

# 5950 GULF OF MEXICO DR.



NPDES



NPDES

NPDES

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## PROJECT DATA

### PROJECT TITLE

DILLION RESIDENCE

### PROJECT LOCATION

MANATEE COUNTY PID: 7897600008  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
SURVEYOR:

MSB SURVEYING INC  
31 SARASOTA CENTER BLVD # C  
SARASOTA, FLORIDA 34240  
PHONE NO. 941-341-9935

### CUSTOM RESIDENCE DESIGNED BY:

JC DRAFTING & DESIGN, INC.  
(Residential Drafting and Design)  
905 PONDER AVE. SUITE C  
Sarasota, FL 34232 PH (941) 925 - 3009  
CONTACT : Jon R. Coulthurst, President  
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### GENERAL CONTRACTOR:

**BLUEWATER CONSTRUCTION LLC**  
12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34251  
LICENSE # CGC1506434  
941-322-2200

### PROJECT STRUCTURAL ENGINEER:

STRUCTURAL ENGINEERING ALLIANCE, INC.  
THOMAS WINKLER, P.E.  
CONTACT NO: 941-932-7274  
FL. REG. NO. 54400

8822-0053  
Permit #  
REVIEWED FOR CODE COMPLIANCE  
LONGBOAT KEY BUILDING DEPT. #  
MAY 27 2022  
APPROVED  
Reviewer: [Signature]

RECEIVED  
MAY 23 2022  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

BLDG. PERMIT PLANS  
FILE COPY OF RECORD

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

Plan no.

2021-36 CS1.0

BLUEWATER CONSTRUCTION LLC

12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34251  
LICENSE # CGC1506434

941-322-2200  
GC SIGNATURE

CUSTOM RESIDENCE FOR:

DILLION

5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228

PID: 7897600008

JC DRAFTING & DESIGN INC

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Sarasota, Florida 34232  
Phone (941) 925-3009 Cell (941) 376-2047  
www.jcdraftinganddesign.com  
Jon R. Coulthurst, President

### REVISIONS:

NO.	DESCRIP:	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	4/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

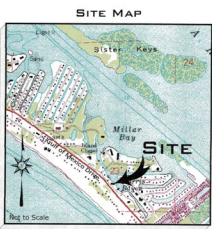
SHEET TITLE:

COVER SHEET  
SHEET NO.

CS1.0

# BOUNDARY, TOPOGRAPHIC, & TIDAL WATER SURVEY

Section 23, Township 35 South, Range 16 East  
5950 Gulf of Mexico Drive, Longboat Key, Florida



- Legend**
- (D) -Denotes Dead Measurement
  - (F) -Denotes Field Measurement
  - //— -Denotes Overhead Utility Line
  - X -Denotes Concrete Utility Pole
  - -Denotes Guy Anchor
  - ⊠ -Denotes Electric Meter
  - ◁ -Denotes Telephone Hand Hole
  - -Denotes Telephone Riser
  - ⊙ -Denotes Cable Riser
  - ⊕ -Denotes Gas Valve
  - ⊗ -Denotes Sewer Manhole
  - -Denotes Road Sign
  - W— -Denotes Water Line
  - ⊙ -Denotes Palm Tree
  - ⊠ -Denotes Sago Palm Tree & Size
  - ⊠ -Denotes Sago Palm Tree Cluster & Radius circle
  - ⊠ -Denotes Unknown Species Tree & Size
  - ⊙ -Denotes Spot Elevation
  - ⊙ -Denotes Wood Pile

**REPORT OF SURVEY**

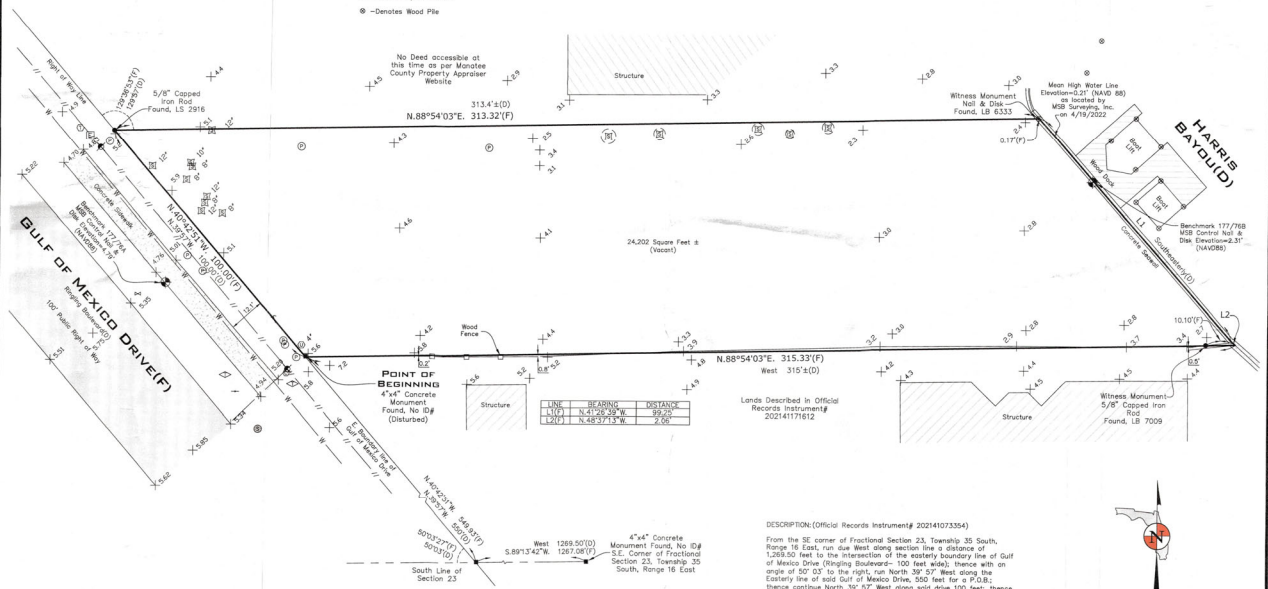
**Accuracy:**  
 Horizontal - The accuracy obtained by measurement and calculation of a closed geometric figure was found to be 1 foot in 64,045 feet.  
 Vertical - The accuracy obtained by a closed level loop, based on National Geodetic Survey Benchmark # W 686, produced a vertical unadjusted error of 0.03".

**Data Sources:**  
 1. Warranty Deed recorded in Official Records Instrument #202341073354, Public Records of Manatee County, Florida.  
 2. Warranty Deed recorded in Official Records Instrument #20234117612, Public Records of Manatee County, Florida.  
 3. Benchmark data was researched from the Land Boundary Information System internet web site ([www.lbis.com](http://www.lbis.com)).  
 4. Tidal data was furnished by Florida Department of Environmental Protection, Tidal Water Survey Procedural Approval Sheet, Dated 2/22/2022.  
 5. Spravsky/Amesley County Half Section Map, Sheet No. 5A/23.8.  
 6. Manatee County Property Appraiser's web site - [www.manateepa.com](http://www.manateepa.com).  
 7. No other information was researched or furnished.

**Apparent Physical Use:**  
 Vacant

**Easements:**  
 1. No easements were researched or furnished.

**Notes:**  
 1. This map represents a Boundary, Topographic, & Tidal Water Survey for the purpose of Construction.  
 2. Horizontal datum is based on the North American Datum (NAD) of 1983 (2011 adjustment), Florida State Plane, Zone 16, and was derived from real-time kinematic GPS observations utilizing the Florida Permanent Reference Network (FPRN).  
 3. Elevations shown herein are in feet and decimals referenced to NAVD 88 and are based on National Geodetic Survey Benchmark # W 686, published elevation is 4.55'.  
 4. There may exist other underground fixed interior improvements that are not visible and are not a part of this survey.  
 5. Description shown herein was obtained from Official Records Instrument #20234103354.  
 6. Subject to assessments and rights of way of record, if any, for this insurance or a Title Policy.  
 7. This map has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.  
 8. Point-of-beginning monument is situated in Flood Zone "AE", base flood elevation is 3 feet. See Flood Insurance Rate Map Number 220800001F, Map-revised August 15, 2021.  
 9. This plot represents a True Survey per Town of Longboat Key Municipal Code Title 9, Chapter 9B for Trees.  
 10. Tidal Data 1983-2001 Epoch (As per Tidal Water Survey Procedural Approval sheet).  
 Mean High Water Elevation = 0.21 feet (NAVD 88) extended to site.  
 11. Conventional tidal surveying methods were used to establish the horizontal position of the mean high water line.  
 12. This Tidal Water Survey complies with Chapter 177, Part 8, Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping on Mean High Water Line Survey File Number 8520.



**DESCRIPTION (Official Records Instrument # 202141073354)**  
 From the SE corner of Fractional Section 23, Township 35 South, Range 16 East, run due West along section line a distance of 1,269.00 feet to the intersection of the easterly boundary line of Gulf of Mexico Drive (Ringling Boulevard - 100 feet wide); thence with an angle of 90° 03' to the right, run North 39° 37' West along the easterly line of said Gulf of Mexico Drive, 550 feet for a P.O.B.; thence continue North 39° 37' West along said drive 100 feet; thence with an angle of 129° 57' to the right, run due East a distance of 313.4 - or - feet to the water of Harris Bay; thence Southeasterly along the water of Harris Bay, to a point lying due East of the P.O.B.; thence due West, 315 - or - feet to the point of Beginning.



**MSB SURVEYING, INC.**  
 Surveying & Mapping

31 MANATEE CENTER BOULEVARD, SUITE C  
 MANATEE, FLORIDA 34420  
 CERTIFICATE OF AUTHORIZATION NO. L.B. 7044

Digitally signed by Martin  
 Date: 2022.04.29  
 10:23:28 -0400

REGISTERED SURVEYOR  
 MARTIN W. BAYLOR, P.E., C.E.T., NO. 12, 5048  
 OR FURNISHES PART OF A TIDAL WATER SURVEY

CERTIFIED TO: Renee Dillon  
 JOB NUMBER 220215

DATE OF SURVEY: 4/19/2022 FIELD BOOK/PAGE: 177/75-77

RECEIVED  
 MAY 23 2022  
 TOWN OF LONGBOAT KEY  
 Planning, Zoning & Building

# HG & LL ENGINEERING, INC.

Consulting Engineers #5396  
6389 TOWER LANE  
Sarasota, FL. 34240

PROJECT NO. 2051

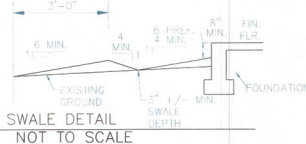
LAWRENCE D. LIPPERT, P.E.  
FL. REG. NO. 23985

4/29/22  
Lawrence D. Lippert

Plan no.  
2021-36 A1.0

**COMPLIANCE WITH BEST MANAGEMENT PRACTICES FOR EROSION CONTROL AND STORM WATER RUN-OFF DURING CONSTRUCTION:**  
**BEFORE ANY CLEARING OR GRADING OCCURS:**  
CONTRACTOR TO ERECT CONTINUOUS SILT FENCE ON SIDES AND REAR OF PROPERTY.  
SILT FENCING TO BE EMBEDDED A MINIMUM OF 6" INTO THE SOIL AND SECURED BY WOOD STAKING AS PROVIDED WITH FENCING MATERIAL.  
SILT FENCE TO BE INSPECTED REGULARLY AND ANY DAMAGED MATERIAL TO BE IMMEDIATELY REPAIRED OR REPLACED.  
IF THERE ARE ANY STORM SEWERS PRESENT AT THE STREET, PROTECT WITH SAND BAGS OR HAY BALES TO CONTROL SEDIMENT FLOW.  
**DURING CLEARING/GRADING:**  
ALL ORGANIC MATERIAL THAT IS STRIPPED FROM THE SITE SHALL BE REMOVED FROM THE SITE IMMEDIATELY, NO STOCK-PILING OF DEBRIS FOR MORE THAN A DAY.  
TEMPORARY SWALES SHALL BE CUT IN FRONT OF SILT FENCING TO DIRECT STORM WATER FOR DRAINAGE PLAN.  
**DURING CONSTRUCTION:**  
PROVIDE REGULARLY SCHEDULED DUMPSTER REPLACEMENT TO CONTROL WASTE FROM ACCUMULATING ON SITE.  
PROVIDE INTERMITTENT SITE INSPECTIONS BY SITE SUPERVISOR(S) FOR WASTE/TRASH CONTROL.  
NO CONCRETE WASHOUT TO BE ALLOWED ON SITE; INFORM SUPPLIERS IN ADVANCE OF THIS RULE.

