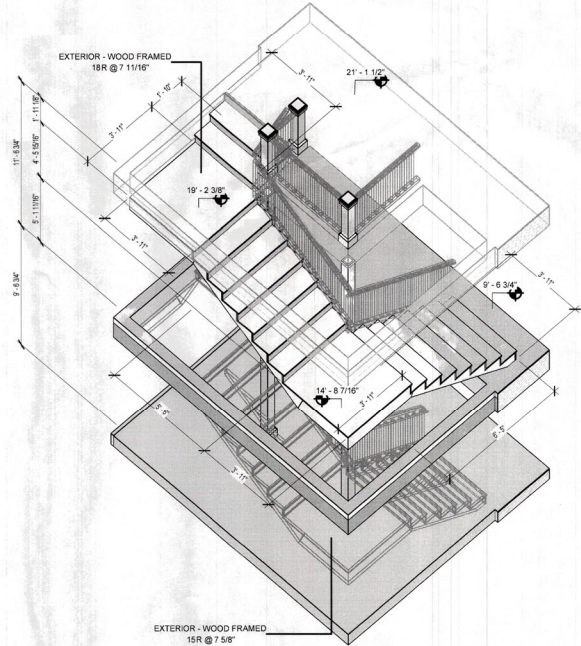


**SECTION 1**  
1/4" = 1'-0"

RAILING SCHEDULE		
TYPE MARK	LENGTH	
R-01	128' - 2"	
R-02	78' - 6 3/8"	
R-03	35' - 9 5/8"	



**STAIRS GROUND LVL 3D VIEW**



**STAIRS 1ST LVL 3D VIEW**

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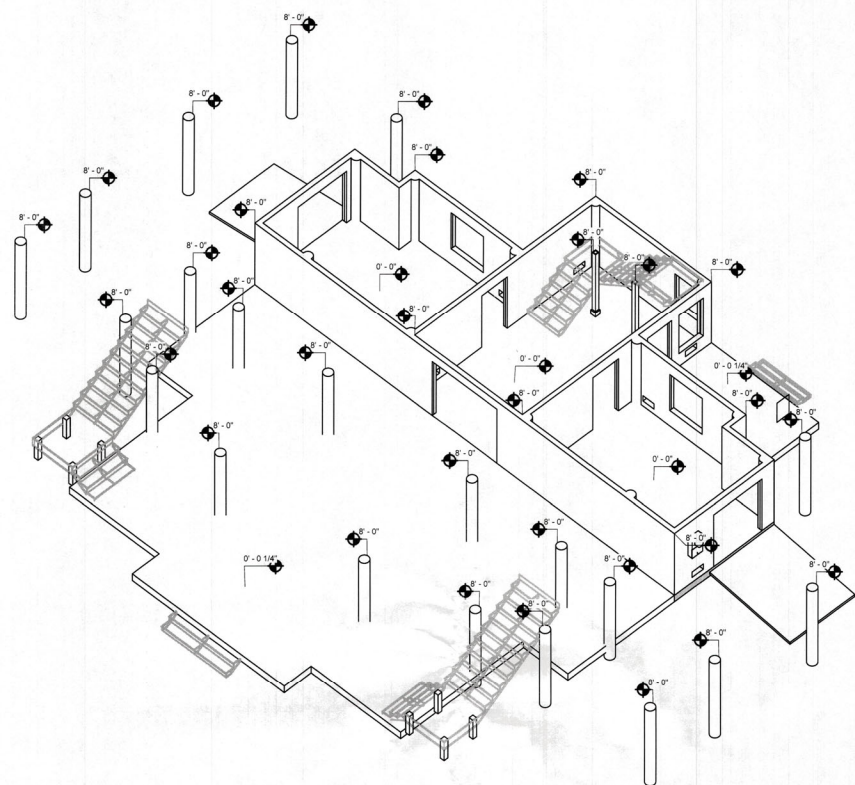
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7149 LA LENAIRE DR.  
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FILE # 2022-000000000  
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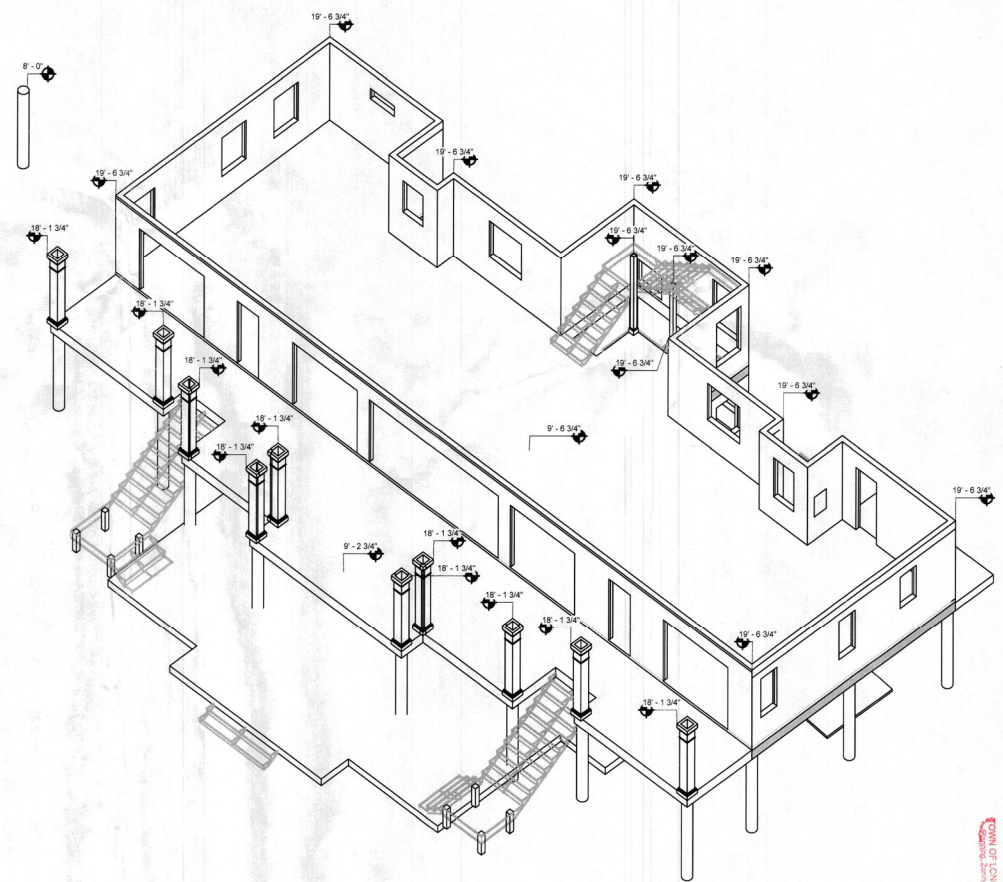
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Community Planning & Economic Development

**WALL ISOMETRICS**  
PROJECT #: 21-000  
SHEET DATE: JUN 21 2022  
DRAWN BY: AJB  
**1.3**  
SCALE

PRINT DATE: 06/16/22 3:45:35 PM



**EXTERIOR WALLS GROUND LVL 3D VIEW**



**EXTERIOR WALLS 1ST LVL 3D**





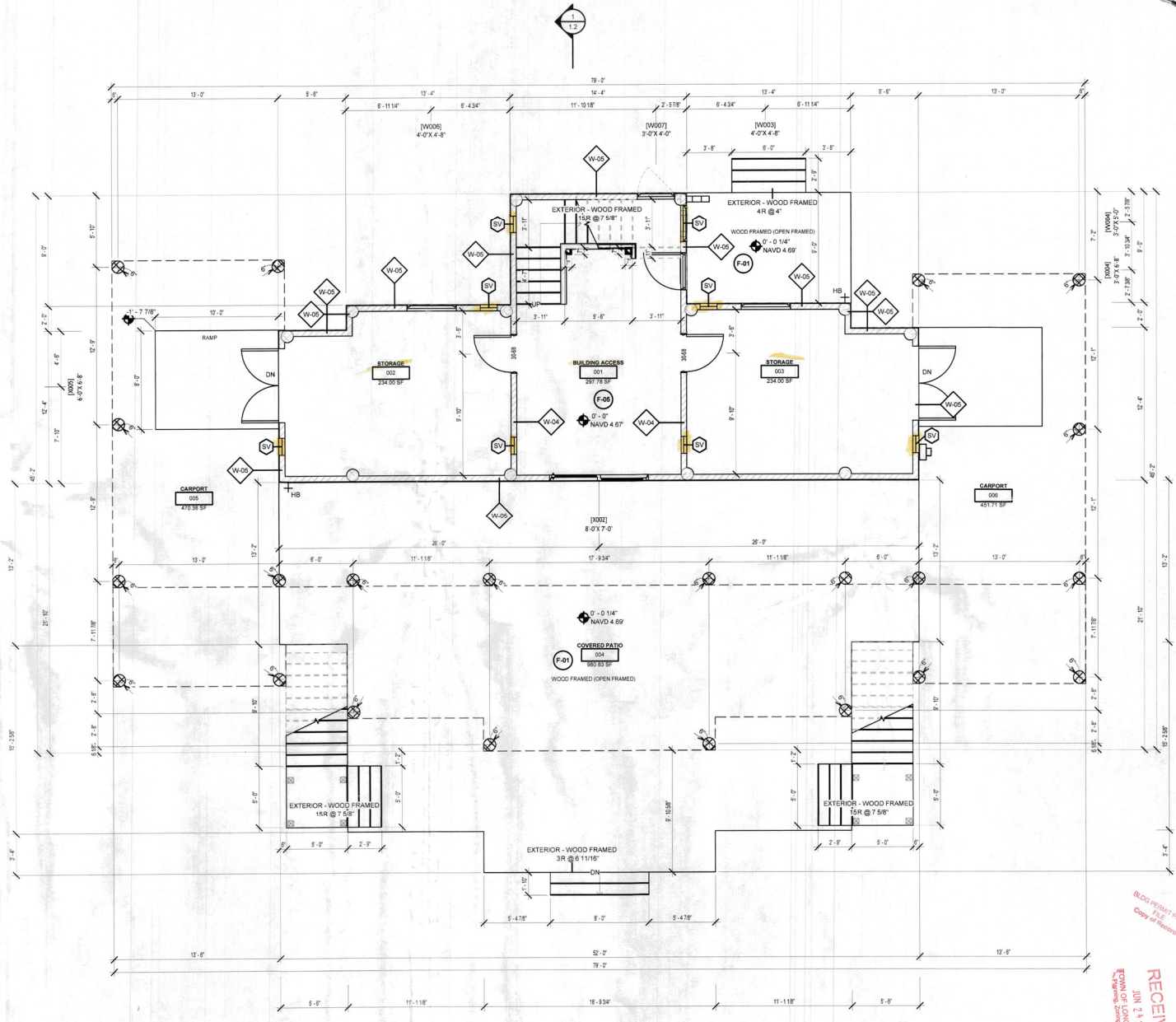
ROOM SCHEDULE - GROUND LVL			
NAME	NUMBER	AREA	PERIMETER
BUILDING ACCESS	001	297.78 SF	90' - 2"
STORAGE	002	234.00 SF	63' - 5"
STORAGE	003	234.00 SF	63' - 5"
COVERED PATIO	004	980.83 SF	147' - 9"
CARPORT	005	470.38 SF	97' - 1 1/8"
CARPORT	006	451.71 SF	95' - 4"

WALL LEGEND	
	W-01 8" CMU (SCALED ON PLANS AS 7.58")
	W-02 8" CMU W/ FURRING (SCALED ON PLANS AS 7.58")
	W-03 2X4 WOOD FRAMED
	W-04 2X6 WOOD FRAMED
	W-05 2X6 WOOD FRAMED W/ 1/2" SHEATHING
	W-06 2X6 WOOD FRAMED W/ 1/2" SHEATHING (BOTH SIDES)
	W-07 2X8 WOOD FRAMED
	W-08 2X8 WOOD FRAMED W/ 1/2" SHEATHING
	W-09 GLASS ENCLOSURE (NO CURB)
	W-10 GLASS ENCLOSURE (W/ CURB)

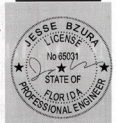
NOTE: SEE S. SHEETS FOR ADDITIONAL WALL ASSEMBLY INFO

NOTE: THE FOLLOWING SYMBOLS ARE USED TO REPRESENT ROOM BOUNDING TRUSS WEBS, AND MAY APPEAR SIMILAR TO WALLS

- TRUSS - VERTICAL WEBS (GABLE END)
- TRUSS - VERTICAL WEBS (ROOM OPENING)



**GROUND LEVEL FLOOR PLAN**  
1/4" = 1'-0"



PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS DESIGN AS DEFINED AND SET FORTH BY THE F.T.C. RESIDENTIAL DESIGN WAREHOUSE DESIGNED IN ACCORDANCE WITH F.T.C. 2009 AND IRC 2017.