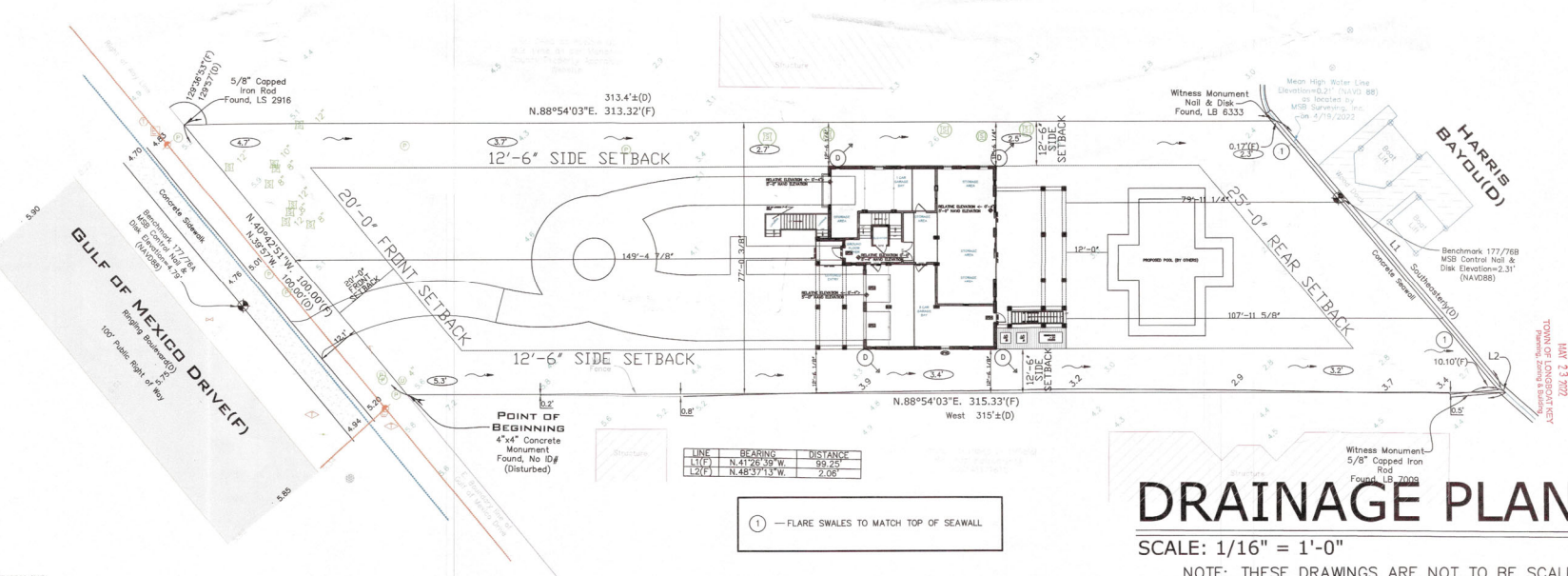
### TYPICAL DETAIL AT BOTH SIDES OF HOUSE



- LEGEND :**
- 4.9 — EXTG. GRADE ELEVATION N.A.V.D.
  - (4.9) — NEW GRADE/SLAB ELEVATION N.A.V.D.
  - — DIRECTIONAL DRAINAGE ARROWS
  - SLAB ELEVATIONS N.A.V.D.
  - D — LOCATION OF DOWNSPOUT W/ DIRECTION OF DISCHARGE

**NOTES**

- 1) NA
- 2) VERTICAL RISE TO BE 1 VERTICAL IN 4 HORIZONTAL DISTANCE WITHIN 5' FEET (5) OF ANY PROPERTY LINE.
- 3) ALL ON-SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF-SITE DRAINAGE FACILITY.
- 4) THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DRAIN TO A STREET, DRAINAGE GREENBELT, OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF ADJOINING PARCELS OF LAND.
- 5) SITE DRAINAGE MUST BE CONSISTENT WITH SUBDIVISION STORMWATER MANAGEMENT PLAN.
- 6) SITE RUNOFF MAY BE DIRECTED TO THE REAR OF THE LOT IF AN APPROVED DRAINAGE GREENBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
- 7) SWALE SLOPES WILL BE A MINIMUM OF 0.2% LONGITUDINAL SLOPE.
- 8) ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED DURING THE COURSE OF CONSTRUCTION UNTIL FINAL INSPECTIONS HAVE BEEN APPROVED.
- 9) GENERAL CONTRACTOR TO SUBMIT LANDSCAPE PLAN PRIOR TO CERTIFICATE-OF-OCCUPANCY, THAT MEETS ALL APPLICABLE CODE REQUIREMENTS.
- 10) LANDSCAPE DESIGN SHALL NOT HAVE ANY TREES LOCATED WITHIN 3' OF CENTERLINE OF DRAINAGE SWALES.
- 11) ALL PORTABLE TOILETS AND DUMPSTERS WILL BE STAGED ON PRIVATE PROPERTY AND NOT IN THE RIGHT OF WAY.
- 12) IF PARKING ON PUBLIC STREET IS NECESSARY ALL VEHICLES WILL BE PARKED ON ONE SIDE OF THE ROAD WITH TRAFFIC.



**CUSTOM RESIDENCE FOR:**  
**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

**JC DRAFTING & DESIGN INC.**  
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www.jcdraftinganddesigninc.com  
John R. Couthurst, President

REVISIONS:

NO.	DESCRIP:	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JLC	4/22/22

DATE: 4-8-2022

SCALE: AS SHOWN

SHEET TITLE:  
DRAINAGE PLAN  
SHEET NO.  
**A1.0**



**BLUEWATER CONSTRUCTION LLC**  
 12615 RIVER ROAD  
 MYAKKA CITY, FLORIDA 34251  
 LICENSE # CCG15066434  
 941-322-2200  
 GC SIGNATURE

CUSTOM RESIDENCE FOR:  
**DILLON**  
 5950 GULF OF MEXICO DR,  
 LONGBOAT KEY FL 34228  
 PID: 7897600008

**JC DRAFTING & DESIGN INC.**  
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 jcd@jcdraftinganddesigninc.com  
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 Jon R. Couthurst, President

REVISIONS:

NO.	DESCRIP.	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JIC	4/22/22
2	BLDG. LOCATION	JIC	6/10/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:  
 PARTIAL SITE PLAN AND LOT BUILDING, LOT COVERAGE, CALCULATIONS, GENERAL PLAN NOTES AND PLAN INDEX  
 SHEET NO.  
**A1.1**

BLDG. PERMIT PLANS  
 FILE COPY OF RECORD

**NOTE:**  
 THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF JC DRAFTING & DESIGN INC.'S KNOWLEDGE. THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FLORIDA BUILDING CODES AND FIRE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCURATE SHALL BE BROUGHT TO THE DESIGNER, STRUCTURAL ENGINEER AND THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND VISIT THE JOB SITE BEFORE BEGINNING CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH ADDITIONAL DRAWINGS TO BE PROVIDED BY THE DESIGNER ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CRITICAL HEIGHTS. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. ANY STRUCTURAL CHANGES THAT APPEAR TO BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT, WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.  
 THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE DESIGN(S) DEPICTED AND SPECIFIED ON THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES AND ARE THE PROPERTY OF JC DRAFTING & DESIGN, INC. AND SHALL BE RETURNED IN THE EVENT OF TERMINATION, USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER JC DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.  
 ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.  
 ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED.  
 IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.  
 DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.  
 ALL UNDERGROUND UTILITIES TO BE BROUGHT TO CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

NOTE: AS ALLOWED BY FBC RESIDENTIAL CODE, SECTION R322.6, THE POOL EQUIPMENT IS PROPOSED TO BE PLACED ON A PLATFORM ELEVATED 37" ABOVE GRADE, ANCHORED TO PREVENT FLUTATION AND RESIST FLOOD FORCES AND SUPPLIED WITH GROUND FAULT BRANCH CIRCUITS AND ELECTRICAL WIRING SYSTEM CONFORMING TO WET LOCATIONS.

Witness Monument  
 Nail & Disk  
 Found, LB 6333  
 as located by  
 MSB Surveying, Inc.  
 on 4/19/2022  
 Mean High Water Line  
 Elevation=0.21' (NAVD 88)

**HARRIS BAYOU(D)**

Benchmark 177/76B  
 MSB Control Nail & Disk  
 Elevation=2.31' (NAVD88)

**CLIENT FRONT STAIR CHANGE**  
 JRC 1/29/2023

PERMIT NO: 2022-0053  
 APPROVED  
 REVISED PLAN  
 BY: [Signature] DATE: 2-22-2023

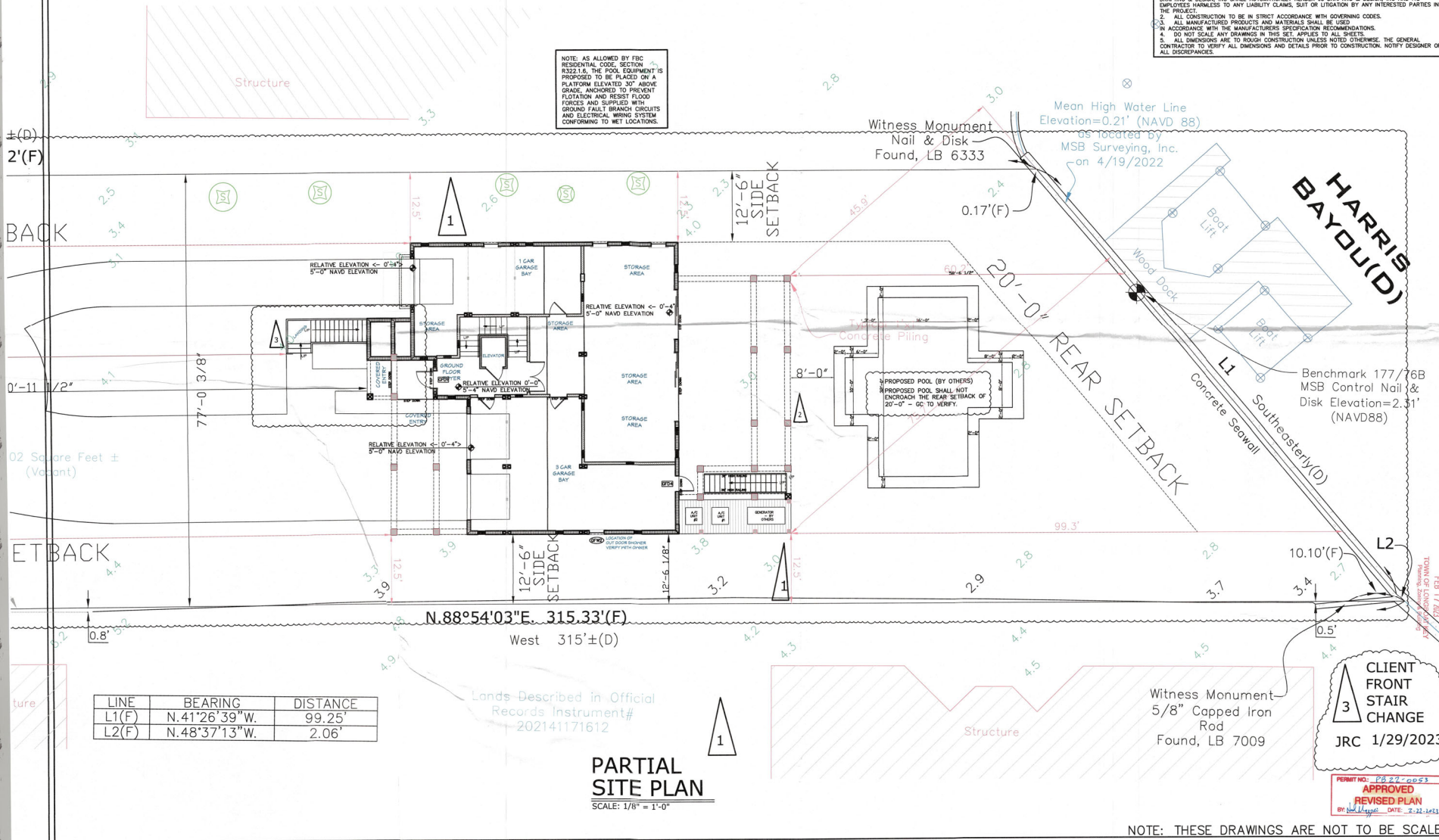
NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

LINE	BEARING	DISTANCE
L1(F)	N.41°26'39"W.	99.25'
L2(F)	N.48°37'13"W.	2.06'

**PARTIAL SITE PLAN**  
 SCALE: 1/8" = 1'-0"

Lands Described in Official  
 Records Instrument#  
 202141171612

Witness Monument  
 5/8" Capped Iron  
 Rod  
 Found, LB 7009



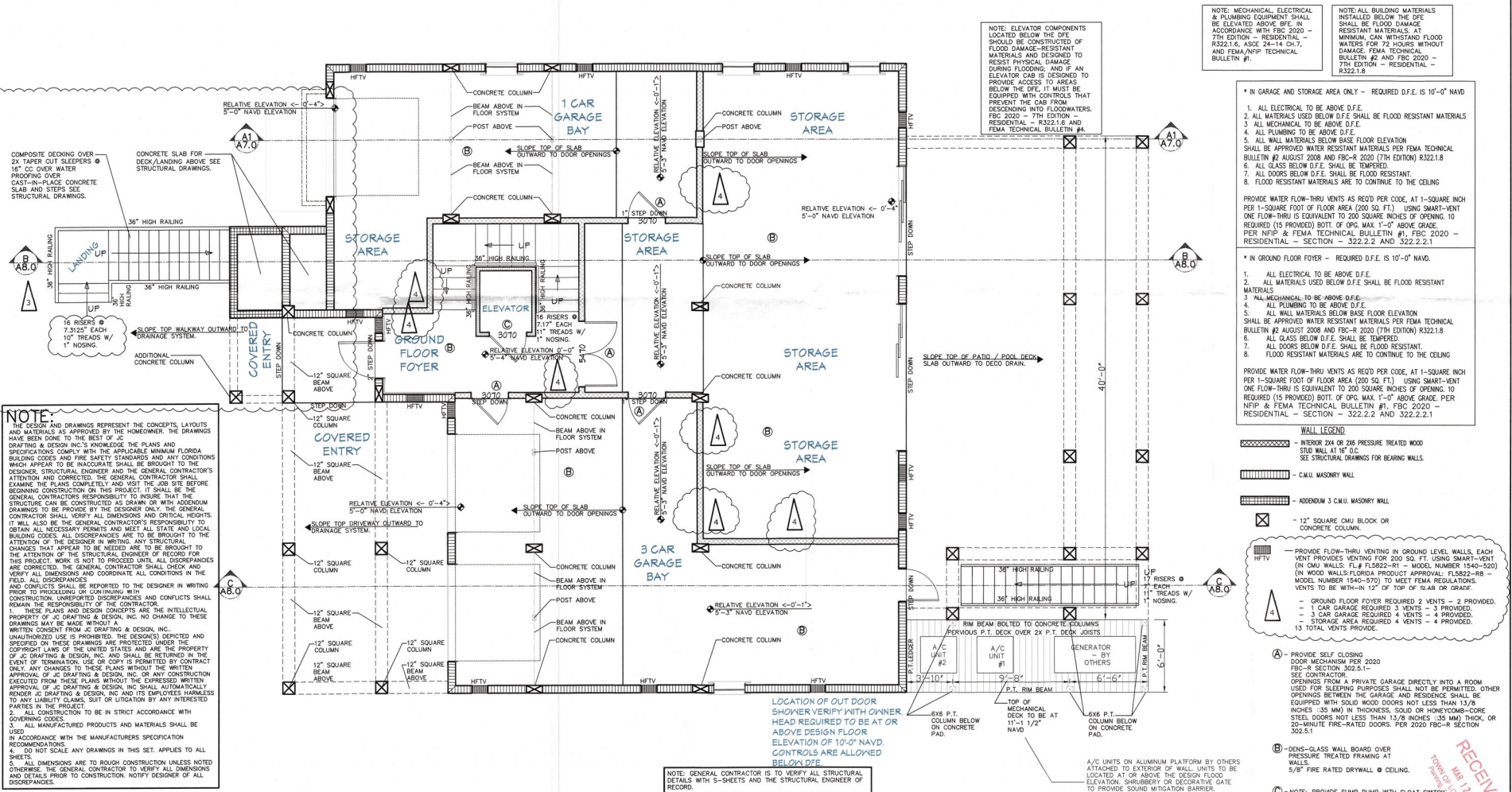
**GENERAL PLAN NOTES:**

- OWNER AND/OR CONTRACTOR TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- PROVIDE A MINIMUM OF 20 FEET OF NO. 4 AWG OR LARGER BARE COPPER W/THROU CONCRETE ENCASED IN THE CONCRETE FOOTING, EXTENDING THROUGH A NON-METALLIC SLEEVE.
- INSTALL A MINIMUM OF 10" ATTIC ROOF PLANE AND FLOOR TRUSS - R-20 OPEN CELL SPRAY FOAM.
- PROVIDE "CARBON MONOXIDE ALARM" WITHIN 10'-0" OF ALL SLEEPING ROOMS.
- CONDENSATE LINES, IRRIGATION SPRAY HEADS AND ROOF DOWNSPOUTS SHALL BE TO A MINIMUM OF ONE FOOT FROM THE BUILDING AND THAT ALL LEAVES LESS THAN 6" HAVE RAIN OUTTERS AND DOWN SPOUTS.
- ALL SHOWER PAN LINERS SHALL HAVE A 1/4" PER FOOT MINIMUM SLOPE TO DRAIN.
- ALL ATTIC ACCESS TO BE SEALED AIR TIGHT TO BE INSTALLED ACCORDING TO 2020 FBC ENERGY CONSERVATION SECTION R402.2.4
- TEMPERED GLASS TO MEET FBC-R 3008.4 IN HAZARD LOCATIONS.
- ALL RECEPTACLES NOT REQUIRED TO BE GFI SHALL BE ARC FAULT PROTECTED PER THE CURRENT NEC. ALL RECEPTACLES TO BE TAMPER PROOF WHERE REQUIRED BY THE CURRENT NEC.
- DOOR AND WINDOW SPECIFICATIONS ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR AND ARE TO BE INSTALLED AS PER THE SUPPLIED MANUFACTURER'S FASTENING DETAILS AND SPECIFICATIONS. ALUMINUM MILLIONS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. SEE ENGINEERED SHOP DRAWINGS BY MANUFACTURER.
- WINDOWS, EXTERIOR DOORS AND OVERHEAD GARAGE DOORS TO HAVE CURRENT FLUOROPOLYMER APPROVAL OR MAM-DADE N.G.A.'S. CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR APPROVED SYSTEMS WITH PERMIT APPLICATION.
- TERMINATE PROTECTIVE TO BE COMPLIANT WITH 2020 FBC-SOL PROTECT-TO EXTEND 12" BEYOND EXTERIOR WALLS OF STRUCTURE OR USE BSKR-CARE TERMINICIDE, INSECTICIDE FUNGICIDE CONCENTRATE.
- PROVIDE TUB ACCESS AT TUB LOCATIONS.
- ALL SHOWER OF BATH TUB DOORS AND FIXED GLASS PANELS ARE TO BE TEMPERED GLASS PER FBC-R SECTION R308.4
- ALL BATHROOM GLASS TO BE TEMPERED.
- PROVIDE FRESH AIR MAKEUP/AIR REQUIRED FOR BLOWER DOOR TEST.

- GENERAL CONTRACTOR AND WINDOW/DOOR MANUFACTURER ARE RESPONSIBLE TO INSTALL WINDOWS AND DOORS AND TO PROVIDE A WATER TIGHT AND WATER PROOF SEAL.
- ALL EXTERIOR WINDOWS AND DOORS WITH GLAZING ARE TO BE IMPACT RESISTANT PER THE CURRENT NEC. ALL RECEPTACLES TO BE TAMPER PROOF WHERE REQUIRED BY THE CURRENT NEC.
- GENERAL CONTRACTOR IS TO VERIFY ALL WINDOW AND DOOR SIZES.
- GENERAL CONTRACTOR IS TO VERIFY ALL EGRESS LOCATIONS AND SIZES. TO MEET FBC 2020 (7TH EDITION) SECTION R310.
- ALL WINDOW AND DOOR SIZES ARE APPROXIMATE. GENERAL CONTRACTOR TO VERIFY ALL FINAL SIZES AND ADJUST OPENINGS AS KNOWN, GENERAL CONTRACTOR TO VERIFY ALL CENTER LINE LOCATIONS AND HEADER HEIGHTS.
- GENERAL CONTRACTOR IS TO VERIFY ALL HOSE BIB LOCATIONS.
- ALL DIMENSIONS ARE TAKEN FROM THE EDGE OF FRAMING.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD BEFORE PROCEEDING WITH ANY WORK.
- ALL EXTERIOR DOORS TO BE SOLID CORE.
- EXTERIOR CEMENTITIOUS COATING SHALL COMPLY WITH FBC-R SECTIONS 703.6 AND 703.6.5.
- PER FBC R302.13, G.C. TO INSTALL DRAFTSTOP FIRE SEPARATION SUCH THAT THE AREAS OF THE CONCEALED SPACE DOES NOT EXCEED A MAXIMUM AREA OF 1,000 S.F. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS.
- FUTURE CLEARANCE REQ. W.C. MIN 15 IN FROM C.L. TO SIDE WALL AND FIXTURES, MIN 21 IN. FRONT CLEARANCE FOR W.C. AND LAVS.
- 30 IN X 30 IN MIN SHOWER DM. 24 IN CLEAR IN FRONT OF OPENING IN ACCORDANCE W/ R307.1 AND CH27. (TYP ALL BATHS) FLOORING TO BE NON SLIP SURFACE (TYP) BATHROOM FIXTURES SHALL BE INSTALLED AS PER FIGURE T30 R307.1 AND USE CEMENT BOARD.
- 27"x36" MIN ATTIC ACCESS TO COMPLY W/ F.B.C R807. CONTRACTOR TO PROVIDE OPTION FOR PULL DOWN STAIR.
- GENERAL CONTRACTOR IS RESPONSIBLE TO FLASH AND COUNTER FLASH ALL ROOF TO WALL CONNECTIONS.
- GAS STUB-OUT AT OUTDOOR KITCHEN ONLY.
- PROVIDE 5/8" FIRE-CODE DRYWALL AT GARAGE CEILING AND WALLS ADJACENT TO A/C LIVING SPACE BELOW D.F.E. TO BE DESSALC.
- ALL MET LOCATION CEILING (EX. OVER BATHROOM SHOWERS) TO BE 1/2" CEMENT BOARD EQUAL TO SHEETROCK MOLD TOUGH BY US GIP. UNLESS NOTED OTHERWISE, ABOVE DFE.
- ALL CEMENTITIOUS BD. @ THE LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTEK BY US GIP. UNLESS NOTED OTHERWISE, ABOVE DFE REFER TO NEXTEK PROTECTION PER R315.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
- CONTRACTOR TO FURNISH AND INSTALL CONCEALED SUPPORT FRAMING (WITHIN WALLS) AS REQUIRED TO FIRMLY SECURE WALL-MOUNTED EQUIPMENT AND/OR ACCESSORIES. WOOD BLOCKING SHALL COMPLY WITH THE REQUIREMENTS OF FBC BUILDING SECTION 603 FOR COMBUSTIBLE MATERIAL IN TYPE II CONSTRUCTION.
- CONTRACTOR SHALL PROTECT PIPES WITHIN CONCEALED WALL CAVITIES WITH MAX FASTER PROTECTION (FROM POTENTIAL PUNCTURE) FROM FINISHED SIDES OF WALL.
- THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF MECHANICAL AND ELECTRICAL EQUIPMENT PANS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MANUFACTURER. SEWAGE TREATMENT EQUIPMENT REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
- MINIMUM THICKNESS OF WEATHER COATINGS SHALL BE PROVIDED UNLESS SPECIFIED THICKER PER FIG. TABLE 1405.2.
- BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING, EXTERIOR AND INTERIOR WALLS AND CEILING SHALL BE FLOOD DAMAGE RESISTANT MATERIALS.