PROJECT NO: 21-040  
 ADDRESS: 7149 LA LENAIRE DR, LONGBOAT KEY, FL 34228  
 DATE: JUN 2, 2022

No.	Description	Date

**BEDD RESIDENCE**  
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LONGBOAT KEY, FL 34228

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ECON OF LONGBOAT KEY  
Katherine, Kelly, Andrew

**FLOOR PLAN - GROUND LEVEL**

PROJECT #: 21-040  
 SHEET DATE: JUN 2, 2022  
 DRAWN BY: AJD  
**SCALE: 2.0**  
 As indicated

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**JESSE BZURA**  
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PROFESSIONAL ENGINEER

PROJECT NO. 2017-001  
ADDRESS: 7149 LA LENAIRE DR, LONGBOAT KEY, FL 34228  
DATE: 03/21/2017  
SCALE: AS SHOWN

No.	Description	Date

**BEDI RESIDENCE**  
7149 LA LENAIRE DR  
LONGBOAT KEY, FL 34228

**FLOOR PLAN - 2nd LEVEL**  
PROJECT #: 21-000  
SHEET DATE:  
DRAWN BY: AJB  
**4.0**  
SCALE: As Indicated

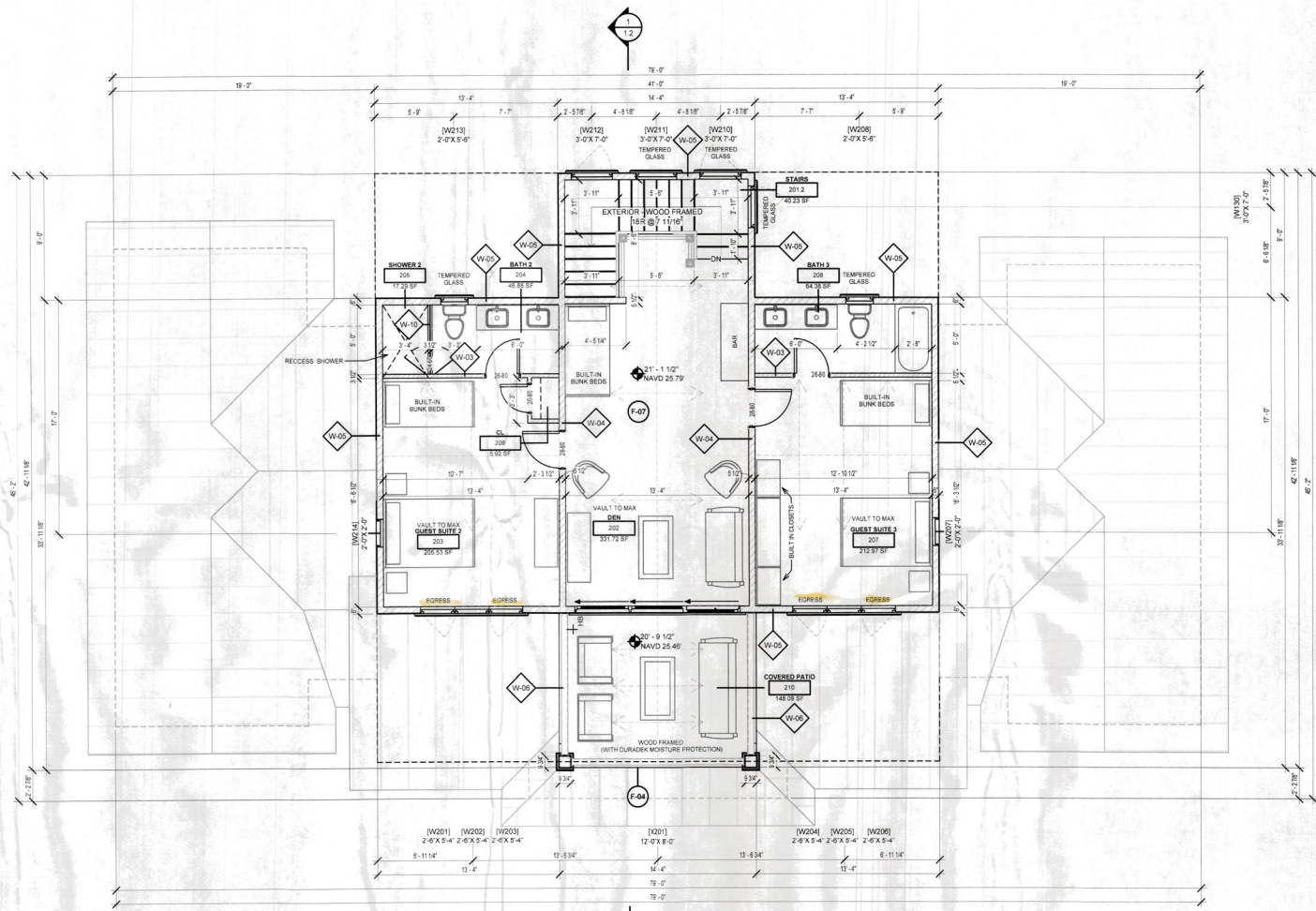
ROOM SCHEDULE - 2ND LVL				
NAME	NUMBER	AREA	PERIMETER	
DEN	202	331.72 SF	81' - 6 1/2"	
STAIRS	201.2	40.23 SF	28' - 4 1/2"	
GUEST SUITE 2	203	205.53 SF	58' - 10"	
BATH 2	204	46.88 SF	28' - 9"	
SHOWER 2	205	17.29 SF	16' - 11"	
CL	206	5.52 SF	9' - 11"	
GUEST SUITE 3	207	212.97 SF	58' - 10"	
BATH 3	208	64.38 SF	35' - 9"	
COVERED PATIO	210	148.09 SF	50' - 10 1/4"	

WALL LEGEND	
	W-01 1/2" CMU (SCALED ON PLANS AS 7.5#)
	W-02 1/2" CMU W/ FURRING (SCALED ON PLANS AS 7.5#)
	W-03 2x4 WOOD FRAMED
	W-04 2x6 WOOD FRAMED
	W-05 2x6 WOOD FRAMED W/ 1/2" SHEATHING
	W-06 2x6 WOOD FRAMED W/ 1/2" SHEATHING (BOTH SIDES)
	W-07 2x6 WOOD FRAMED
	W-08 2x6 WOOD FRAMED W/ 1/2" SHEATHING
	W-09 GLASS ENCLOSURE (NO CURB)
	W-10 GLASS ENCLOSURE (W/ CURB)

NOTE: SEE S. SHEETS FOR ADDITIONAL WALL ASSEMBLY INFO

NOTE: THE FOLLOWING SYMBOLS ARE USED TO REPRESENT ROOM BOUNDING TRUSS WEBS, AND MAY APPEAR SIMILAR TO WALLS

- TRUSS - VERTICAL WEBB (SABLE END)
- TRUSS - VERTICAL WEBB (ROOM OPENING)



**2ND LVL FLOOR PLAN**  
1/4" = 1'-0"

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PROJECT 2017-001

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**JESSE BZURA**  
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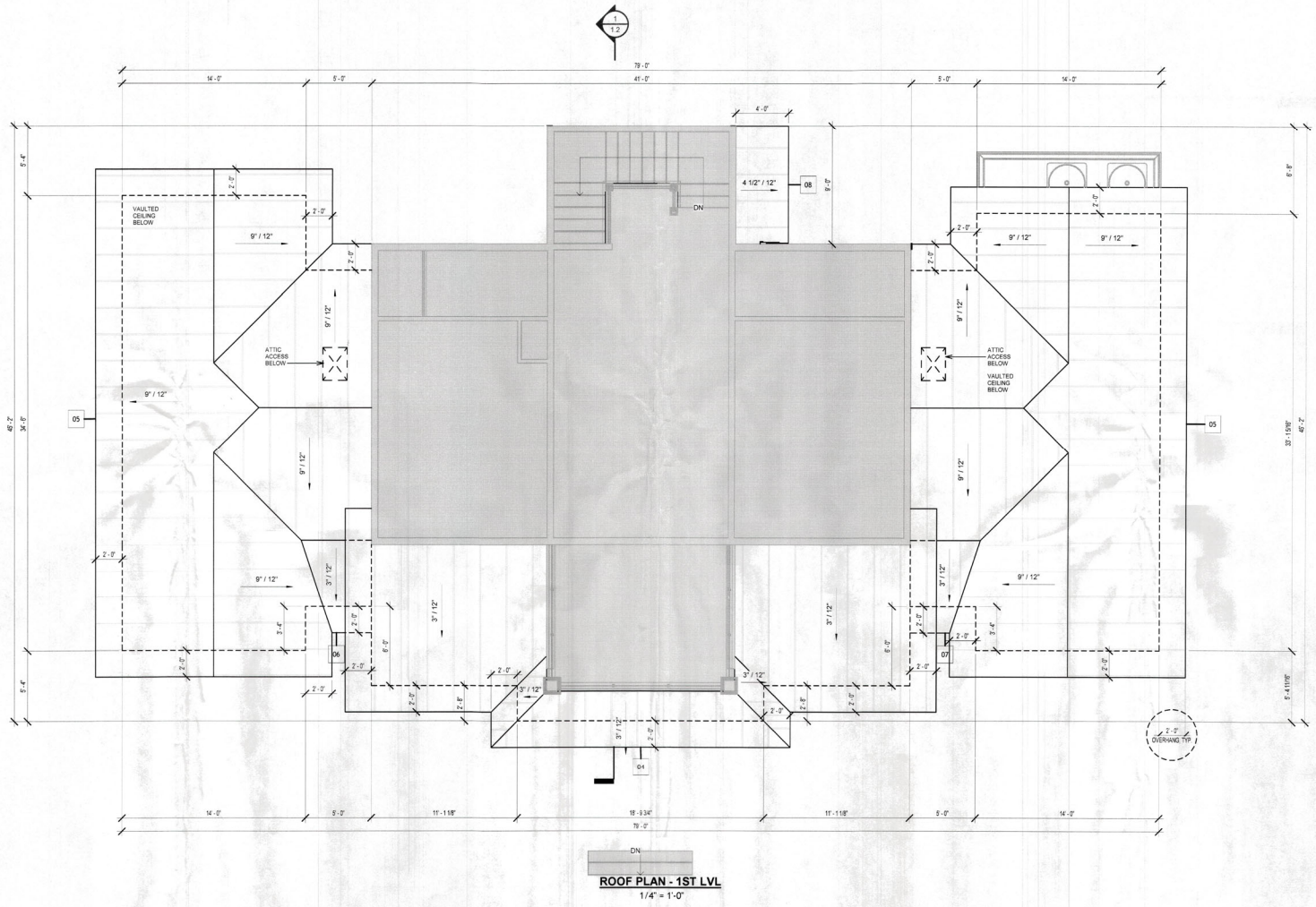
DATE: 06/16/23  
PROJECT: 21-060  
ADDRESS: 7149 L. LENAIRE DR., LONGBOAT KEY, FL 34228  
PHONE: (813) 778-7900  
FAX: (813) 778-7900  
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**5.1**  
SCALE: 1/4" = 1'-0"  
PROJECT #: 21-060  
SHEET DATE:  
DRAWN BY: A.B.  
PRINT DATE: 06/16/23 3:46:12 PM



**ROOF PLAN - 1ST LVL**  
1/4" = 1'-0"

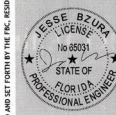
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BEACON HOME DESIGN



GULF COAST  
PROFESSIONAL ENGINEERING & ARCHITECTURE



JESSE BZURA  
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PROFESSIONAL ENGINEER

CONTRACT NO. 2018-001  
PROJECT NO. 2018-001  
ADDRESS: 7149 LA LENAIRE DR.  
E-MAIL: BEACON@BEACONHOMEDSIGN.COM  
CONTRACT START DATE: 08/15/2018  
CONTRACT END DATE: 08/15/2018  
ADDRESS: 7149 LA LENAIRE DR.  
E-MAIL: BEACON@BEACONHOMEDSIGN.COM

No.	Description	Date

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SHEET DATE:  
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6.1  
SCALE: As Indicated

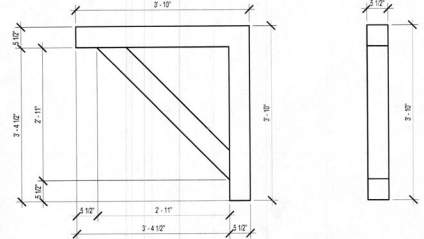
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FASCIA SCHEDULE				
TAG	PROFILE	TOTAL LENGTH	TOTAL 8' BOARD COUNT	TOTAL 12' BOARD COUNT
FA-105	Exterior Trim - Fascia (2 Piece) : 1" x 8" & 1" x 4"	602' - 9 7/16"	75.35	50.23

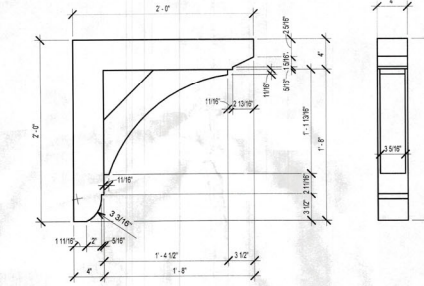
FRIEZE BOARD SCHEDULE				
TAG	PROFILE	TOTAL LENGTH	TOTAL 8' BOARD COUNT	TOTAL 12' BOARD COUNT
FB-105	Exterior Trim - Trim Board : 1" x 8"	72' - 7 3/8"	9.08	6.05

LINEAR SOFFIT SCHEDULE				
TAG	PROFILE	TOTAL LENGTH	TOTAL 8' BOARD COUNT	TOTAL 12' BOARD COUNT
SB-103	Exterior Trim - Soffit : 1/4" x 24"	173' - 7 1/16"	21.70	14.47

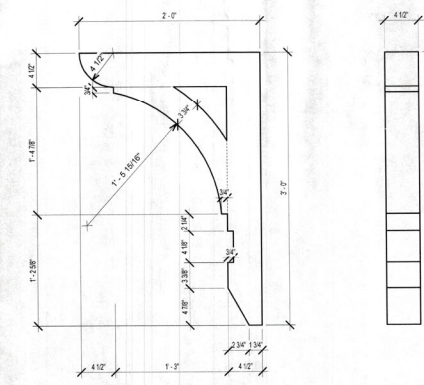
COVERED PATIO SOFFIT SCHEDULE		
TAG	DESCRIPTION	AREA
RS1	ROOF SOFFIT	2838.96 SF
Grand total: 4		2838.96 SF



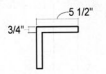
**BRACKET 1**  
3/4" = 1'-0"



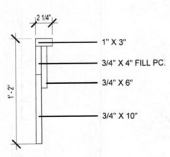
**BRACKET 3**  
1 1/2" = 1'-0"



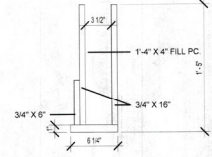
**BRACKET 14**  
1 1/2" = 1'-0"



**CORNER BOARD (CB-103)**  
1 1/2" = 1'-0"



**BAND BOARD (DBT1)**  
1 1/2" = 1'-0"

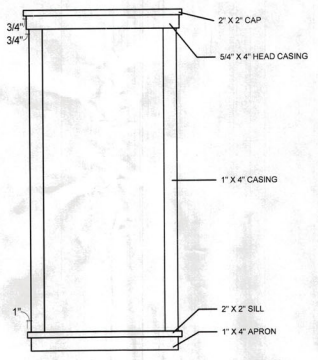


**DECK BEAM (DBT3)**  
1 1/2" = 1'-0"

EXTERIOR WALL TRIM SCHEDULE						
TAG	TYPE	COMMENTS	PROFILE	TOTAL LENGTH	TOTAL 8' BOARD COUNT	TOTAL 12' BOARD COUNT
CB-103	WALL TRIM	Exterior Trim - Corner Board : 1" x 6"		157' - 1 1/4"	19.64	13.09
FTB1	Wall Trim	Exterior Trim - Trim Board : 1" x 4"		239' - 1 3/4"	29.89	19.93

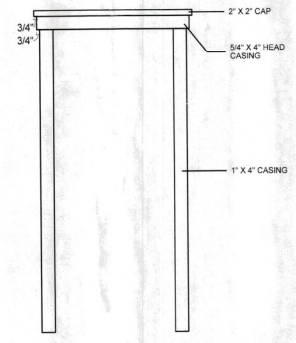
EXTERIOR FLOOR TRIM SCHEDULE						
TAG	TYPE	COMMENT	PROFILE	TOTAL LENGTH	TOTAL 8' BOARD COUNT	TOTAL 12' BOARD COUNT
DBT1	Deck Beam Trim	Exterior Trim - Band Board 106 (Coastal) - BB-106		255' - 0"	31.88	21.25
DBT3	Deck Beam Trim	Exterior Trim - Deck Beam 102 (Coastal) - Exterior Trim - Deck Beam 102 (Coastal)		152' - 10 1/4"	19.11	12.74

WINDOW TRIM TAKEOFF					
TRIM	HEIGHT	WIDTH	COUNT		
Exterior Trim - Window Trim - WT-100: WT-101 - 1"x4" Casing, 5/4"x4" Head Casing, 1 1/2"x4" Sill	4' - 0"	2' - 8"	26		
Grand total: 26					



**WINDOW TRIM (WT-101)**  
3/4" = 1'-0"

DOOR TRIM TAKEOFF					
TRIM	HEIGHT	WIDTH	COUNT		
Exterior Trim - Door Trim - DT-100: DT-101 - 1"x4" Casing, 5/4"x4" Head Casing	6' - 8"	2' - 8"	11		
Grand total: 11					



**DOOR TRIM (DT-101)**  
3/4" = 1'-0"



**GENERAL ELECTRICAL NOTES (APPLIES TO ALL DRAWINGS)**

- CODE:**
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND COMPLY WITH NEC 2017 AND NFPA 70.
  - B. ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED.
  - FLOOD ZONE REQUIREMENTS/ STATE PERMITTING:**
    - A. ALL ELECTRIC TO BE MOUNTED ABOVE D.F.E.
    - B. NO ELECTRICAL DEVICES WILL BE MOUNTED ON BREAKAWAY WALLS.
    - C. COORDINATE ALL EXTERIOR LIGHTING WITH APPROVED STATE OF FLORIDA DEEP PERMIT.
  - COORDINATION BETWEEN TRADES:**
    - A. COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES AS REQUIRED. CONNECTIONS FROM EQUIPMENT TO DISCONNECTS TO BE PROVIDED BY EACH RESPECTIVE TRADE (I.E. HVAC, PLUMBING, ETC).
    - B. COORDINATE WITH OTHER TRADES FOR EXACT LOCATIONS OF ALL MOTORS AND OTHER EQUIPMENT TO BE INSTALLED AND/OR WIRED UNDER THIS DIVISION BUT FURNISHED UNDER ANOTHER DIVISION OF THE SPECIFICATIONS.
    - C. COORDINATE WITH OWNER FOR EXACT LOCATIONS AND LOAD REQUIREMENTS FOR APPLIANCES.
  - COORDINATION WITH OWNER: CONTRACTOR TO COORDINATE WALK-THRU WITH OWNER. CONTRACTOR AND ELECTRICIAN PRIOR TO ROUGH-IN OR OF ELECTRICAL AND PRIOR TO INSTALLING FINISHES. ALL FIXTURES, DEVICES AND ELECTRICAL FINISHES NOT SPECIFIED TO BE SELECTED BY OWNER.**
    - A. COORDINATE TELEPHONE SYSTEM INSTALLATION WITH OWNER'S REQUIREMENTS.
    - B. COORDINATE SOUND SYSTEM WIRING AND OUTLET LOCATIONS WITH OWNER.
    - C. COORDINATE COMPUTER WIRING AND OUTLET LOCATIONS WITH OWNER.
    - D. COORDINATE TV OUTLET LOCATIONS WITH OWNER.
    - E. COORDINATE ANNUNCIATOR SYSTEM (DOORBELL) WITH OWNER'S REQUIREMENTS.
    - F. COORDINATE SECURITY SYSTEM WITH OWNER'S REQUIREMENTS.
    - G. COORDINATE ELECTRICAL REQUIREMENTS FOR ELEVATOR WITH ELEVATOR CONTRACTOR.
    - H. COORDINATE POOL & POOL DECK LIGHTING WITH SWIMMING POOL SUB-CONTRACTOR.
    - I. COORDINATE LOCATION OF LANDSCAPE LIGHTING FIXTURES AND CONTROLS WITH OWNER.
    - J. COORDINATE CENTRAL VACUUM EQUIPMENT AND CONNECTIONS LOCATIONS IF REQ.

**ARC FAULT:** ALL 120 VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN THE DWELLING SHALL BE PROTECTED BY A LISTED BRANCH CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS APPLIES TO ALL AREAS EXCEPT BATHROOMS, AND GARAGES.

**GFI/ARC-FAULT:** KITCHEN AND UTILITY ROOM OUTLETS SHALL BE GFI/ ARC-FAULT PROTECTED.

**COMBINATION SMOKE AND CARBON MONOXIDE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH PROVISIONS FBC R314 AND THE HARDWIRE HOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL SMOKE & CARBON MONOXIDE ALARMS SHALL BE HARD WIRED, INTERCONNECTED AND BATTERY SUPPLIED IN CASE OF POWER OUTAGE UNLESS EXEMPT UNDER R314. ALL SMOKE & CO ALARMS SHALL BE LISTED & LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND INSTALLED WITH IN 10 FEET OF EACH BEDROOM. SMOKE DETECTORS ARE REQUIRED INSIDE EVERY BEDROOM AND OUTSIDE THE ROOM IN THE IMMEDIATE VICINITY.**

**ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINALS.**

**PACK ALL SLEEVES FOR CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOOR SLABS WITH FIRE RESISTANT MATERIALS. ALL PENETRATIONS SHALL BE UL RATED.**

**ALL EMPTY CONDUITS (EC) SHALL BE PROVIDED WITH NYLON PULL WIRES. COORDINATE THE REQUIRED SIZE OF ALL CIRCUIT BREAKERS FEEDING EQUIPMENT. (I.E. MOTORS, HVAC, KITCHEN EQUIPMENT, SPECIAL PURPOSE OUTLETS, ELEVATORS, OWNER FURNISHED EQUIPMENT, ETC.) WITH APPROVED EQUIPMENT SHOP DRAWINGS AND OWNER REPRESENTATIVES PRIOR TO ORDERING PANELBOARDS.**

**BREAKERS SHALL BE SIZED PER THE NEC 2017, THE EQUIPMENT NAME PLATE AND MANUFACTURER'S RECOMMENDATIONS. SERVICE REQUIREMENTS. ELECTRICAL CONTRACTOR TO CONFIRM SERVICE SIZE. ALL CONDUITS IN OR UNDER SLAB OR UNDERGROUND SHALL BE PVC SCHEDULE 40. ALL CONDUITS SHALL BE PARALLEL AND PERPENDICULAR TO STRUCTURAL MEMBERS. ALL BENDS SHALL BE MADE IN CONDUIT USING PROPER EQUIPMENT AND MEET NATIONAL ELECTRICAL CODE (NEC 2017) REQUIREMENTS. ALL WIRE INCLUDING BUT NOT LIMITED TO FEEDERS AND BRANCH CIRCUIT WIRING, SHALL BE COPPER. ALL BREAKERS SHALL BE "FULL SIZE". NO TANDEM, PIGGY BACK, TWIN, OR HALF SIZE BREAKERS WILL BE ACCEPTED. BREAKER MUST BE APPROVED BEFORE INSTALLATION.**

**ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER AND TEMPORARY LIGHTING DURING CONSTRUCTION. TEMPORARY POWER SHALL PROVIDE ADEQUATE POWER FOR NORMAL CONSTRUCTION USE. TEMPORARY LIGHTING SHALL PROVIDE ADEQUATE LIGHT SO THAT THE INDIVIDUAL TRADES WORK CAN BE COMPLETED.**

**CONTRACTOR SHALL PLACE STICKERS IN ELECTRICAL PANEL INDICATING PHYSICAL AIR HANDLER LOCATIONS AND BREAKER NUMBER. ALL MATERIALS AND EQUIPMENT TO BE NEW, FREE OF DEFECTS AND BEAR THE MFR'S NAME, TRADE NAME AND TESTING LAB LABEL LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS IN THE LISTING OR LABELING. AT LEAST TWO (2) BRANCH CIRCUITS ARE PROVIDED IN THE KITCHEN OUTLET SPACING TO CONFORM TO THE NATIONAL ELECTRIC CODE. PROVIDE SWITCH & SURFACE MOUNTED LIGHT FIXTURE IN ALL ATTIC ACCESS. UNLESS NOTED OTHERWISE, INSTALL ELECTRICAL DEVICE RECEPTACLES AT THE FOLLOWING HEIGHTS A.F.F.:**

- OUTLETS 14" (EXCEPT OUTLETS AT COUNTERS TO BE DETERMINED)
- TELEPHONE 14" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)
- TELEVISION 4" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)
- ALL OUTDOOR ELECTRICAL RECEPTACLES SHALL BE WEATHER RESISTANT GFI OUTLETS.

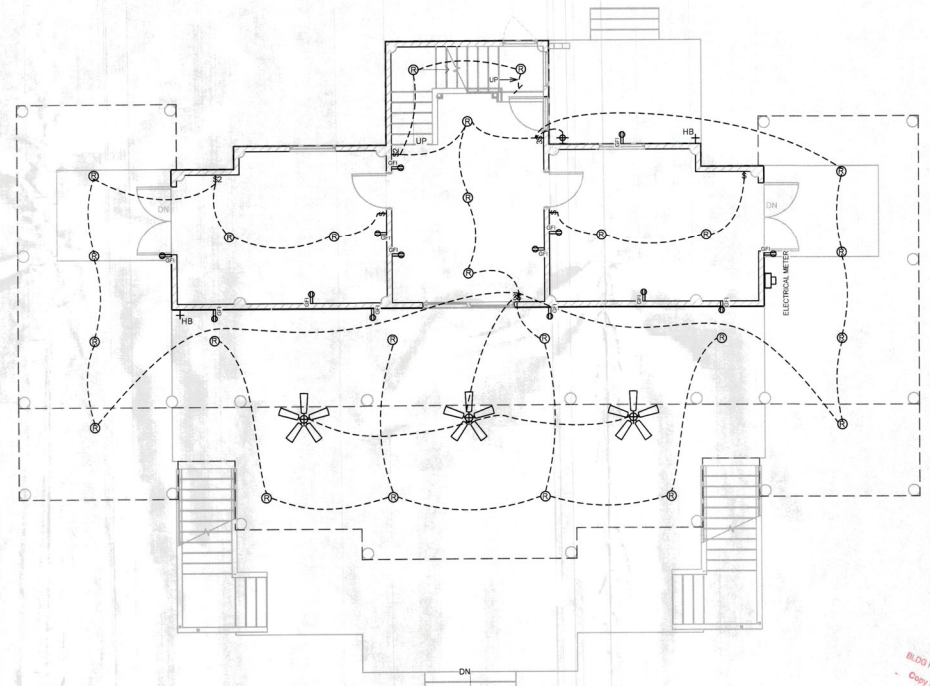
**ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL. CHECK SITE PLAN AND/OR LANDSCAPE PLAN FOR LOW VOLTAGE OR EXTERIOR LIGHTING REQUIREMENTS.**