- NOTE: MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT SHALL BE ELEVATED ABOVE D.F.E. IN ACCORDANCE WITH FBC 2020 - 7TH EDITION - RESIDENTIAL - SECTION 404.2.1, AND FBC 2020 - 7TH EDITION - RESIDENTIAL - SECTION 404.2.2.**
- NOTE: ALL BUILDING MATERIALS & FINISHES SHALL BE FLOOD DAMAGE RESISTANT MATERIALS. AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE. FEMA TECHNICAL BULLETIN #1, FBC 2020 - 7TH EDITION - RESIDENTIAL - SECTION 322.2.1 AND 322.2.2.**
- \* IN GARAGE AND STORAGE AREA ONLY - REQUIRED D.F.E. IS 10'-0" NAVD
  - 1. ALL ELECTRICAL TO BE ABOVE D.F.E.
  - 2. ALL MATERIALS USED BELOW D.F.E. SHALL BE FLOOD RESISTANT MATERIALS.
  - 3. ALL MECHANICAL TO BE ABOVE D.F.E.
  - 4. ALL PLUMBING TO BE ABOVE D.F.E.
  - 5. ALL WALL MATERIALS BELOW BASE FLOOR ELEVATION SHALL BE APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN #2 AUGUST 2008 AND FBC-R 2020 (7TH EDITION) R322.18
  - 6. ALL GLASS BELOW D.F.E. SHALL BE TEMPERED.
  - 7. ALL DOORS BELOW D.F.E. SHALL BE FLOOD RESISTANT.
  - 8. FLOOD RESISTANT MATERIALS ARE TO CONTINUE TO THE CEILING
- PROVIDE WATER FLOW-THRU VENTS AS REQ'D PER CODE, AT 1-SQUARE INCH PER 1-SQUARE FOOT OF FLOOR AREA (200 SQ. FT.). USING SMART-VENT ONE FLOW-THRU IS EQUIVALENT TO 200 SQUARE INCHES OF OPENING. 10 REQUIRED (15 PROVIDED) BOIT. OF OPC. MAX. 1'-0" ABOVE GRADE. PER NFPA & FEMA TECHNICAL BULLETIN #1, FBC 2020 - RESIDENTIAL - SECTION - 322.2.2 AND 322.2.2.1
- \* IN GROUND FLOOR Foyer - REQUIRED D.F.E. IS 10'-0" NAVD.
  - 1. ALL ELECTRICAL TO BE ABOVE D.F.E.
  - 2. ALL MATERIALS USED BELOW D.F.E. SHALL BE FLOOD RESISTANT MATERIALS.
  - 3. ALL MECHANICAL TO BE ABOVE D.F.E.
  - 4. ALL PLUMBING TO BE ABOVE D.F.E.
  - 5. ALL WALL MATERIALS BELOW BASE FLOOR ELEVATION SHALL BE APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN #2 AUGUST 2008 AND FBC-R 2020 (7TH EDITION) R322.18
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- PROVIDE WATER FLOW-THRU VENTS AS REQ'D PER CODE, AT 1-SQUARE INCH PER 1-SQUARE FOOT OF FLOOR AREA (200 SQ. FT.). USING SMART-VENT ONE FLOW-THRU IS EQUIVALENT TO 200 SQUARE INCHES OF OPENING. 10 REQUIRED (15 PROVIDED) BOIT. OF OPC. MAX. 1'-0" ABOVE GRADE. PER NFPA & FEMA TECHNICAL BULLETIN #1, FBC 2020 - RESIDENTIAL - SECTION - 322.2.2 AND 322.2.2.1



**NOTE:** THESE PLANS AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF THE ARCHITECT'S KNOWLEDGE AND DESIGN INTENT. THE ARCHITECT DOES NOT WARRANT THAT THE PLANS AND DRAWINGS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND FIRE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCURATE SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND VISIT THE JOB SITE BEFORE BEGINNING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STRUCTURE IS TO BE CONSTRUCTED AS SHOWN OR WITH ADDITIONAL CHANGES THAT APPEAR TO BE NEEDED ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

- THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE DESIGNS DEPICTED AND ANY INFORMATION ON THESE DRAWINGS ARE THE PROPERTY OF JC DRAFTING & DESIGN, INC. AND SHALL BE HELD IN CONFIDENCE. IN THE EVENT OF TERMINATION, USE OR COPY IS PERMITTED BY CONTRACT ONLY IF ANY CHANGES TO THESE PLANS WITHOUT THE EXPRESS APPROVAL OF JC DRAFTING & DESIGN, INC. OR ANY CONSTRUCTION REQUIRED FROM THESE PLANS WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY REVOKE JC DRAFTING & DESIGN, INC. HAS ITS ENTIRE LIABILITY TRANSFERRED TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES TO THIS PROJECT.
- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH COVERING CODES.
- ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION RECOMMENDATIONS.
- DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.
- ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE: THESE DRAWINGS ARE NOT TO BE SCALED**

**Plan no.**  
**2021-36 A2.0**

BLUEWATER CONSTRUCTION LLC  
12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34251  
LICENSE # CC01506434  
941-322-2200

CUSTOM RESIDENCE FOR:  
**DILLON**  
5950 GOLF OF MEXICO DR.,  
LONGBOAT KEY FL 34228  
PID: 7897600008

**JC DRAFTING & DESIGN, INC.**  
905 PANDER AVE SUITE C  
Sarasota, Florida 34232  
Phone (941) 925-3009 Cell (941) 376-2047  
jc@jcdraftinganddesign.com  
John R. Colthurst, President

NO.	DESCRIB.	BY	DATE
1	REMOVE INTERIOR FLOOR THRU VENTS	JRC	3/12/2024

DATE: 12-23-2021  
SCALE: AS SHOWN  
SHEET TITLE:  
GROUND FLOOR PLAN  
SHEET NO.  
**A2.0**

RECEIVED  
TOP OF CONCRETE SLAB  
MAY 12 2024

NOTE: ALL WINDOW AND DOOR SIZES ARE APPROXIMATE. GENERAL CONTRACTOR TO VERIFY ALL FINAL SIZES AND ADJUST OPENINGS AS NEEDED. GENERAL CONTRACTOR TO VERIFY ALL CENTER LINE LOCATIONS AND HEADER HEIGHTS.

**NOTE:**  
 THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF JC DRAFTING & DESIGN INC.'S KNOWLEDGE. THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FLORIDA BUILDING CODES AND FIRE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCURATE SHALL BE BROUGHT TO THE DESIGNER, STRUCTURAL ENGINEER AND THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND VISIT THE JOB SITE BEFORE BEGINNING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH ADDENDUM DRAWINGS TO BE PROVIDED BY THE DESIGNER ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CRITICAL HEIGHTS. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. ANY STRUCTURAL CHANGES THAT APPEAR TO BE NEEDED ARE TO BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT. WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.  
 1. THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE DESIGNER'S DESIGN AND SPECIFICATIONS ARE PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES AND ARE THE PROPERTY OF JC DRAFTING & DESIGN, INC. AND SHALL BE RETURNED IN THE EVENT OF TERMINATION, USE OR REPRODUCTION WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. NO PART OF THESE PLANS OR DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER JC DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.  
 2. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.  
 3. ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.  
 4. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.  
 5. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**Plan no.**  
**2021-36 A2.1**

**BLUEWATER CONSTRUCTION LLC**

12615 RIVER ROAD  
 MIYAKKA CITY, FLORIDA 34251  
 LICENSE # CGC1506434  
 941-322-2200

GC SIGNATURE

CUSTOM RESIDENCE FOR:  
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 Jon R. Coulthurst, President

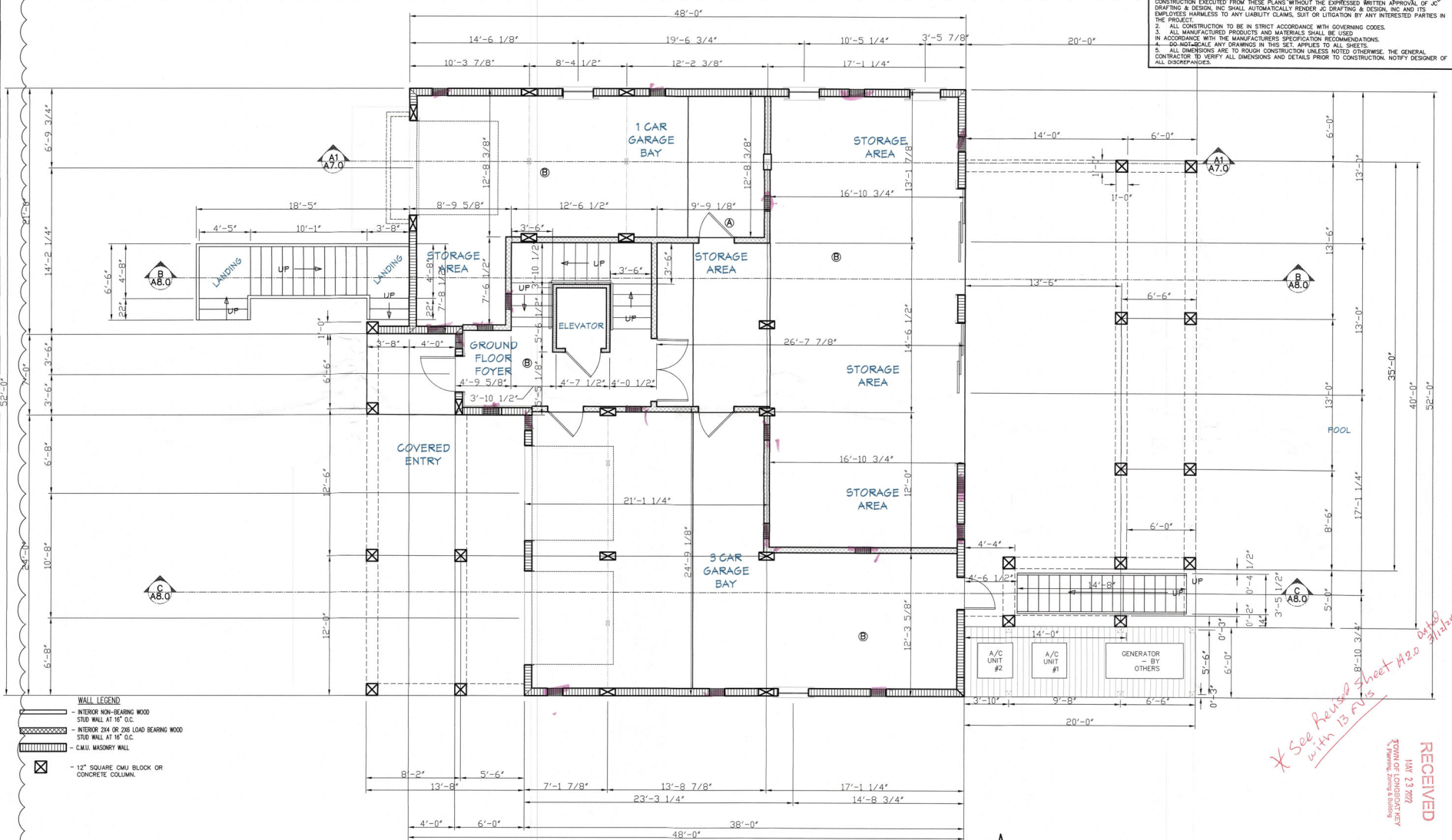
REVISIONS:

NO.	DESCRIP:	BY	DATE
1	BLOG. COM. / CLIENT CHANGES	JJC	4/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:  
 GROUND FLOOR DIMENSIONAL PLAN  
 SHEET NO.  
**A2.1**



**GROUND FLOOR DIMENSIONAL PLAN**

SCALE: 1/4" = 1'-0"

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

*X See Revised sheet #20 dated 1/23/2022 FROM OF LONGBOAT KEY*

**RECEIVED**  
 JAN 23 2022

GROUND FLOOR WINDOW & DOOR SCHEDULE						
MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER WALL THICKNESS	
GFW1	N/A					
GFW2	32" WIDE X 72" HIGH	SINGLE CASEMENT	7" HEADER CONC.		8" CMU	
GFW3	N/A					
GFW4	N/A					
GFW5	32" WIDE X 72" HIGH	SINGLE CASEMENT	7" HEADER CONC.		8" CMU	
GFW6	32" WIDE X 72" HIGH	SINGLE CASEMENT	7" HEADER CONC.		8" CMU	
GFW7	32" WIDE X 72" HIGH	SINGLE CASEMENT	7" HEADER CONC.		8" CMU	

SYMBOL GROUND FLOOR EXTERIOR DOOR SCHEDULE						
MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER WALL THICKNESS	
GFD1	36" WIDE X 84" HIGH	EXTENSIVE DOOR FRENCH TALL UNIT	7" HEADER OUT-SHINE IMPACT INSULATED CONC.		8" CMU	
GFD2	8" WIDE X 7" HIGH	OVERHEAD GARAGE DOOR	7" HEADER IMPACT INSULATED CONC.		8" CMU	
GFD3	8" WIDE X 7" HIGH	OVERHEAD GARAGE DOOR	7" HEADER IMPACT INSULATED CONC.		8" CMU	
GFD4	32" WIDE X 84" HIGH	SLIP LIT FRENCH	7" HEADER OUT-SHINE CONC.		8" CMU	
GFD5	144" WIDE X 84" HIGH	S.G.D.	3 PANEL CONC.		8" CMU	
GFD6	108" WIDE X 84" HIGH	S.G.D.	3 PANEL CONC.		8" CMU	
GFD7	8" WIDE X 7" HIGH	OVERHEAD GARAGE DOOR	7" HEADER IMPACT INSULATED CONC.		8" CMU	

**EGRESS OPENING REQUIREMENTS:**

1029.2 MINIMUM SIZE - FLORIDA BUILDING CODE 6TH EDITION (2020)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53M<sup>2</sup>).  
 EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE GRADE-FLOOR OPENINGS SHALL BE 0 SQUARE FEET (0.46M<sup>2</sup>).  
 SECTION 1029.2.1 MINIMUM DIMENSIONS - FLORIDA BUILDING CODE 5TH EDITION (2014).  
 THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.

SECTION 1029.3 MAXIMUM HEIGHT FROM FLOOR - FLORIDA BUILDING CODE 5TH EDITION (2014).  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118MM) MEASURED FROM THE FLOOR.  
 SECTION 1029.4 OPERATIONAL CONSTRAINTS - FLORIDA BUILDING CODE 5TH EDITION (2014).  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.  
 BARS, GRILLES, GATES OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLIES WITH SECTION 1029.2 AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING. WHERE SUCH BARS, GRILLES, GATES OR SIMILAR DEVICES ARE INSTALLED IN EXISTING BUILDINGS, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11 REGARDLESS OF THE VALUATION OF THE ALTERATION.

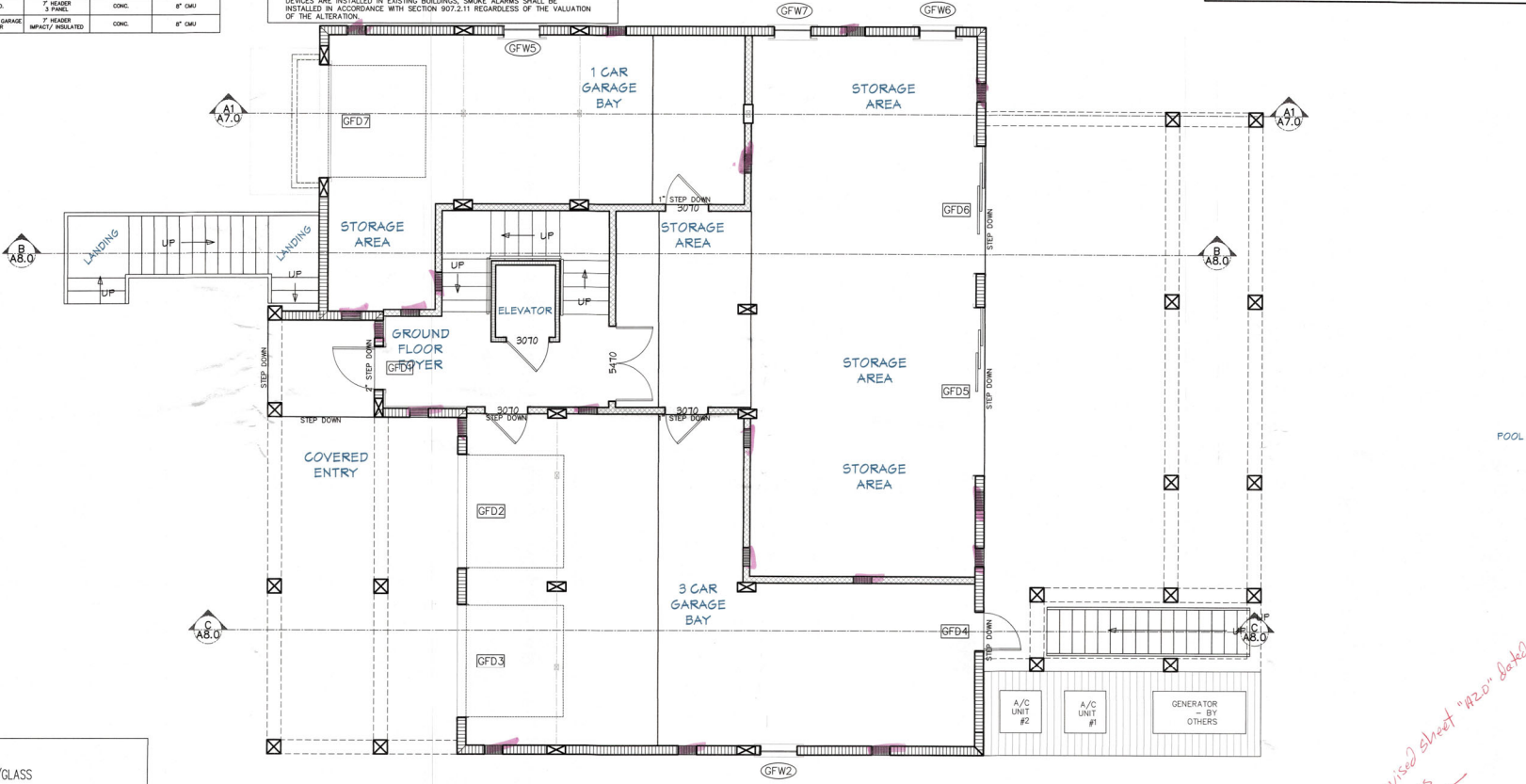
R312.2 WINDOW FALL PROTECTION.  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.  
 WINDOW SILLS IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW CLEAR OPENING IS LOCATED LESS THAN 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES (1829 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

WINDOW OPENING CONTROL DEVICES.  
 WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE, ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1.

**NOTE:**

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 3. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.  
 4. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**NOTE:**  
 ALL EXTERIOR WINDOWS/GLASS TO BE IMPACT RATED  
**NOTE:**  
 GC TO VERIFY ALL WINDOW & DOOR SIZES  
 GC TO VERIFY EGRESS LOCATIONS AND SIZES



**GROUND FLOOR KEY PLAN**

SCALE: 1/4" = 1'-0"

*X See Revised sheet #20- dated 3/17/21 w/13 FUS*

**RECEIVED**  
 JUN 23 2021  
 TOWN OF LONGBOAT KEY  
 Planning & Zoning & Ordinance

**Plan no.**  
**2021-36 A2.2**

**BLUEWATER CONSTRUCTION LLC**  
 12615 RIVER ROAD  
 MYAKKA CITY, FLORIDA 34851  
 LICENSE # CGC1506634  
 941-322-2200  
 GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
**DILLON**  
 5950 GULF OF MEXICO DR,  
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 PID : 7897600008

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 www.jcdraftinganddesigninc.com  
 Jon R. Couthurn, President

**REVISIONS:**

NO.	DESCRIP:	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	4/22/22

**DATE:** 12-23-2021

**SCALE:** AS SHOWN

**SHEET TITLE:**

GROUND FLOOR KEY PLAN WINDOW AND DOOR SCHEDULE  
**SHEET NO. A2.2**



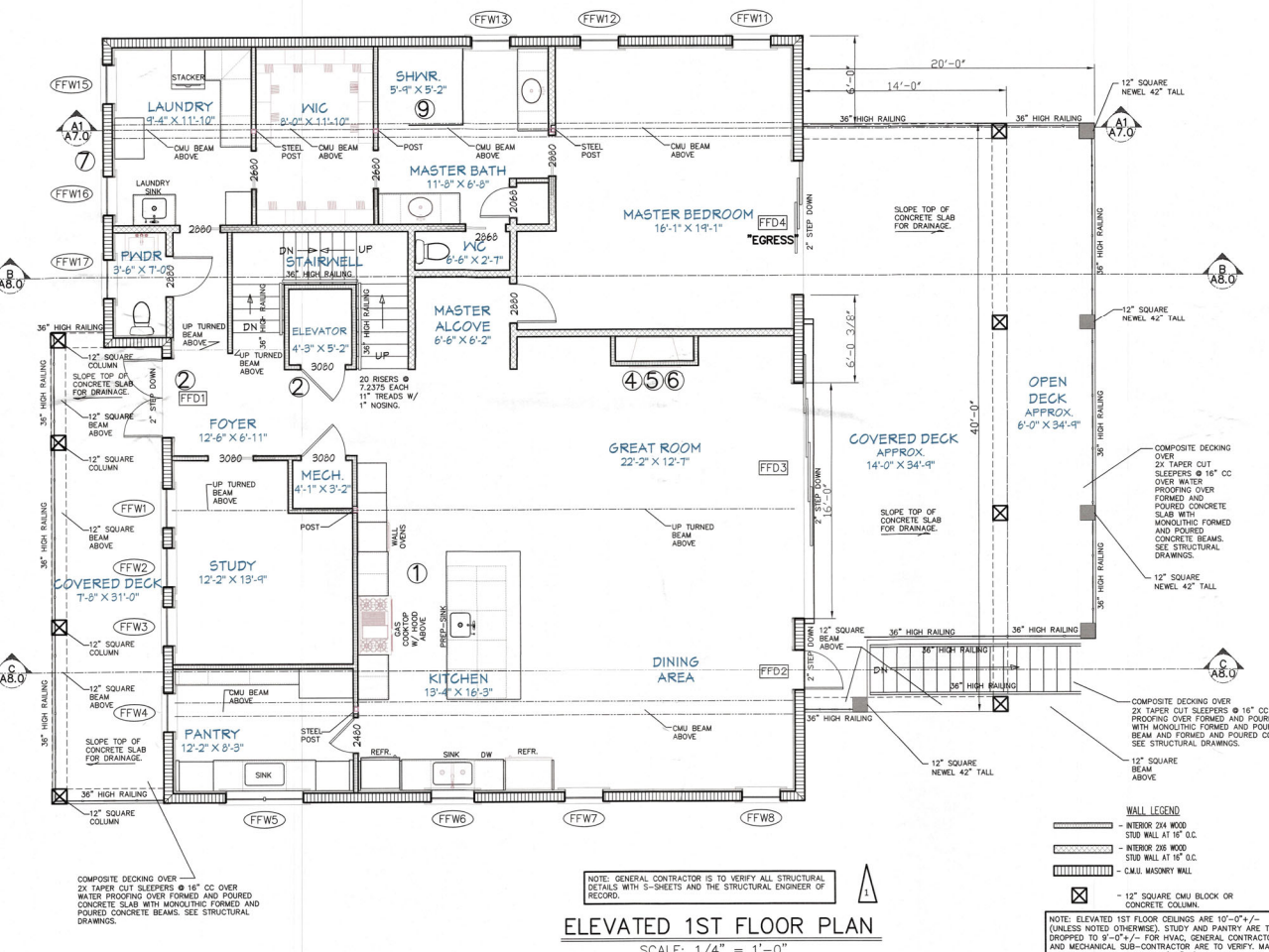
**GENERAL PLAN NOTES:**

- OWNER AND/OR CONTRACTOR TO VERIFY ALL DETAILS AND DIMENSIONS TO BE INSTALLED ACCORDING TO 2020 FBC ENERGY CONSERVATION SECTION R402.2.4
- TEMPERED GLASS TO MEET FBC-R 300.8 IN HAZARD LOCATIONS.
- ALL RECEPTACLES NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED PER THE CURRENT NEC. ALL RECEPTACLES TO BE TAMPER PROOF WHERE REQUIRED BY THE CURRENT NEC.
- DOOR AND WINDOW SPECIFICATIONS ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR AND ARE TO BE INSTALLED AS PER THE SUPPLIER'S MANUFACTURER'S FASTENING DETAILS AND SPECIFICATIONS.
- ALUMINUM MULLIONS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. SEE ENGINEERED SHOP DRAWINGS BY MANUFACTURER.
- WINDOWS, EXTERIOR DOORS AND OVERHEAD GARAGE DOORS TO HAVE CURRENT FLORIDA PRODUCT APPROVAL OR MIAM-DADE N.O.A.'S. CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR APPROVED SYSTEMS WITH PERMIT APPLICATION.
- TERMITE PROTECTION TO BE COMPLIANT WITH 2020 FBC-SOL PROTECT-TO EXTEND BEYOND EXTERIOR WALLS OF STRUCTURE OR USE BORAX-CARE TERMITICIDE, INSECTICIDE FUNGICIDE CONCENTRATE.
- PROVIDE TUB ACCESS AT TUB LOCATIONS.
- ALL SHOWER OF BATH TUB DOORS AND GLASS PANELS ARE TO BE TYPED AS PER FBC SECTION R308.4
- ALL BATHROOM GLASS TO BE TEMPERED.
- PROVIDE FRESH AIR MAKEUPS REQUIRED FOR BLOWER DOOR TEST.

**LEGEND:**

- L.P. GAS COOK-TOP SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, LISTINGS AND LABELINGS.  
L.P. GAS COOK-TOP SHALL BE FOR DOMESTIC COOKING OPERATIONS AND SHALL BE DESIGNED, TESTED, LISTED AND LABELED AS HOUSEHOLD-TYPE APPLIANCE FOR DOMESTIC USE.  
PROVIDE SHUTOFF VALVE IN OPEN EASY ACCESSIBLE LOCATION. VALVE TO BE INSTALLED AS TO BE PROTECTED FROM DAMAGE.  
VENTILATION EXHAUST HOOD IS TO BE COMPATIBLE WITH L.P. GAS COOK-TOP APPLIANCE BEING INSTALLED.  
EXHAUST HOOD IS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, LISTINGS AND LABELINGS.  
COMBUSTION AND DILUTION AIR TO BE OBTAINED ENTIRELY FROM THE HOOD UNOBTAINED SPACE WITHIN THE BUILDING.
- SOLID CORE DOOR W/ THRESHOLD OR THRESHOLD WEATHER SEAL SWEEP AND WEATHER STRIPPING TOP AND SIDE JAMBS.
- TANKLESS GAS WATER HEATER.  
ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ZERO CLEARANCE L.P. GAS FIREPLACE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, LISTINGS AND LABELINGS.  
PROVIDE SHUTOFF VALVE IN OPEN EASY ACCESSIBLE LOCATION. VALVE TO BE INSTALLED AS TO BE PROTECTED FROM DAMAGE.  
VENT PIPE IS TO BE COMPATIBLE WITH L.P. GAS FIRE-PLACE BEING INSTALLED.  
VENT PIPE IS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, LISTINGS AND LABELINGS, INCLUDING DRAFT STOPS, FIRE STOPS, PAN FLASHING, STORM COLLARS AND TERMINATION CAPS.
- COMBUSTION AND DILUTION AIR TO BE OBTAINED ENTIRELY FROM OUTSIDE THE BUILDING.
- NON-COMBUSTIBLE HEARTH REQUIRED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- MIN. 4" HIGH HOUSE NUMBERS LOCATED ON FRONT ELEVATION SO THAT THE NUMBERS ARE CLEARLY VISIBLE FROM THE STREET. SEE FRONT ELEVATION SHEET. 4.4.0
- L.P. GAS METER LOCATION, SUPPLY PIPE LAYOUTS AND ISOMETRIC DETAIL DRAWINGS TO BE PROVIDED BY OTHERS.
- PROVIDE 1/2" MIN. PITCH @ ALL SHOWER DRAINS AND LINERS TO SLOPE TO DRAIN AS PER 2020 CODE.