**GARAGE OUTLETS TO BE ON DEDICATED CIRCUIT AND THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLE(S) IN A GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE PER SECTION E9901.9 FRC 2017. SMOKE DETECTORS ARE INTERCONNECTED & HAVE A 10 YEAR BATTERY BACKUP NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. EXCEPTION: LOW-VOLTAGE LIGHTING.**

**BATHROOMS VENT TO THE OUTSIDE. ALL EXTERIOR LIGHTING THAT CAN BE SEEN FROM THE BEACH MUST BE PROTECTED TURTLE LIGHTING.**

OPTIONAL METHOD RESIDENTIAL SERVICE CALCULATION (NEC 2017)			
FLOOR AREA = 2791 SQ FT			
LOAD TYPE	LOAD VALUE	MULTIPLIER/ DEMAND	TOTAL
GENERAL LIGHTING	2791 X 3 VA		
		TOTAL LOAD VALUE = 8373 VA	
SMALL APPLIANCE BRANCH CIRCUIT (2) MINIMUM	(4) CIRCUITS X 1500 VA		
		10000 VA @ 100% = 10000 VA	
		8373 VA @ 80% = 6698 VA	
			17699 VA
LAUNDRY CIRCUIT	(1) CIRCUIT X 1500 VA		
		= 1500 VA	
ELECTRIC DRYER	(1) DRYER X 3000 VA		
		= 3000 VA	
ELECTRIC RANGE	(1) RANGE X 11000 VA		
		= 11000 VA	
GARAGE DISPOSAL	(1) DISPOSAL X 800 VA		
		= 800 VA	
MICROWAVE OVEN	(1) MICRO X 1500 VA		
		= 1500 VA	
DISHWASHER	(1) DW X 1000 VA		
		= 1000 VA	
ELECTRIC WATER HEATER	(2) WH X 4500 VA		
		= 9000 VA	
POOL/ SPA	(1) PUMP X 8000 VA		
		= 8000 VA	
ELEVATOR	(1) ELEV X 2400 VA		
		= 2400 VA	
<b>TOTAL LOAD (SUM OF LOAD VALUES)</b>	<b>TOTAL LOAD VALUE = 84773 VA</b>		<b>27600 VA</b>
AIR CONDITIONER (1 TON)	(2) AC X 7000 VA		
		= 14000 VA	
		<b>TOTAL CALCULATED LOAD</b>	<b>41008 VA</b>
		<b>MINIMUM SERVICE SIZE = 200 AMPS</b>	<b>240 VOLTS</b>
			<b>= 47.5 AMPS</b>

ELECTRICAL LEGEND	
	LIGHT SWITCH
	DUPLEX WALL RECEPTACLE NOTE: USE ARC FAULT AS PER FBC E9002 12
	DEDICATED 220V RECEPTACLE
	DUPLEX WALL RECEPTACLE W/ GROUND FAULT INTERRUPTER (PROVIDE WATER RESISTANT OUTLETS AT EXTERIOR LOCATIONS)
	220V OUTLET
	DUPLEX WALL RECEPTACLE - HALF SWITCH
	DED. CIRCUIT REC. ABOVE COUNTERTOP
	DUPLEX CEILING RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	TELEPHONE PRE-WIRE
	CABLE TV PRE-WIRE
	CEILING LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	PULL CHAIN LIGHT FIXTURE
	4" RECESSED LIGHT W/ WHITE BAFFLE TRIM
	RECESSED EYEBALL 4"
	LED UNDER CABINET OR CLOSET STRIP
	2 OR 4 FT SURFACE MT. FLUORESCENT W/ 2 TUBES
	4 FT SURFACE MT. FLUORESCENT W/ 4 TUBES
	EXHAUST FAN TRIM
	EXHAUST FAN
	SMOKE DETECTOR INTERCONNECTED
	SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO INTERCONNECTED
	ELECTRICAL DISCONNECT - VERIFY POWER REQ.
	CEILING FAN W/ LIGHT, PREPARE FOR 75LB WEIGHT
	DENOTES CIRCUIT
	WALL MOUNT CYLINDER TURTLE LIGHT
	LOW VOLTAGE PATH LIGHT
	4" RECESSED LIGHT W/ BLACK BAFFLE & TURTLE BULB
	CYLINDER DOWN LIGHT W/ TURTLE BULB
	LUTRON KEY PAD
	LUTRON MAESTRO SWITCH
	LUTRON CONTACT CLOSURE SWITCH
	AC SUPPLY REGISTER
	AC RETURN REGISTER



**GROUND LEVEL ELECTRICAL PLAN**  
3/16" = 1'-0"

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DATE: 4/23/2024  
 PROJECT: 7149 LA LENAIRE DR., LONGBOAT KEY, FL 34228  
 ARCHITECT: BEACON HOME DESIGN  
 ELECTRICAL ENGINEER: JAMES M. SMITH, P.E.  
 LICENSE NO.: 12345  
 STATE OF FLORIDA

No.	Description

**BED RESIDENCE**  
7149 LA LENAIRE DR.  
LONGBOAT KEY, FL 34228

**ELECTRICAL PLAN**

PROJECT #: 21-060  
 SHEET DATE:        
 DRAWN BY: AJB

**7.0**

SCALE: As Indicated

RECEIVED  
 JUN 24 2024  
 TOWN OF LONGBOAT, FL  
 Planning & Zoning Division

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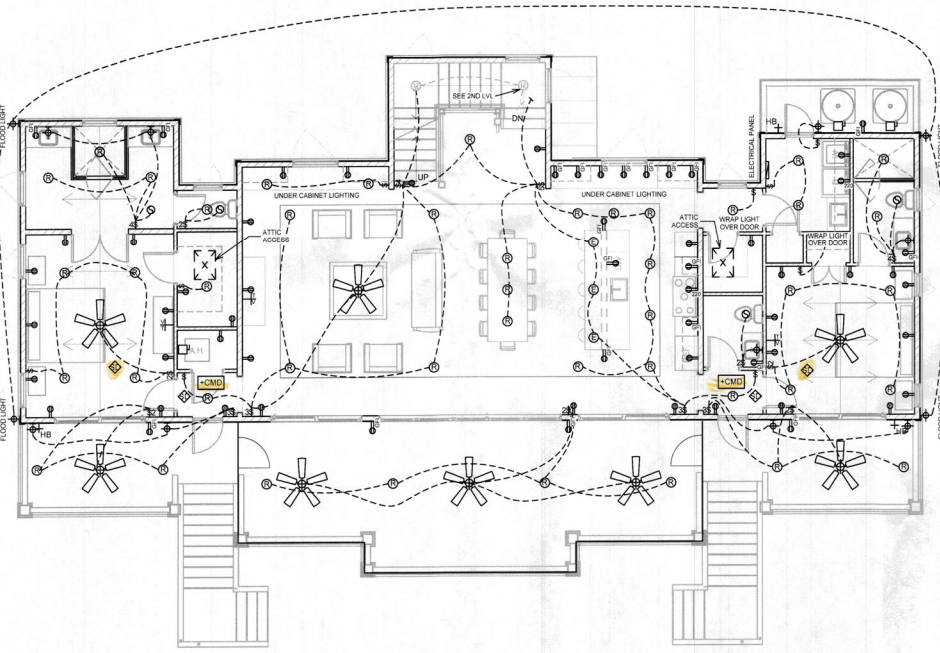
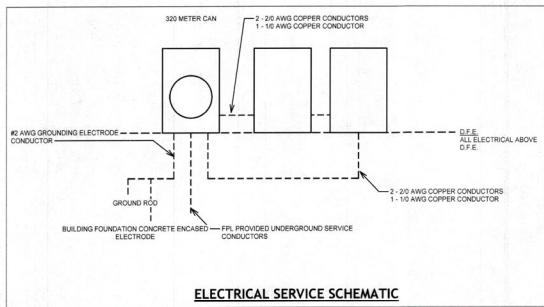
OWNER: BEDI RESIDENCE  
ADDRESS: 7149 LA LENAIRE DR., LONGBOAT KEY, FL 34228  
PHONE: (813) 719-7000  
EMAIL: INFO@BEACONHOMEDSIGN.COM

No.	Description	Date

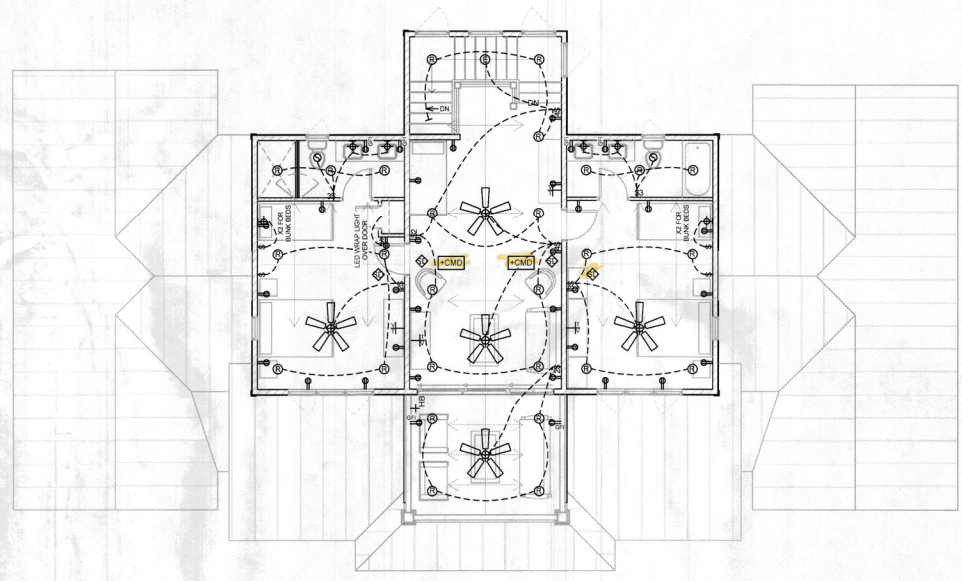
**BEDI RESIDENCE**  
7149 LA LENAIRE DR.  
LONGBOAT KEY, FL 34228

PROJECT #: 21-060  
SHEET DATE: AUB  
DRAWN BY: AUB  
**7.1**  
SCALE: As indicated

PRINT DATE: 06/16/22 3:45:30 PM



**1ST LVL ELECTRICAL PLAN**  
3/16" = 1'-0"



**2ND LVL ELECTRICAL PLAN**  
3/16" = 1'-0"

BLDG PERMIT PLANS  
THE City of Raymond

BLDG PERMIT PLANS  
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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

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CONSULTANT:  
ADDRESS:  
PHONE:  
ADDRESS:  
PHONE:

No.	Description	DHP

PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGY FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE FLA. RESIDENTIAL, 2020. PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2020 AND MEC 2022.

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LONGBOAT KEY, FL 34228

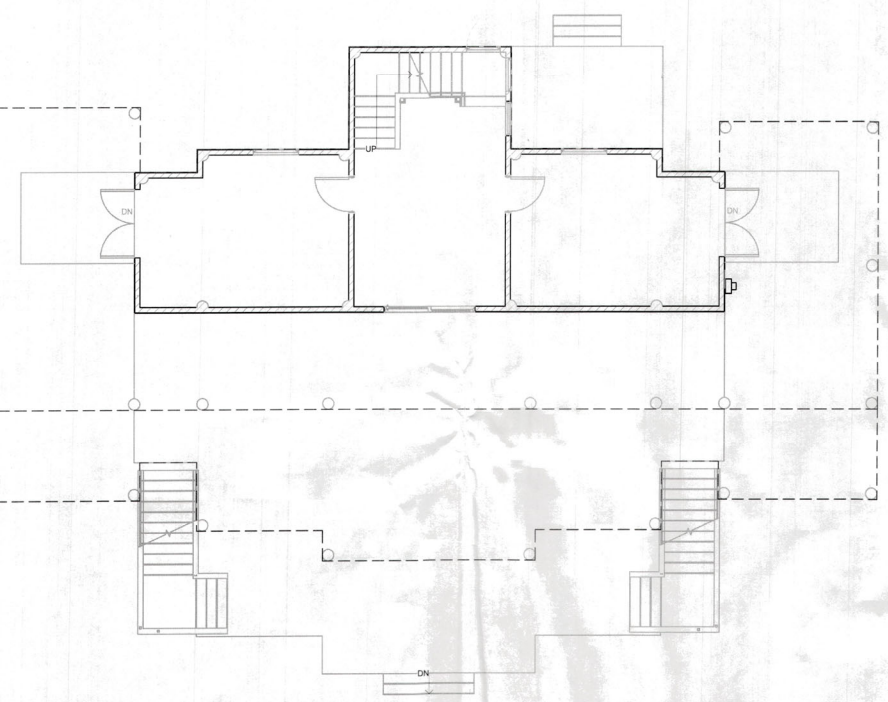
MECHANICAL PLANS

PROJECT #: 21-060  
SHEET DATE:  
DRAWN BY:  
**9.2**  
SCALE: AS INDICATED

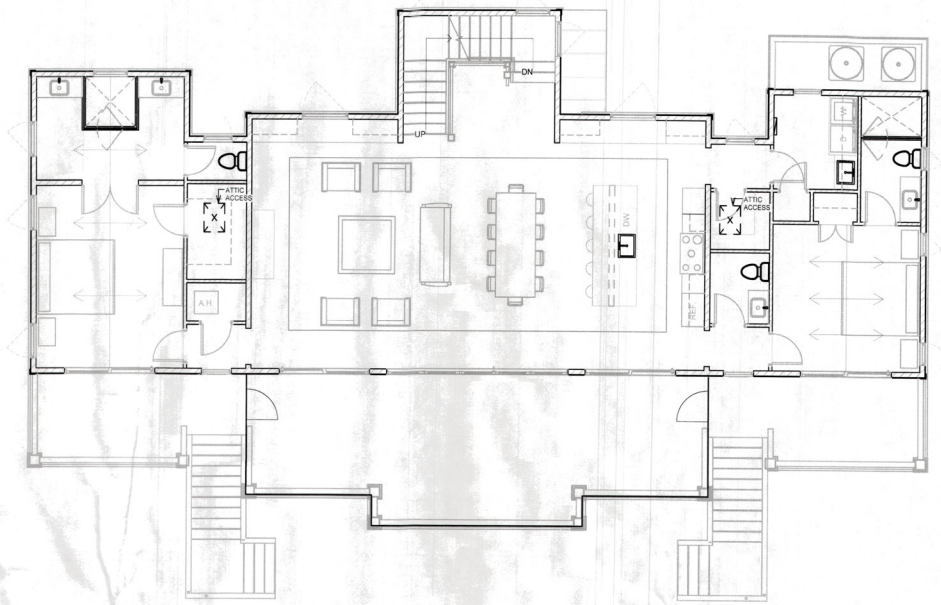
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TOWN OF LONGBOAT  
Engineering Department

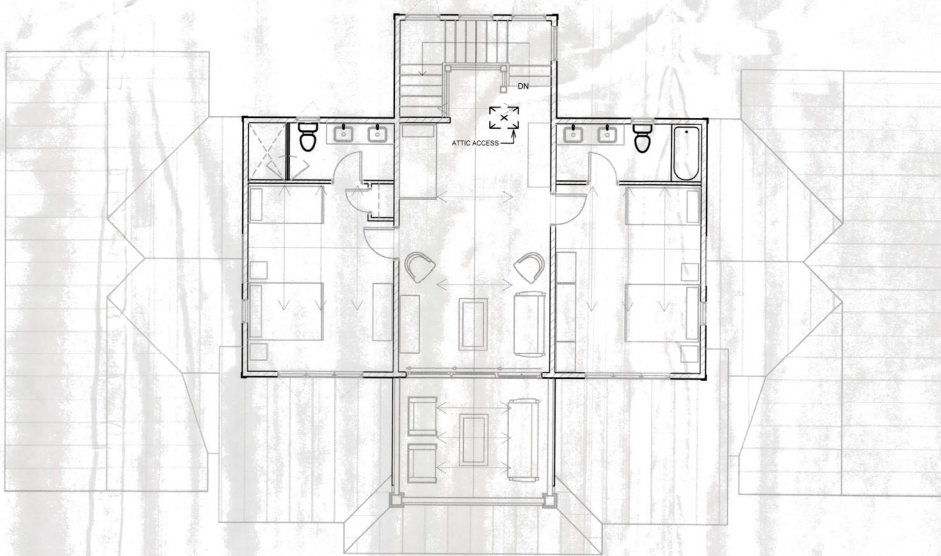
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**GROUND LEVEL MECHANICAL PLAN**  
3/16" = 1'-0"



**1ST LVL MECHANICAL PLAN**  
3/16" = 1'-0"



**2ND LVL MECHANICAL PLAN**  
3/16" = 1'-0"



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No.	Description	Date

PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGY FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WINDY BONE DESIGN REGION AS DEFINED AND SET FORTH BY THE FPC, RESIDENTIAL, (2020). PLANS WERE DESIGNED IN ACCORDANCE WITH FPC 2020 AND IRC 2012.

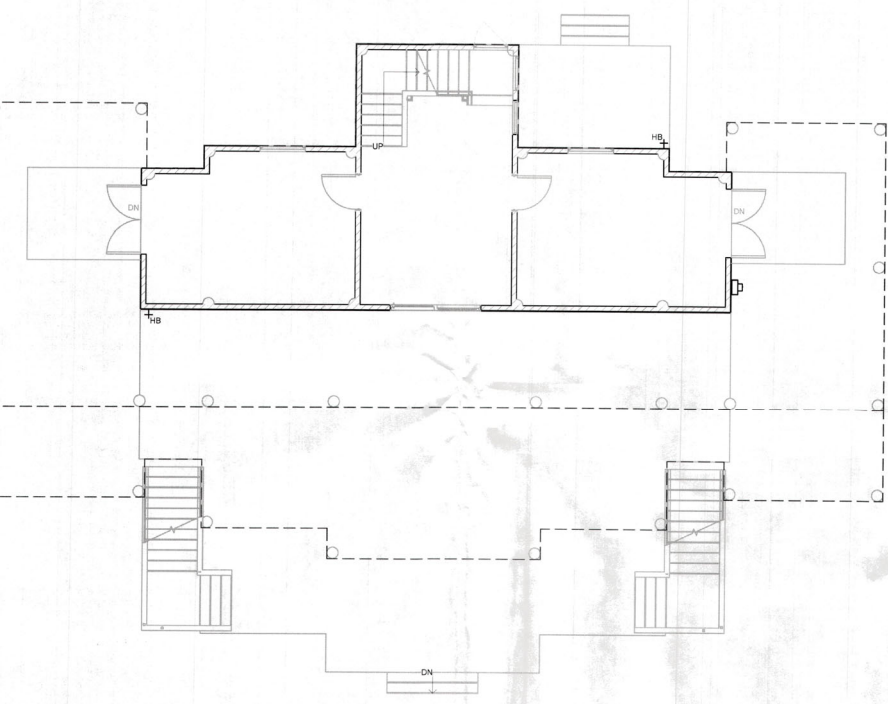
**BEDI RESIDENCE**  
7149 LA LENAIRE DR.  
LONGBOAT KEY, FL 34228

BLDG PERMIT PLANS  
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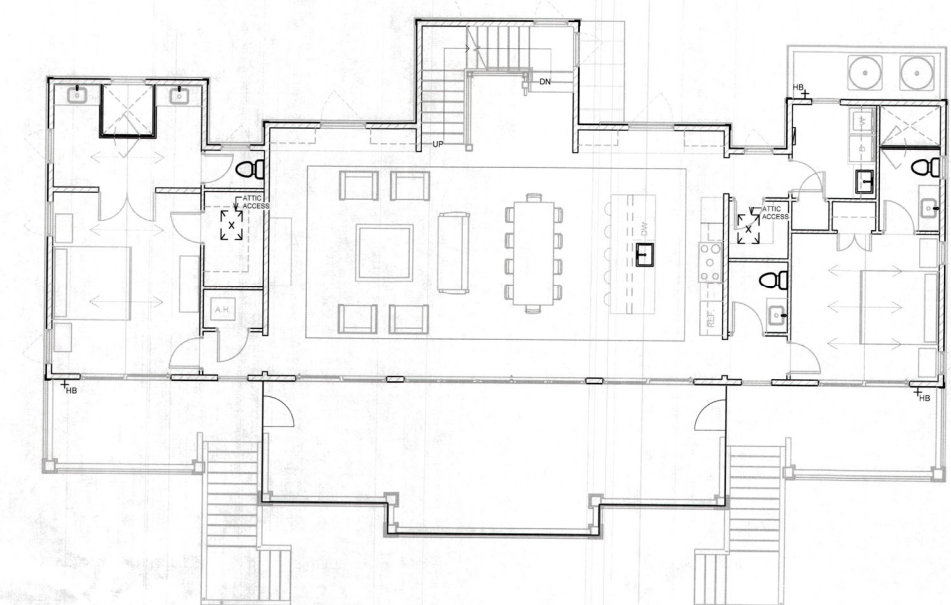
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TOWN OF LONGBOAT KEY  
Planning & Zoning Department

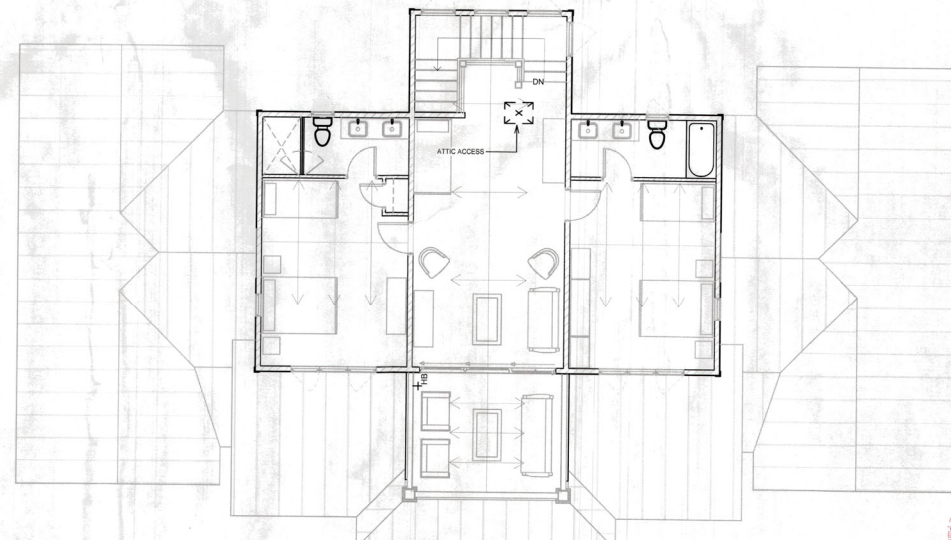
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DRAWN BY:  
**7.4**  
SCALE: As Indicated



**GROUND LEVEL PLUMBING PLAN**  
3/16" = 1'-0"



**1ST LVL PLUMBING PLAN**  
3/16" = 1'-0"



**2ND LVL PLUMBING PLAN**  
3/16" = 1'-0"

**STRUCTURAL NOTES**

**SCOPE OF WORK:**

THE SCOPE OF WORK OF THIS PROJECT IS TO CONSTRUCT A NEW SINGLE FAMILY HOME.

**DESIGN CRITERIA**

THE STRUCTURAL SYSTEM FOR BUILDING DEPICTED HERE HAS BEEN DESIGNED ACCORDING TO THE 2020 17TH EDITION OF THE FLORIDA BUILDING CODE, AND ASCE 7-16.

THE STRUCTURE HAS BEEN DESIGNED TO RESIST THE FOLLOWING LIVE LOADS:

- FLOOR LOADS: 40 PSF
- ROOF LOADS: 20 PSF

**WIND LOADS HAVE BEEN CALCULATED FOR:**

- 3-SEC GUST
- 100 MPH
- RISK CATEGORY II
- CATEGORY D

COMPONENT AND CLADDING LOADS BELOW HAVE BEEN FACTORED BY 0.6 FOR ASD CALCULATIONS.

TRI-BUTARY AREA (SF)	C/C WIND PRESSURE SCHEDULE (PSF)											
	ROOF				ZONE							
	1	2	3	4	1	2	3	4				
10	23.5	-36.0	23.5	-62.5	23.5	-102.9	-103.8	-124.3	40.7	-47.8	40.7	-94.6
20	21.5	-33.8	21.5	-79.7	21.5	-86.6	-105.8	-109.8	38.8	-44.7	38.8	-51.1
30	18.5	-30.9	18.5	-65.8	18.5	-72.7	-91.9	-97.4	35.8	-42.2	35.8	-48.9
100	15.6	-24.5	15.6	-47.6	15.6	-54.6	-76.6	-81.7	33.8	-37.3	33.8	-42.5

Width of zones 2, 3 & 4 = 8'-6"

A CONTINUOUS LOAD PATH BETWEEN FOUNDATIONS, COLUMNS, AND BEAMS ARE INTENDED BY THESE DRAWINGS AND SHALL BE FIELD VERIFIED. CONTRACTOR TO VERIFY A MINIMUM LOAD BEARING CAPACITY OF 2000 PSF FOR SOIL BEARING.

THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUITABLE SEQUENCING, MEANS AND METHODS OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO THE ADDITION OF NECESSARY SHORING, TIE DOWNS, TEMPORARY BRACING, ETC.

THE STRUCTURAL SYSTEM DEPICTED HEREIN, INCLUDING CONNECTIONS AND ANCHORING, HAS BEEN DESIGNED TO RESIST FLOUCTION, COLLAPSE, OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION (DFE).

**MATERIALS**

**CONCRETE**

CONCRETE MIX SHALL BE DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI UNLESS NOTED OTHERWISE.

ALL MATERIALS SHALL COMPLY WITH THE STANDARDS OF ACI 318 AND THE REQUIREMENTS OF ASTM C 110, ASTM C 309, OR ASTM C 495.

ALL CONCRETE MEASURING, MIXING, TRANSPORTING, ETC. SHALL COMPLY WITH THE REQUIREMENTS OF ASTM STANDARD C94-74M.

THE MAXIMUM TIME ALLOWED FROM THE TIME THE WATER IS ADDED UNTIL THE MIX IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED.

**WOOD**

UNLESS NOTED OTHERWISE, ALL WOOD CONSTRUCTION SHALL MEET OR EXCEED REQUIREMENTS OF CHAPTER 23, FBC.