**NOTE:**  
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THESE PLANS AND DESIGN ARE THE INTELLECTUAL PROPERTY OF J.C. DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT FROM J.C. DRAFTING & DESIGN, INC.  
UNAUTHORIZED USE IS PROHIBITED. THE DESIGNER'S NAME AND SPECIFIED ON THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES AND ARE THE PROPERTY OF J.C. DRAFTING & DESIGN, INC. AND SHALL BE RETURNED IN THE EVENT OF TERMINATION. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF J.C. DRAFTING & DESIGN, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF J.C. DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER J.C. DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.  
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.  
1. ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND ALLOCATIONS THEREIN.  
2. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL.  
3. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.



**ELEVATED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- GENERAL CONTRACTOR AND WINDOW/DOOR MANUFACTURER ARE RESPONSIBLE TO INSTALL WINDOWS AND DOORS AND TO PROVIDE A WATER TIGHT AND WATER PROOF SEAL.
- ALL EXTERIOR WINDOWS AND DOORS WITH GLAZING ARE TO BE IMPACT RATED.
- GENERAL CONTRACTOR IS TO VERIFY ALL WINDOW AND DOOR SIZES.
- GENERAL CONTRACTOR IS TO VERIFY ALL EGRESS LOCATIONS AND SIZES. TO MEET FBC 2020 (7TH EDITION) SECTION R310.
- ALL WINDOW AND DOOR SIZES ARE APPROXIMATE. GENERAL CONTRACTOR TO VERIFY ALL FINAL SIZES AND ADJUST OPENINGS AS NEEDED. GENERAL CONTRACTOR TO VERIFY ALL CENTER LINE LOCATIONS AND HEADER HEIGHTS.
- GENERAL CONTRACTOR IS TO VERIFY ALL HOSE BIB LOCATIONS.
- ALL DIMENSIONS ARE TAKEN FROM THE EDGE OF FRAMING.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DISCREPANCIES TO THE DRAFTSMAN OR STRUCTURAL ENGINEER OF RECORD BEFORE PROCEEDING WITH ANY WORK.
- ALL EXTERIOR DOORS TO BE SOLID CORE.
- EXTERIOR CEMENTITIOUS COATING SHALL COMPLY WITH FBC-R SECTIONS 703.6 AND 703.6.5.
- PER FBC R302.12, G.C. TO INSTALL DRAFTSTOP FIRE SEPARATION SUCH THAT THE AREAS OF THE CONCEALED SPACE DOES NOT EXCEED A MAXIMUM AREA OF 1,000 S.F. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS.
- FUTURE CLEARANCE REQ. W.C. MIN 15 IN FROM C.L. TO SIDE WALL AND FIXTURES. MIN 21 IN. FRONT CLEARANCE FOR W.C. AND LAVS.
- 30 IN X 30 IN MIN SHOWER DN. 24 IN CLEAR IN FRONT OF OPENING IN ACCORDANCE WITH 2020 FBC AND DRY (TYP ALL BATHS) FLOORING TO BE NON-SLIP SURFACE (TYP) BATHROOM FIXTURES SHALL BE INSTALLED AS PER FIGURE FBC R307.1 AND USE CEMENT BOARD.
- 22"x30" MIN ATTIC ACCESS TO COMPLY WITH F.B.C. R307. CONTRACTOR TO PROVIDE OPTION FOR PULL DOWN STAIR.
- GENERAL CONTRACTOR IS RESPONSIBLE TO FLASH AND COUNTER FLASH ALL ROOF TO WALL CONNECTIONS.
- GAS SHUTOFF AT OUTDOOR KITCHEN ONLY.
- PROVIDE 1/2" FIRE-CODE DRYWALL AT GARAGE CEILING AND WALLS ADJACENT TO 1/2" LIVING SPACE. BELOW DECK TO BE UNGLAZED.
- ALL WET LOCATION CEILING (EX. OVER BATHROOM SHOWERS) TO BE 1/2" CEMENT BOARD EQUAL TO SHEETROCK MOLD TOUGH BY US DRY. UNLESS NOTED OTHERWISE, ABOVE DFE.
- ALL CEMENTITIOUS CO. @ THE LOCATIONS TO BE 1 1/2" CEMENT BID. EQUAL TO BROWNEK NEXTER BY US DRY. UNLESS NOTED OTHERWISE, ABOVE DFE.
- REFER TO TERMITE PROTECTION PER R318.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL. SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
- CONTRACTOR TO FURNISH AND INSTALL CONCEALED SUPPORT FRAMING (WITHIN WALLS) AS REQUIRED TO FIRMLY SECURE WALL-MOUNTED EQUIPMENT AND/OR ACCESSORIES. WOOD BLOTTING SHALL COMPLY WITH THE REQUIREMENTS OF FBC BUILDING SECTION 603 FOR COMBUSTIBLE MATERIAL IN TYPE II CONSTRUCTION.
- CONTRACTOR SHALL PROTECT PIPES WITH CONCEALED WALL CAVITIES WITH MAX FASTER PROTECTION (FOR POTENTIAL PUNCTURES) FROM FINISHED SIDES OF WALL.
- THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, HEAT AND BRAN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MANUFACTURER SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
- MINIMUM THICKNESS OF WEATHER COATINGS SHALL BE PROVIDED UNLESS SPECIFIED THICKER PER FIG. TABLE 1404.2.
- BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING, INTERIOR EXTERIOR WALLS, AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3 SHALL BE FLOOD DAMAGE RESISTANT MATERIALS.

**NOTE:**  
IN ACCORDANCE WITH FBC R303.8 FLASHING: EXTERIOR WINDOWS AND DOORS SHALL BE FLASHED IN ACCORDANCE WITH MANUFACTURER'S NOA OR PRODUCT APPROVAL AND/OR INSTALLATION INSTRUCTIONS. IF FLASHING IS NOT ADDRESSED IN ONE OF THE PREVIOUS NOTED THEN PAN FLASHING SHALL BE PROVIDED. PAN FLASHING SHALL BE SLOPED AND SLOPED AS TO DRAIN AWAY FROM SURFACE OF THE EXTERIOR WALL FINISH OR WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.

**NOTE:**  
ALL FINAL CABINET AND SHELVEING LAYOUTS, DESIGN, DRAWINGS, SPECIFICATIONS & ENGINEERING ARE TO BE PROVIDED BY THE CABINET MAKER AND ARE NOT PART OF THESE DRAWINGS. CONTRACTOR TO COORDINATE WITH CABINET MAKER WITH THE OWNER'S FINAL SELECTION OF ALL APPLIANCES, FIXTURES AND CABINETRY. CABINET MAKER IS RESPONSIBLE FOR ALL REQUIRED FIELD MEASUREMENTS BEFORE, DURING AND AFTER DEMOLITION AND RENOVATION WITH REGARDS TO ALL.

**NOTE:**  
BRAND, STYLE, KIND, COLOR, ETC. OF ALL FINISHES AND MATERIALS, ELECTRICAL FIXTURES, APPLIANCES, EQUIPMENT AS AGREED AND NEGOTIATED BETWEEN OWNER.

**NOTE:**  
ALL OTHER JOB SPECIFICATION AND FINISH SPECIFICATIONS TO BE FURNISHED TO GENERAL CONTRACTOR BY THE HOME OWNER AND ARE NOT PART OF THESE DRAWINGS.

**NOTE:**  
ALL INFORMATION PROVIDED MUST BE VERIFIED IN FIELD AND ANY MINOR ADJUSTMENTS ARE TO BE MADE BY CONTRACTOR IN FIELD. ANY STRUCTURAL CHANGES THAT APPEAR TO BE NEEDED MUST BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND ARCHITECT.

**NOTE:**  
ALL NEW CONSTRUCTION SHALL BE REQUIRED TO PASS THE BLOWER DOOR TEST PER 2020 ENERGY CONSERVATION CODE R402.4. BE AWARE FLOW THRU OPENINGS MAY CREATE SOME ISSUES WHILE PERFORMING THIS TEST.  
NOTE: SEE STRUCTURAL SHEETS FOR FINAL BEARING POST LOCATIONS.  
ALL CONCRETE LANS AND ROOF DOWNSPOUTS SHALL DISCHARGE MIN. 12" AWAY FROM STRUCTURE SIDEWALL USING UNDERGROUND PIPING. TALL EXTENSIONS OR SPLASH BLOCKS SHALL PLANS ARE TO MEET THE 2020 FBC-R (7TH EDITION AND 2020 FBC ENERGY CONSERVATION.  
NOTE: PROVIDE 1" DAPOUT AT ALL EXTERIOR DOOR LOCATIONS.  
NOTE: EXTERIOR WINDOW AND DOOR HEADERS TO BE 8'-0" UNLESS NOTED OTHERWISE.  
NOTE: FINAL LOCATION OF HOSE BIBS, BY GC.  
CEILING EXPOSED TO WIND: CEILING EXPOSED TO WIND TO BE HARDIE BOARD AS SCHED ON 1/2" COX ATTACHED TO BOTTOM CHORD W/ 1-1/2" DRYWALL SCREWS @ 6" O.C. EDGES & FIELD.

**NOTE:** COMPOSITE DECKING OVER 2X TAPER CUT SLEEPERS @ 16" CC OVER WATER PROOFING OVER FORMED AND POURED CONCRETE SLAB WITH MONOLITHIC FORMED AND POURED CONCRETE BEAMS. SEE STRUCTURAL DRAWINGS.

**NOTE:** COMPOSITE DECKING OVER 2X TAPER CUT SLEEPERS @ 16" CC OVER WATER PROOFING OVER FORMED AND POURED CONCRETE SLAB WITH MONOLITHIC FORMED AND POURED CONCRETE BEAMS. SEE STRUCTURAL DRAWINGS.

- WALL LEGEND**
- INTERIOR 2X4 MUD
  - STUD WALL AT 16" CC
  - STUD WALL AT 16" CC
  - CMU MASONRY WALL
  - 12" SQUARE CMU BLOCK OR CONCRETE COLUMN.

**NOTE:** ELEVATED 1ST FLOOR CEILING ARE 10'-0" +/- (UNLESS NOTED OTHERWISE). STUDY AND PANTRY ARE TO BE DROPPED TO 8'-0" +/- FOR HVAL. GENERAL CONTRACTOR TO VERIFY AND MECHANICAL SUB-CONTRACTOR ARE TO VERIFY MASTER CLOSET. OPTIONAL DROP TO 8'-0" +/- IF NEEDED FOR ADDITIONAL HVAC SUNS.