DIMENSIONAL LUMBER SHALL BE RATED IN ACCORDANCE WITH THE STANDARDS OF THE CURRENT EDITION OF THE AMERICAN WOOD COUNCIL'S NATIONAL DESIGN SPECIFICATIONS.

ALL WALL STUDS TO BE SPF #2 U.G.D. ALL TOP & BOTTOM PLATES, RAFTERS, JOISTS, LEDGERS AND OTHER STRUCTURAL MEMBERS SHALL BE SPF #2 U.G.D.

ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE SHALL BE EITHER PRESSURE TREATED OR A NATURALLY DURABLE SPECIES.

ALL WOOD BELOW DESIGN FLOOD ELEVATION SHALL BE PRESSURE TREATED WITH MINIMUM 2.5 CCA MULTI-MEMBER WOOD BEAMS SHALL BE GULDED AND NAILED TOGETHER WITH A MINIMUM OF 18D NAILS @ 17" O.C. TOP AND BOTTOM EDGE, STAGGERED (N.O.D.). SPLICES SHALL BE MADE AT SPAN THIRD POINTS OR CENTER OF SUPPORTS. NO MORE THAN ONE MEMBER SHALL BE SPLICED AT ANY ONE POINT. SPLICES SHALL BE SPACED A MINIMUM OF 4 FEET APART.

MANUFACTURED WOOD PRODUCTS, SUCH AS WOOD TRUSSES AND ENGINEERED LUMBER SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND DETAIL DRAWINGS. INSTALLATION SHALL INCLUDE BRIDGING, BRACING, BLOCKING, AND WEB STIFFENERS AS REQUIRED. UNLESS OTHERWISE NOTED, BUILT-UP STUD COLUMNS SHALL BE LIMITED TO 3 PILES AND NAILED TOGETHER WITH TOPS OF 18D NAILS @ 17" O.C. STARTING AT 3'-0" FROM EACH END. ADJACENT NAILS SHALL BE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.

**FASTENERS**

ALL STRAPS, CLIPS, CONNECTORS, FASTENERS, ETC. IN CONTACT WITH PRESSURE TREATED WOOD OR EXPOSED TO WEATHER SHALL BE STAINLESS STEEL.

**SOIL COMPACTION**

TOP SOIL SHALL BE REMOVED TO A MINIMUM DEPTH OF ONE FOOT OVER THE ENTIRE BUILDING AREA AND FIVE FEET BEYOND BUILDING LINES. THESE AREAS SHOULD BE CLEARED AND GRUBBED OF ANY VEGETATION. THE EXPOSED SURFACE SHOULD THEN BE COMPACTED TO A DEPTH OF (1) FOOT BELOW THE CLEARED AND GRUBBED SURFACE TO A MINIMUM 90% OF THE STANDARD OR MODIFIED PROCTOR DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-158. AFTER IDENTIFICATION OF NATURAL SOILS, FILL MATERIAL TO FINISHED GRADE SHALL BE PLACED WITH A MAXIMUM LIFT OF 6" AND COMPACTED TO A MINIMUM 90% OF THE STANDARD OR MODIFIED PROCTOR DENSITY. FILL MATERIAL SHALL BE CLEAN TO SLIGHTLY SILTY FINE SAND, FREE OF ORGANIC MATERIAL.

**GENERAL CONDITIONS**

IF THERE ARE ANY DISCREPANCIES HEREIN CONTACT GCED PRIOR TO PROCEEDING WITH THE WORK.

THIS DESIGN DOES NOT CONSTITUTE THE ENGINEERING OF ANY OTHER STRUCTURES THAT ARE NOT SPECIFICALLY MENTIONED IN THIS PLAN SET.

ALL WORK PREPARED BY GCED, IS THE PROPERTY OF GCED AND MAY ONLY BE USED FOR ITS INTENDED USE AT THE SPECIFIED LOCATION ON THE TITLE BLOCK.

GCED WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS, CLIENTS OR OTHER ENTITIES; INADEQUATE OR UNSATISFACTORY PERFORMANCE OF THE WORK.

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JESSE BZURA  
LICENSE  
No. 65691  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

GULF COAST  
ENGINEERING & DESIGN  
2020  
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www.gulfcoastengineering.com

No.	Description	Date
1	D/E Design Note	07-18-2022

**NEW SINGLE FAMILY HOME**  
**7149 LA LENAIRE DR.**  
**LONGBOAT KEY, FL 34228**

RECEIVED  
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TOWN OF LONGBOAT KEY  
Planning, Zoning & Utilities

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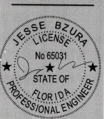
PROJECT #: 21554  
DATE: March 24, 2022  
DRAWN BY: JB

**\$1.0**

**PILING NOTES**

1. ALL PILING ARE TO BE 12" MINIMUM DIAMETER SOUTHERN PINE AND SHALL BE PRESSURE TREATED FOR GROUND CONTACT & MARINE USE (S.D. CCA MINIMUM)
2. PILES SHALL BE DRIVEN TO A DEPTH OF 30 FT BELOW EXISTING GRADE TO DEVELOP A MINIMUM COMPRESSIVE CAPACITY OF 10 KIIPS, AN UPLIFT CAPACITY OF 10 KIIPS, AND A LATERAL CAPACITY OF 4 KIIPS, PER THE GEO-TECHNICAL REPORT
3. CIVIL ENGINEER IS TO MONITOR THE INSTALLATION OF ALL PILES SO THAT THEY COMPLY WITH THE DESIGN REQUIREMENTS AND ALL APPLICABLE BUILDING CODES.

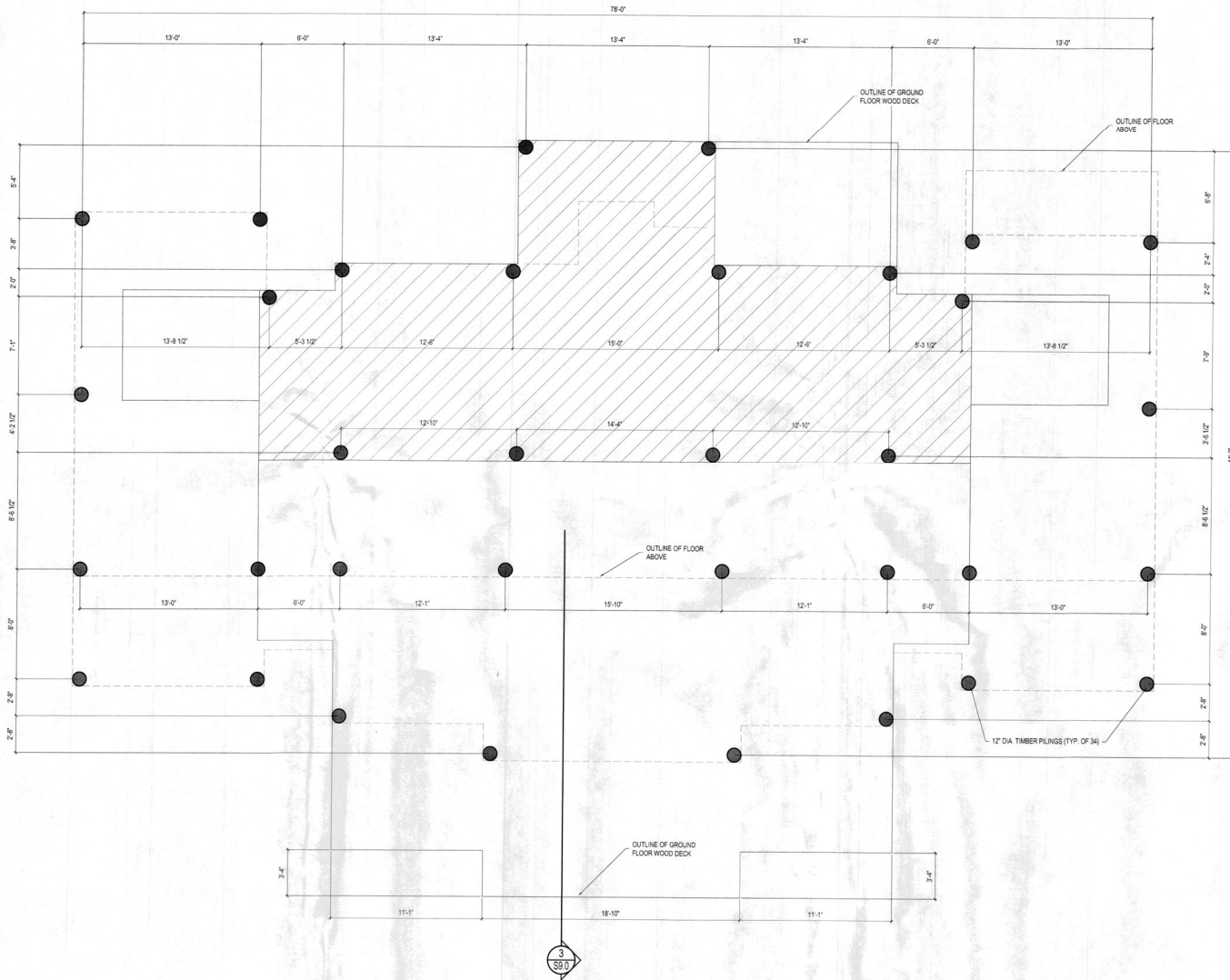
NOTE:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND REPORT ANY ISSUES TO OCEC. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PANELS.



PLANS AND SPECIFICATIONS CONTAINED HEREIN ARE HEREOFORWARD FOR CONSTRUCTION AND IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES AS APPLICABLE AND SET FORTH BY THE F.P.C. (ESSENTIAL CODES). PLANS WERE DESIGNED IN ACCORDANCE WITH F.P.C. 2020 AND REC 2017.

DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
NO. \_\_\_\_\_

DESIGNED BY: JESSE BZURA  
CHECKED BY: JESSE BZURA  
PROJECT: NEW SINGLE FAMILY HOME  
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CITY: LONGROAT KEY, FL 34228  
PHONE: (407) 416-1616  
FAX: (407) 416-1616  
EMAIL: JESSE@GULFCOASTENGINEERING.COM



**1 PILING PLAN**  
S2.0 SCALE: 1/4" = 1'-0"

BLOG PERMIT PLANS  
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**NEW SINGLE FAMILY HOME**  
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PROJECT # 21558  
DATE: March 24, 2022  
DRAWN BY: JB

**S2.0**

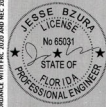




**GROUND FLOOR WALL FRAMING NOTES:**

1. ALL WALLS ARE TO BE INFILLED BETWEEN PILING, BEAMS, AS INDICATED. GROUND FLOOR WALLS ARE NON-LOAD BEARING.
2. WALLS TO BE 2X4 OR 2X8 SYP PT STUDS AT 16" O.C. FULLY BLOCKED AT PANEL EDGES.
3. PLYWOOD SHEATHING BELOW B.F.E. IS TO BE PRESSURE TREATED. TYPICAL WALL HEADER TO BE (3) 2X8 SYP PT W PLYWOOD SPACERS, UNLESS NOTED OTHERWISE.
4. EXTERIOR WALLS TO RECEIVE HARDIE BOARD OR SIMILAR SIDING AS SPECIFIED BY ARCH. INSTALL PER MANUF. SPECS FOR THE GIVEN C&C LOADS.
5. FLOOD VENTS TO BE INSULATED "SMART-VENT" #1540-520" AND SHALL BE INSTALLED WITH 12" OF FINISHED FLOOR ELEVATION.

NOTE:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND REPORT ANY ISSUES TO THE ARCHITECT. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PACKS.