**Plan no.**  
**2021-36 A3.0**

**BLUEWATER CONSTRUCTION LLC**  
12615 RIVER ROAD  
MYRTLE CITY, FLORIDA 34251  
LICENSE # CC1506434  
941-322-2500  
GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

**J.C. DRAFTING & DESIGN, INC.**  
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Phone: (941) 378-2047  
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Jon R. Coulter - President

**REVISIONS:**

NO.	DESCRIP.	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	4/22/22

**DATE:** 12-23-2021  
**SCALE:** AS SHOWN  
**SHEET TITLE:**  
ELEVATED 1ST FLOOR PLAN  
SHEET NO. **A3.0**

**RECEIVED**  
MAY 23 2022  
OFFICE OF INSURANCE REVENUE

**NOTE:** THESE DRAWINGS ARE NOT TO BE SCALED

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 3- ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.  
 4- DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.  
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**Plan no.**  
**2021-36 A3-1**

**BLUEWATER CONSTRUCTION LLC**  
 12815 RIVER ROAD  
 MYAKKA CITY, FLORIDA 34251  
 LICENSE # C001506434  
 941-322-2500  
 GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
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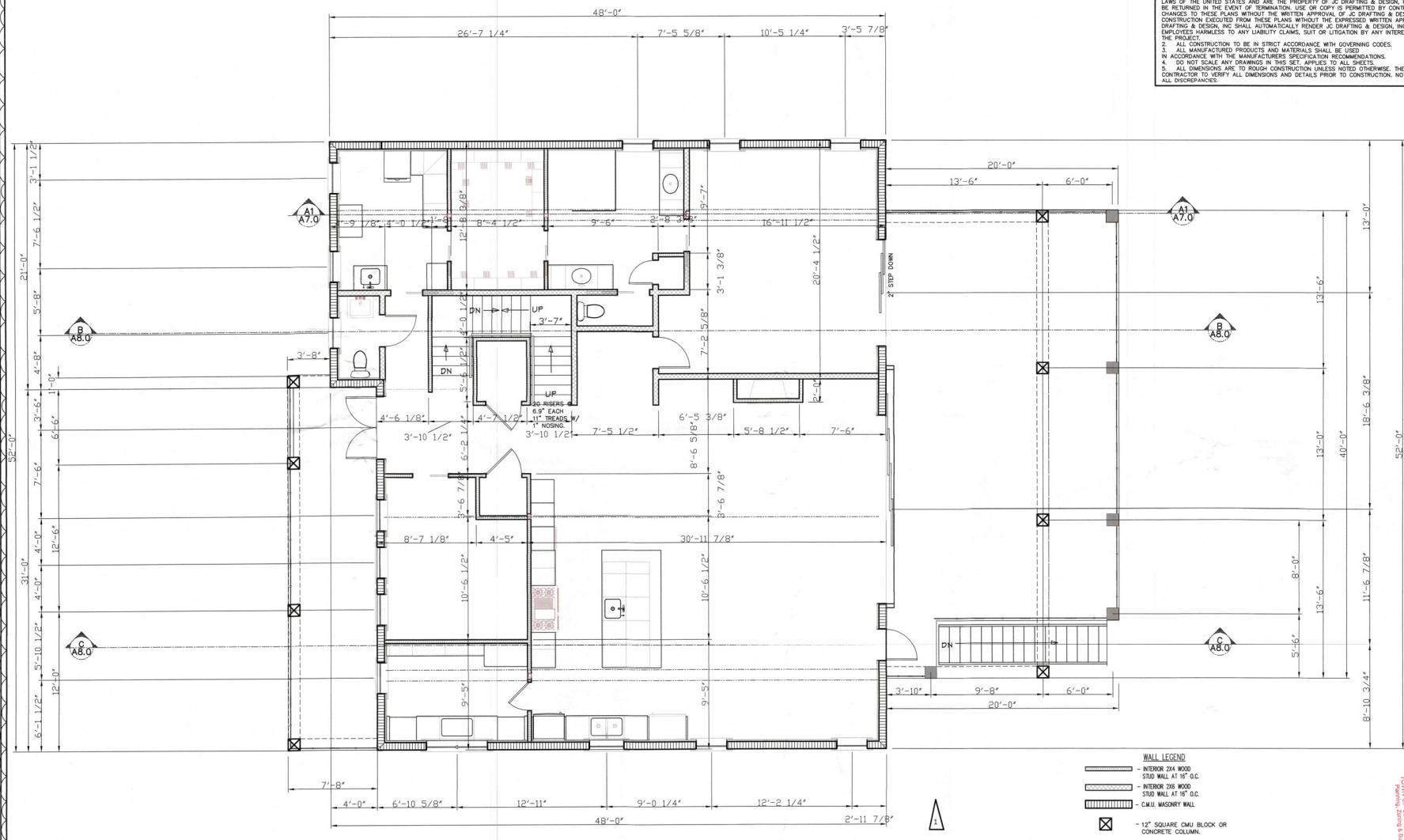
NO.	DESCRIP.	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	4/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:

ELEVATED 1ST FLOOR DIMENSIONAL PLAN  
 SHEET NO.  
**A3.1**



**ELEVATED 1ST FLOOR DIMENSIONAL PLAN**  
 SCALE: 1/4" = 1'-0"

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

**RECEIVED**  
 MAY 23 2022  
 TOWN OF COCONAWAY  
 Planning, Zoning & Building

1ST FLOOR WINDOW & DOOR SCHEDULE

MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER	WALL THICKNESS
FFW1	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW2	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW3	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW4	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW5	64" WIDE X 54" HIGH	DOUBLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW6	32" WIDE X 54" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW7	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW8	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW9	N/A					
FFW10	N/A					
FFW11	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW12	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW13	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW14	N/A					
FFW15	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW16	32" WIDE X 72" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU
FFW17	32" WIDE X 32" HIGH	SINGLE CASSETT	# F. HEADER	CONC.	8" CMU	8" CMU

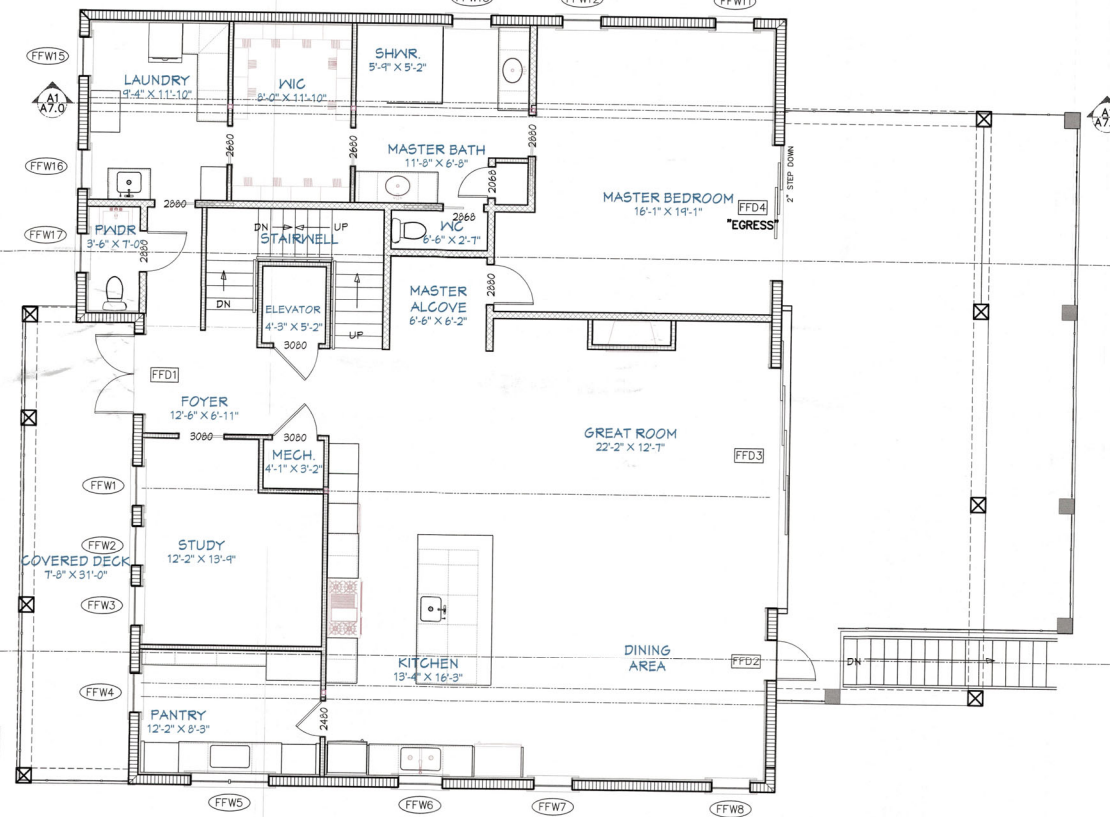
SYMBOL 1ST FLOOR EXTERIOR DOOR SCHEDULE

MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER	WALL THICKNESS
FFD1	64" WIDE X 80" HIGH	EXTERIOR DOOR	# F. HEADER	CONC.	8" CMU	8" CMU
FFD2	32" WIDE X 80" HIGH	DOUBLE DOOR	# F. HEADER	CONC.	8" CMU	8" CMU
FFD3	102" WIDE X 80" HIGH	EXTERIOR DOOR	# F. HEADER	CONC.	8" CMU	8" CMU
FFD4	102" WIDE X 80" HIGH	EXTERIOR DOOR	# F. HEADER	CONC.	8" CMU	8" CMU

**EGRESS OPENING REQUIREMENTS:**  
 1029.2 MINIMUM SIZE - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53M2).  
 EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE GRADE-LEVEL OPENINGS SHALL BE 5 SQUARE FEET (0.46M2).  
 SECTION 1029.2.1 MINIMUM DIMENSIONS - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.  
 SECTION 1029.3 MAXIMUM HEIGHT FROM FLOOR - FLORIDA BUILDING CODE 5TH EDITION (2014)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118MM) MEASURED FROM THE FLOOR.  
 SECTION 1029.4 OPERATIONAL CONSTRAINTS - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.  
 BARS, GRILLES, GATES OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLIES WITH SECTION 1029.2 AND SUCH DEVICES SHALL BE RELIABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING. WHERE SUCH BARS, GRILLES, GATES OR SIMILAR DEVICES ARE INSTALLED IN EXISTING BUILDINGS, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11 REGARDLESS OF THE VALUATION OF THE ALTERATION.

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 2. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.  
 3. ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.  
 4. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.  
 5. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**R312.2 WINDOW FALL PROTECTION.**  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW CLEAR OPENING IS LOCATED LESS THAN 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES (1829 MM) ABOVE THE GRADE OR EAVE SURFACE BELOW ON THE EXTERIOR OF THE BUILDING. THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.  
 WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1.



**ELEVATED 1ST FLOOR KEY PLAN**  
 SCALE: 1/4" = 1'-0"

**NOTE:**  
 ALL EXTERIOR WINDOWS/GLASS TO BE IMPACT RATED  
**NOTE:**  
 GC TO VERIFY ALL WINDOW & DOOR SIZES  
 GC TO VERIFY EGRESS LOCATIONS AND SIZES

**NOTE: THESE DRAWINGS ARE NOT TO BE SCALED**

**Plan no.**  
**2021-36 A3.2**

**BLUWATER CONSTRUCTION LLC**  
 15615 RIVER ROAD  
 MYLAKE CITY, FLORIDA 34251  
 LICENSE # CGC1506434  
 941-328-2200  
 GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
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 LONGBOAT KEY FL 34228  
 PID: 7897600008

**JC DRAFTING & DESIGN, INC.**  
 905 FOUNDER AVE. SUITE C  
 SCRAPEA, FLORIDA 32215  
 Phone (941) 925-0009, Cell (941) 378-2047  
 jon@jcdraftinganddesigninc.com  
 Jon R. Coulthurst, President

**REVISIONS:**

NO.	DESCRIP:	BY	DATE
1	BLDG / COM / CLIENT CHANGES	JJC	4/22/22

**DATE:** 12-23-2021  
**SCALE:** AS SHOWN  
**SHEET TITLE:**  
 ELEVATED 1ST FLOOR KEY PLAN WINDOW AND DOOR SCHEDULE  
**SHEET NO.**  
**A3.2**

**RECEIVED**  
 MAY 23 2022  
 JON R. COULTHURST, PRESIDENT

**BUILDING AREAS**

NAME	TYPE	AREA
ELEVATED 1ST FLOOR	A/C	2372 SF
ELEVATED 2ND FLOOR	A/C	1820 SF
TOTAL A/C 1ST AND 2ND LEVELS	A/C	4192 SF
GROUND FLOOR FOYER	AMBIENT A/C	230 SF
GROUND COVERED ENTRY	NON A/C	386 SF
GROUND REAR COVERED AREA	NON A/C	800 SF
GROUND FLOOR GARAGE/STOR.	NON A/C	1998 SF
GROUND FLOOR COVERED STAIRS	NON A/C	49 SF
ELEVATED 1ST FLOOR ENTRY DECK	NON A/C	✓242 SF
ELEVATED 1ST FLOOR COVERED DECK	NON A/C	✓560 SF
ELEVATED 1ST FLOOR OPEN DECK	NON A/C	✓126 SF
ELEVATED 2ND FLOOR FRONT DECK	NON A/C	✓195 SF
ELEVATED 2ND FLOOR COVERED DECK	NON A/C	✓560 SF
TOTAL LIVING AREA ALL LEVELS		9338 SF

16837 = 7655 #

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**Plan no.**  
2021-36 A4.0

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941-322-2200  
GC SIGNATURE

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LONGBOAT KEY FL 34228  
PID: 7897600008

**JC DRAFTING & DESIGN INC.**  
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PHONE (941) 955-3009 CELL (941) 376-2047  
WWW.JCDRAFTINGANDDESIGN.COM  
JUN R. COULHURST - PRESIDENT