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www.gulfcoastengineering.com

**BEACON**  
RESIDENTIAL DESIGN  
4220 W. US HWY 90  
SUITE 100  
MARIETTA, GA 30067  
TEL: 770-429-1111  
WWW.BEACONHOMEDESIGN.COM

No.	Date	Description

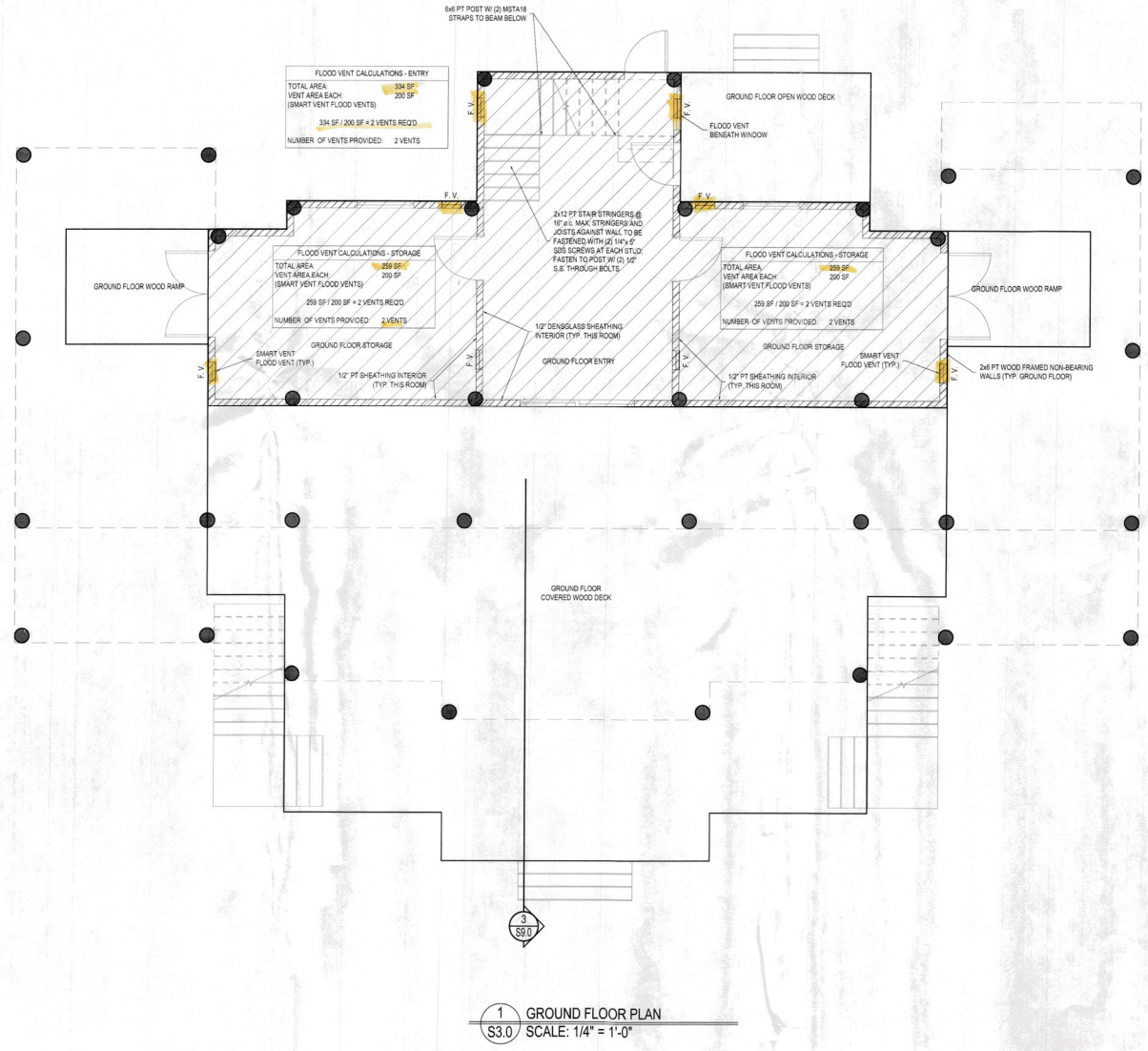
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PROJECT # 2155A  
DATE: March 24, 2022  
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**S3.0**

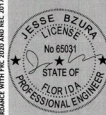




**1ST FLOOR WALL FRAMING NOTES:**

1. EXTERIOR LOAD BEARING WALLS TO BE 2X6 SYP #2 STUDS AT 16" O.C. FULLY BLOCKED AT PANEL EDGES.
2. TYPICAL WALL EXTERIOR HEADER TO BE (3) 2X10 SYP #2 W/ PLYWOOD SPACERS, UNLESS NOTED OTHERWISE.
3. INTERIOR WOOD LOAD BEARING WALLS ARE TO BE 2X6 OR 2X4 AT 16" O.C. WITH 1 ROW OF INTERMEDIATE BLOCKING.
4. TYPICAL WOOD FRAMED INTERIOR LOAD BEARING HEADER TO BE (2) 2X10 SYP #2 W/ 1/2" PLYWOOD SPACERS, UNLESS NOTED OTHERWISE.
5. EXTERIOR WALLS TO RECEIVE HARDIE BOARD OR SIMILAR SIDING AS SPECIFIED BY ARCH. INSTALL PER MANUF. SPECS FOR THE GIVEN C&C LOADS.
6. NON-LOAD BEARING INTERIOR PARTITION WALLS ARE TO BE 2X4 STUD GRADE @ 16" O.C.

NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND REPORT ANY ISSUES TO GC. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PAGES.



BEACON HOME DESIGN  
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CONSULTANT:  
JESSE B. ZURA  
PROFESSIONAL ENGINEER  
No. 65031  
STATE OF FLORIDA

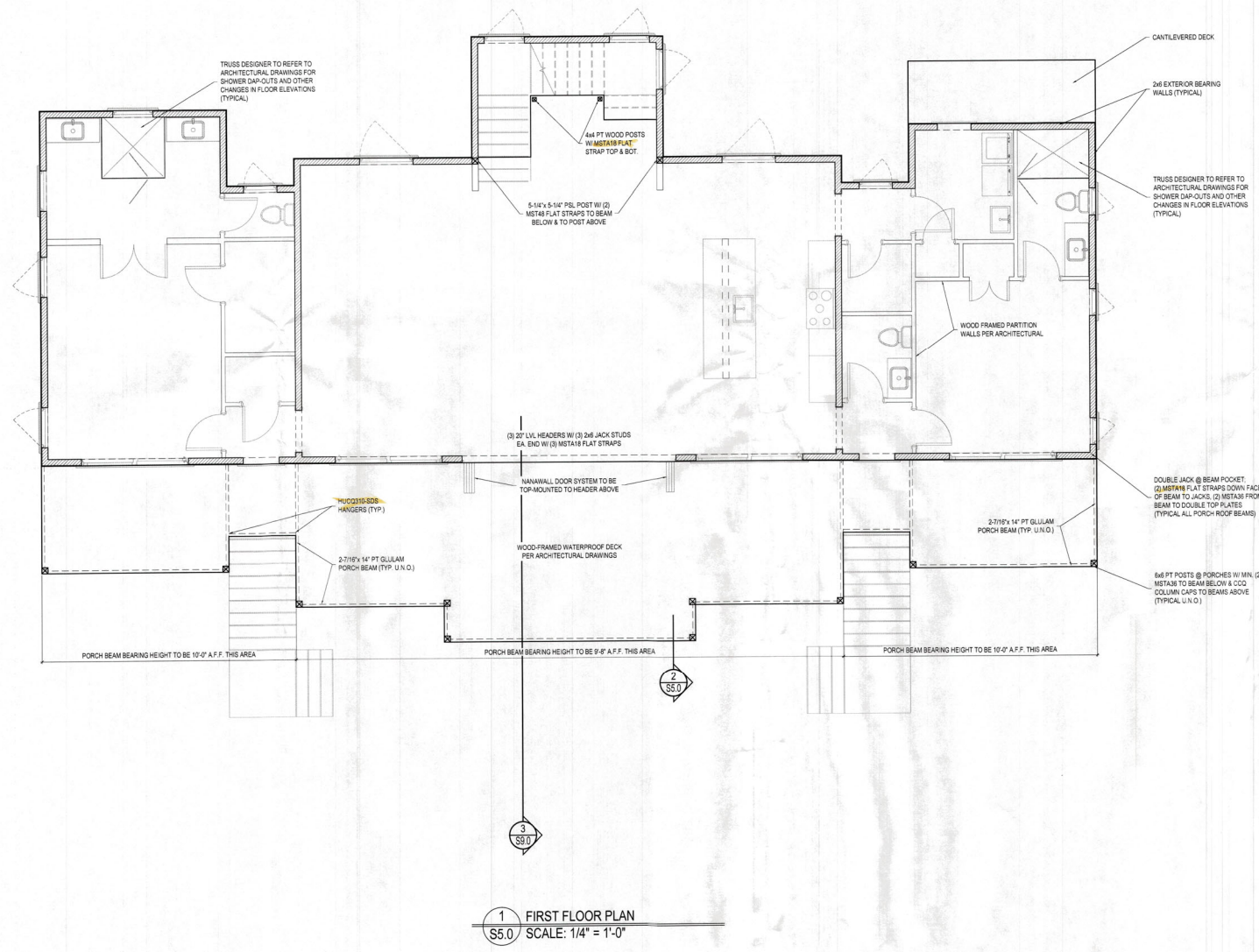
No.	Description	Date

PLANS AND SPECIFICATION CONTAINED HEREIN AND THE TECHNOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE FINE RESIDENTIAL CODES. PLANS WERE DEVELOPED IN ACCORDANCE WITH IRC 2010 AND IRC 2017.

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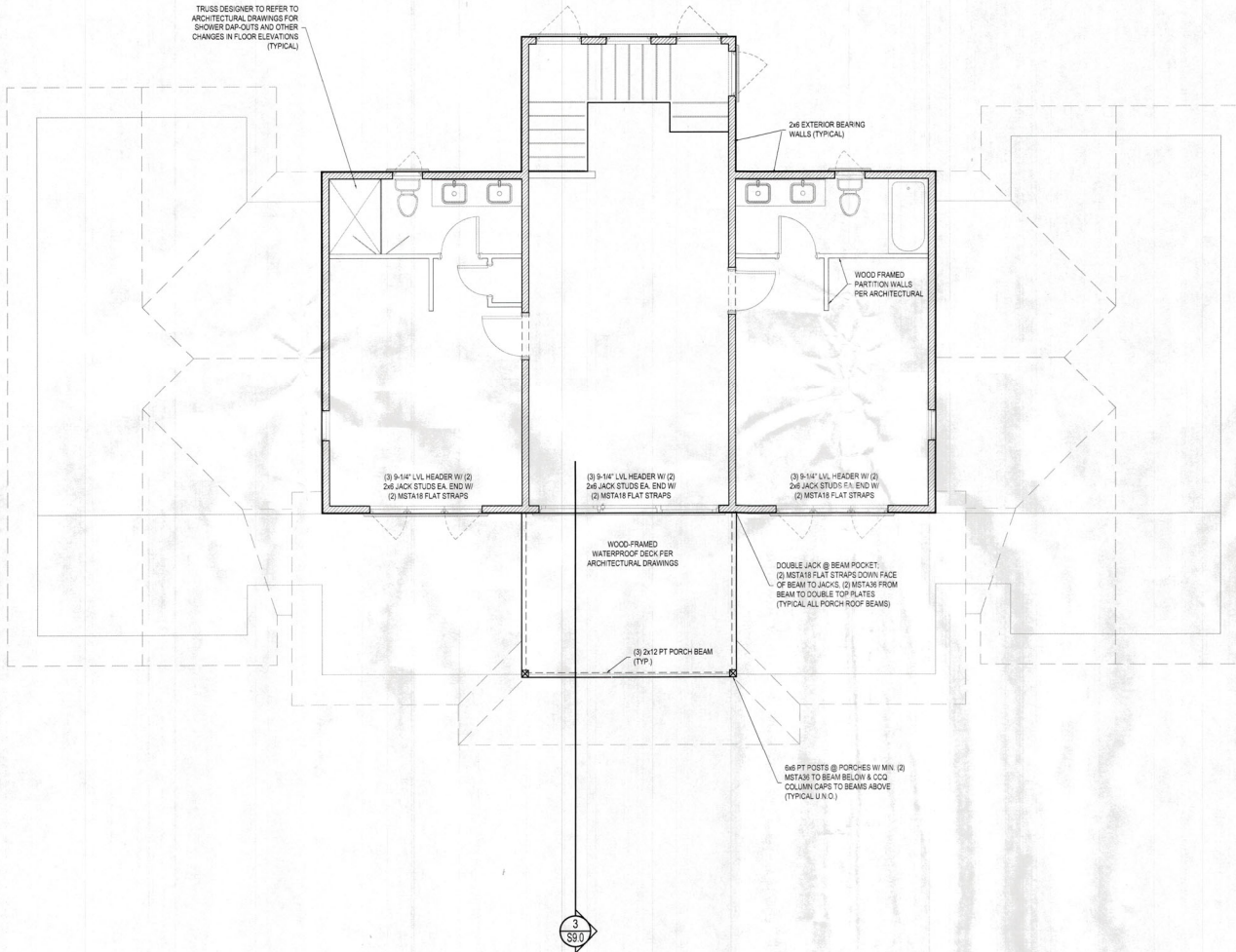


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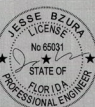
- 2ND FLOOR WALL FRAMING NOTES**
1. EXTERIOR LOAD BEARING WALLS TO BE 2X6 SYP #2 STUDS AT 16" O.C. FULLY BLOCKED AT PANEL EDGES
  2. TYPICAL WALL EXTERIOR HEADER TO BE (3) 2X10 SYP #2 W PLYWOOD SPACERS, UNLESS NOTED OTHERWISE.
  3. INTERIOR WOOD LOAD BEARING WALLS ARE TO BE 2X6 OR 2X4 AT 16" O.C. WITH 1 ROW OF INTERMEDIATE BLOCKING.
  4. TYPICAL WOOD FRAMED INTERIOR LOAD BEARING HEADER TO BE (2) 2X10 SYP #2 W 1/2" PLYWOOD SPACER, UNLESS NOTED OTHERWISE.
  5. EXTERIOR WALLS TO RECEIVE HARDIE BOARD OR SIMILAR SIDING AS SPECIFIED BY ARCH. INSTALL PER MANUF. SPECS FOR THE GIVEN C&C LOADS.
  6. NON-LOAD BEARING INTERIOR PARTITION WALLS ARE TO BE 2X4 STUD GRADE @ 16" O.C.

TRUSS DESIGNER TO REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER DAP-OUTS AND OTHER CHANGES IN FLOOR ELEVATIONS (TYPICAL)



**1 SECOND FLOOR PLAN**  
S7.0 SCALE: 1/4" = 1'-0"

PLANS AND SPECIFICATION CONTAINED HEREIN ARE THE PROPERTY OF BEACON HOME DESIGN AND SHALL REMAIN THE PROPERTY OF BEACON HOME DESIGN. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BEACON HOME DESIGN.



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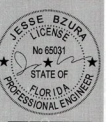


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ROOF FRAMING NOTES

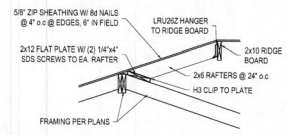
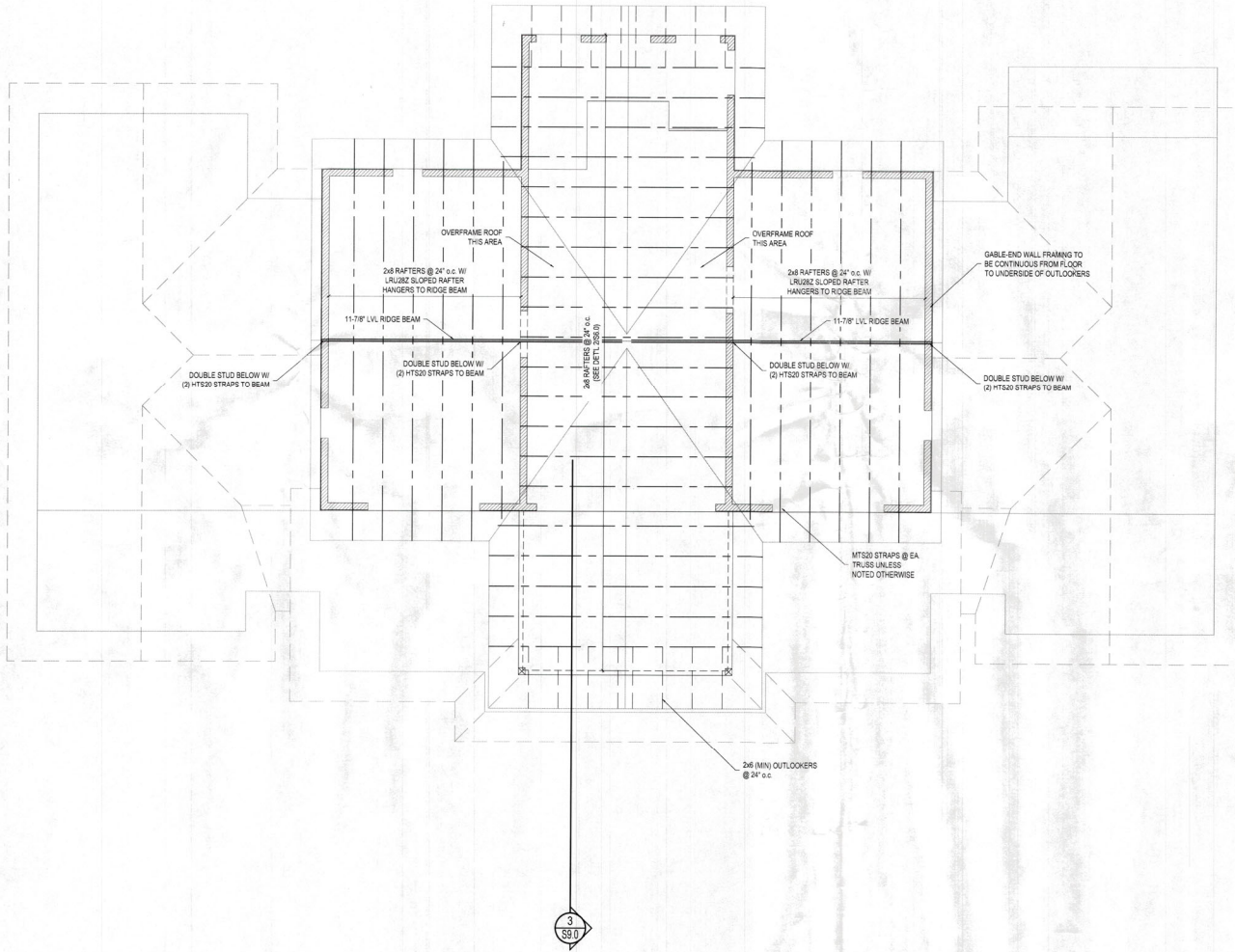
1. ALL FRAMING TO BE AT 24" O.C. MAX.
2. ROOF DECKING TO BE 5/8" ZIP SHEATHING ATTACHED W/ 10D NAILS @ 4" O.C. AT PANEL EDGES & 6" O.C. AT INTERMEDIATE MEMBERS.
3. THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
4. ALL STRAPS, CLIPS, HANGERS, NAILS, ETC. TO BE STAINLESS STEEL.
5. USE APPROVED SIMPSON HANGERS ON ALL WOOD TRUSS AND LEDGER CONNECTIONS.
6. MTS20 TWIST STRAPS SHALL BE INSTALLED AT ALL TRUSS TO WALL CONNECTIONS UNLESS NOTED OTHERWISE.
7. VERIFY ALL BEARING HEIGHTS, CEILING CHANGES, AND FLOOR LEVEL CHANGES WITH ARCHITECTURAL DRAWINGS.

NOTE:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS, OMISSIONS AND REPORT ANY ERRORS TO GSD. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PAGES.



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ACUN



2 ROOF OVERFRAMING DETAIL  
S8.0 SCALE: 1/2" = 1'-0"

1 ROOF FRAMING PLAN  
S8.0 SCALE: 1/4" = 1'-0"

PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE TO BE COMPAIRED WITH THE MINOR HOME DESIGN REGION AS SHOWN AND NOT FORM FIT THE REC. ESSENTIAL CODES. PLAN WHEN ESTIMATED IN ACCORDANCE WITH 686.2000 AND 686.2017.

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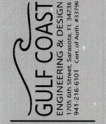
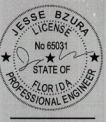
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NOTE:  
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ERRORS & OMISSIONS AND  
REPORT ANY ISSUES TO GC. GC  
VERIFY ALL DIMENSIONS WITH  
ALL ARCHITECTURAL PLANETS.



**GULF COAST**  
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FAX: (770) 428-1112  
WWW.GULFCOASTENGINEERING.COM

DATE	
DESCRIPTION	
NO.	

PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODS USED FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WOOD-BONE DESIGN RECORD AS DEFINED AND SET FORTH BY THE IBC. ESSENTIAL LOADS, PLANS WERE DEVELOPED IN ACCORDANCE WITH THE 2000 AND IRC 2012.

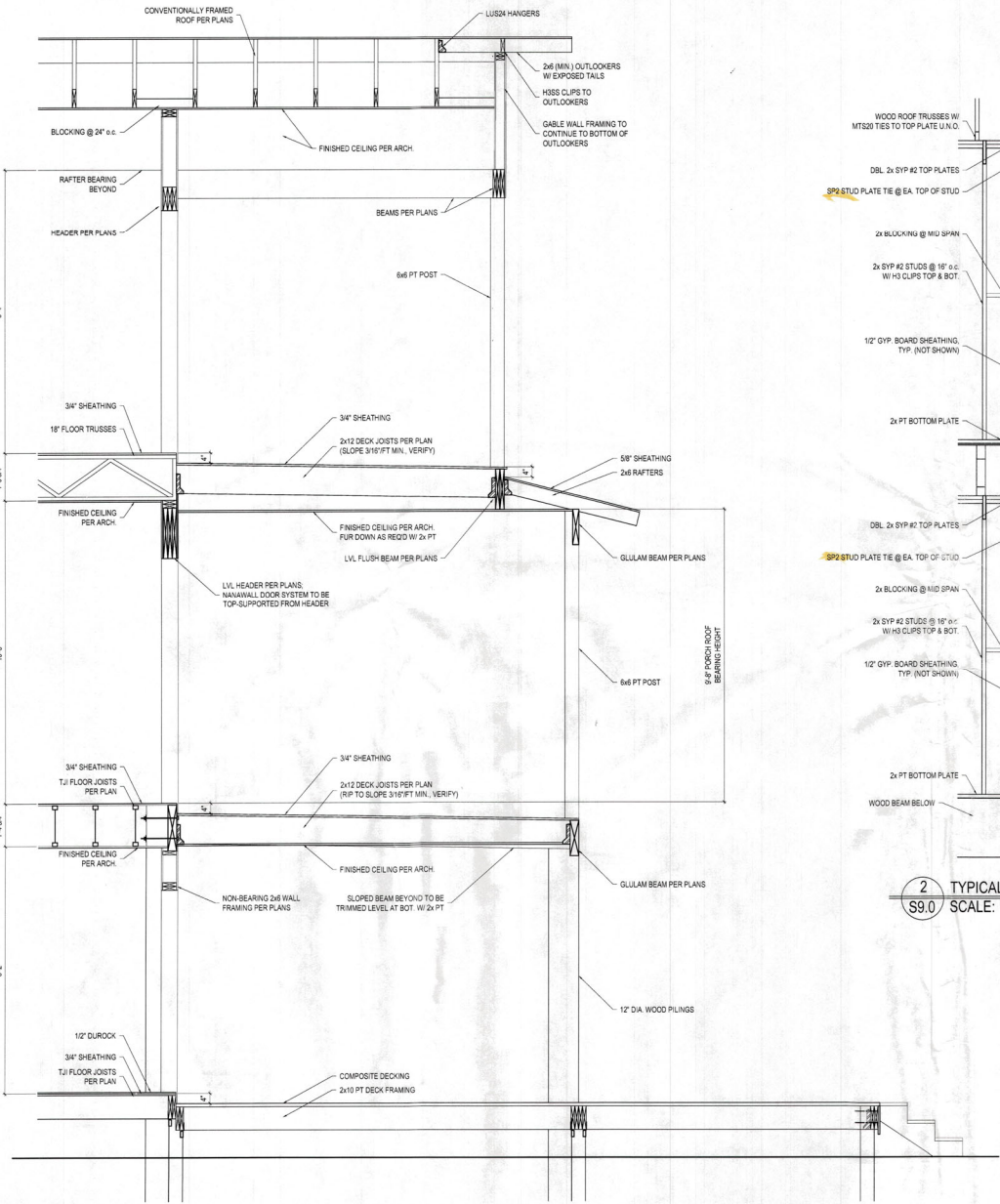
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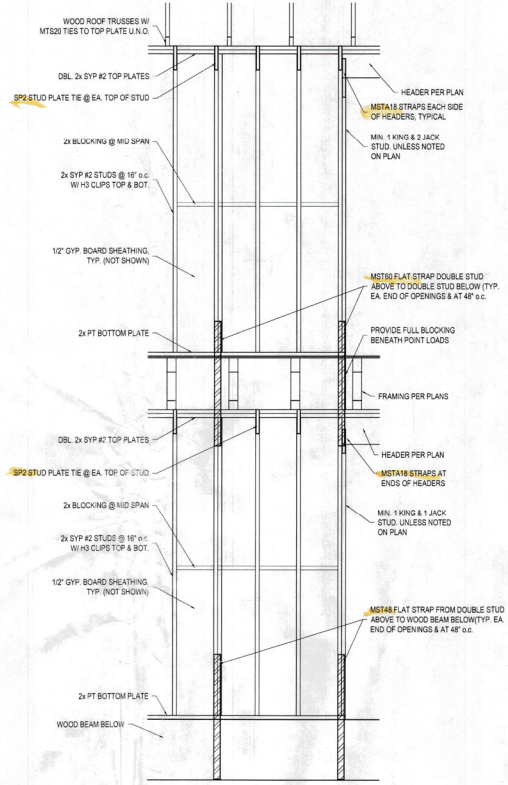
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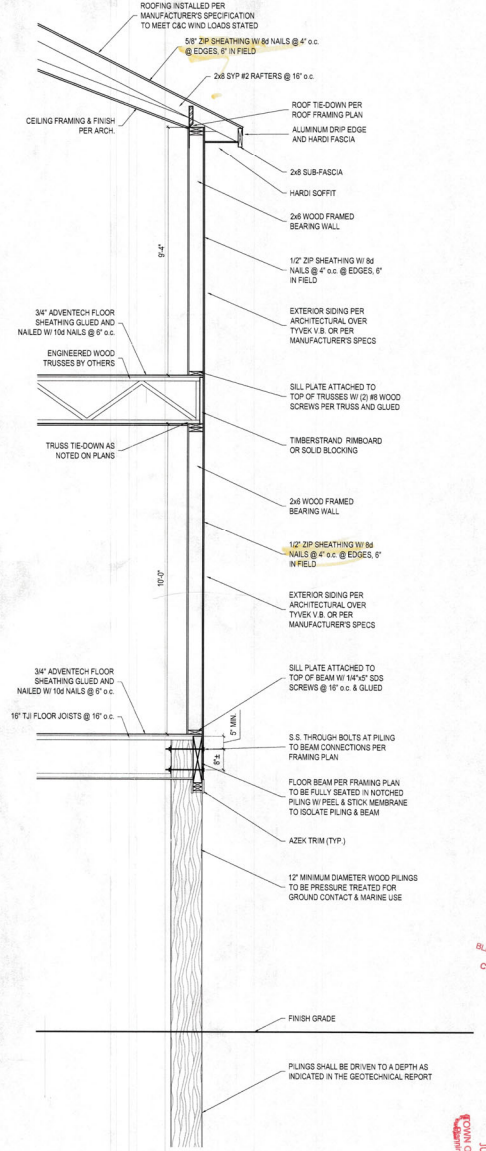
**S9.0**



**3** CROSS SECTION THROUGH FRONT WALL  
S9.0 SCALE: 1/2" = 1'-0"



**2** TYPICAL WOOD FRAMED BEARING WALLS  
S9.0 SCALE: 1/2" = 1'-0"



**1** TYPICAL WALL SECTION  
S9.0 SCALE: 1/2" = 1'-0"