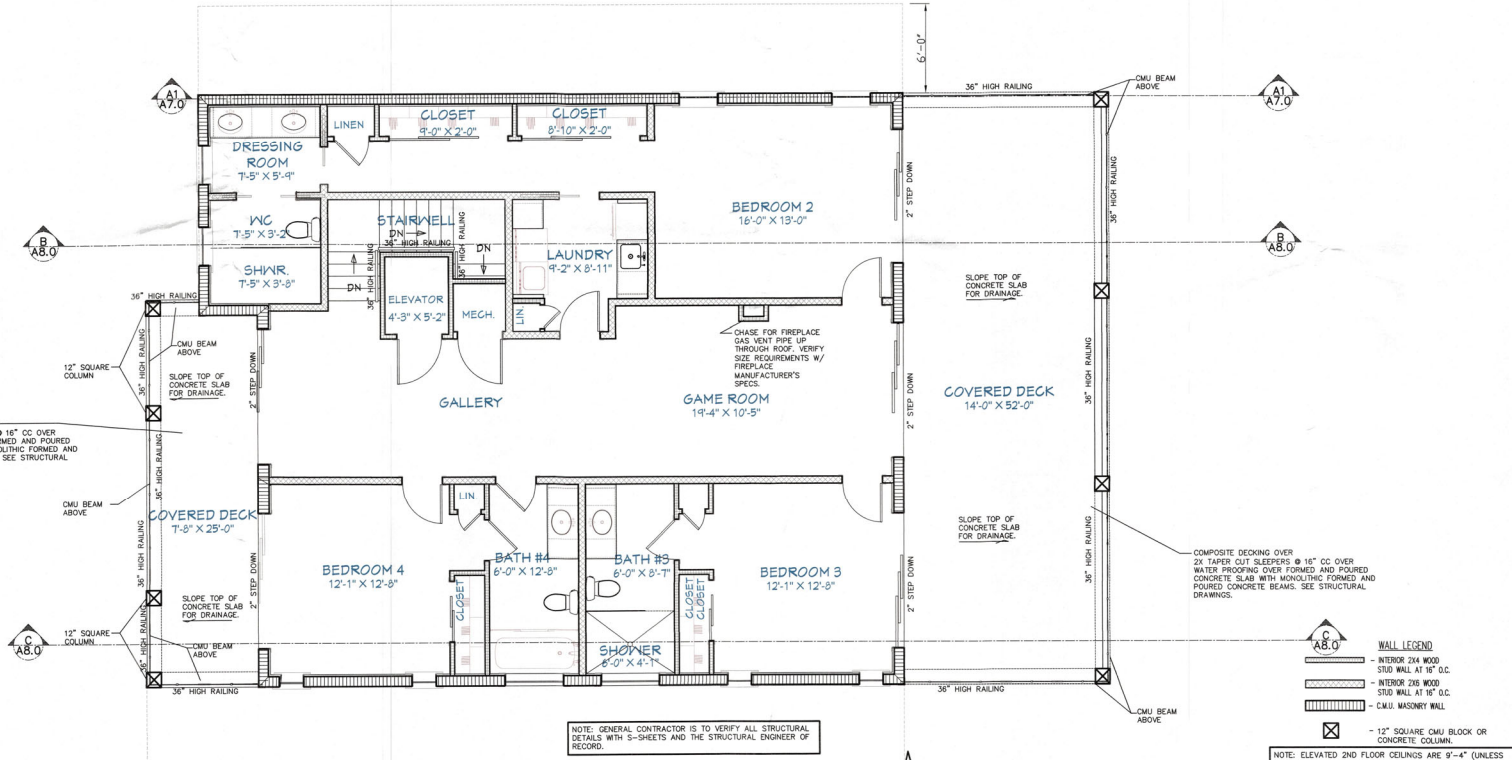
**REVISIONS:**

NO.	DESCRIP:	BY	DATE
1	COM. / CLIENT CHANGES	JJC	1/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:  
ELEVATED 2ND FLOOR PLAN AND ROOF TOP DECK PLAN  
SHEET NO.  
**A4.0**



**ELEVATED 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

- INTERIOR 2x4 WOOD STUD WALL AT 16" O.C.
- INTERIOR 2x6 WOOD STUD WALL AT 16" O.C.
- CMU MASONRY WALL
- 12" SQUARE CMU BLOCK OR CONCRETE COLUMN

NOTE: ELEVATED 2ND FLOOR CEILING IS 9'-4" (UNLESS NOTED OTHERWISE).

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

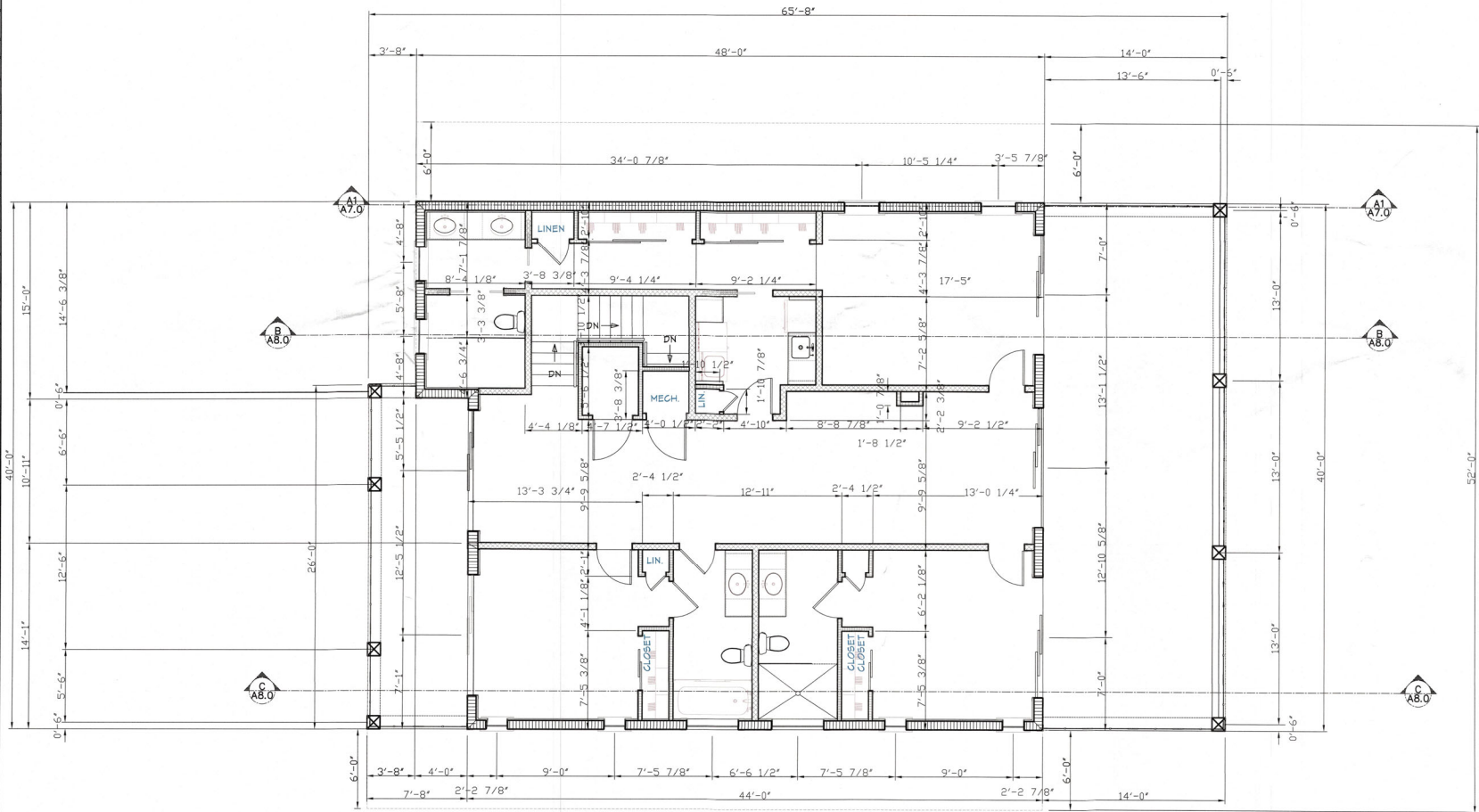
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MAY 23 2022  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

NOTE: ALL WINDOW AND DOOR SIZES ARE APPROXIMATE. GENERAL CONTRACTOR TO VERIFY ALL FINAL SIZES AND ADJUST OPENINGS AS NEEDED. GENERAL CONTRACTOR TO VERIFY ALL CENTER LINE LOCATIONS AND HEADER HEIGHTS.

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**ELEVATED 2ND FLOOR DIMENSIONAL PLAN**

SCALE: 1/4" = 1'-0"

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Plan no.

2021-36 A4.1

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 MYAKKA CITY, FLORIDA 34251  
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 www.jcdraftinganddesigninc.com  
 Jon R. Coulthurst, President

REVISIONS:

NO.	DESCRIP.	BY	DATE
1	BLDG. CON. / CLIENT CHANGES	JJC	4/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:

2ND ELEVATED FLOOR PLAN AND ROOF TOP DECK DIMENSIONAL PLAN  
 SHEET NO. **A4.1**



2ND FLOOR WINDOW & DOOR SCHEDULE					
MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER WALL THICKNESS
SFW1	32" WIDE X 72" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW2	32" WIDE X 72" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW3	20" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW4	20" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW5	48" WIDE X 24" HIGH	FIXED	#1 HEADER	CONC.	8" CGU
SFW6	48" WIDE X 24" HIGH	FIXED	#1 HEADER	CONC.	8" CGU
SFW7	20" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW8	20" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW9	32" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU
SFW10	32" WIDE X 54" HIGH	SINGLE CASEMENT	#1 HEADER	CONC.	8" CGU

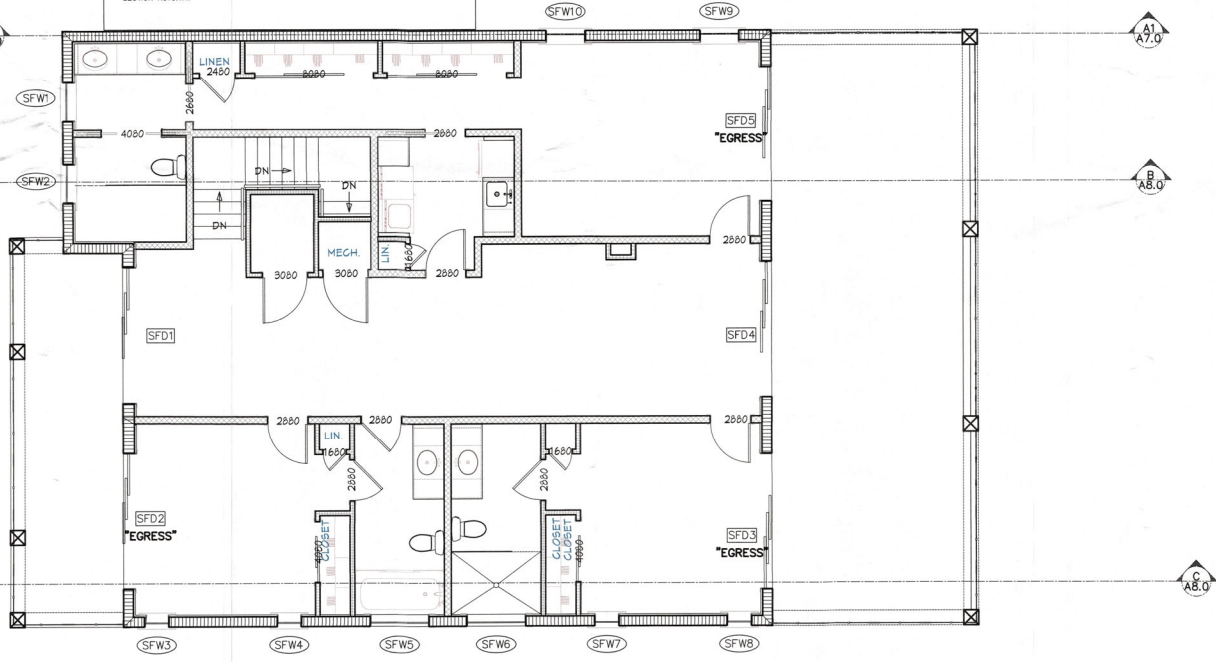
SYMBOL 2ND FLOOR EXTERIOR DOOR SCHEDULE					
MARK	APPROX. OPENING	DESCRIPTION	REMARKS	TYPE	HEADER WALL THICKNESS
SFD1	108" WIDE X 96" HIGH	S.D.O.	#1 HEADER 3 PANEL	CONC.	8" CGU
SFD2	108" WIDE X 96" HIGH	S.D.O.	#1 HEADER 3 PANEL	CONC.	8" CGU
SFD3	108" WIDE X 96" HIGH	S.D.O.	#1 HEADER 3 PANEL	CONC.	8" CGU
SFD4	108" WIDE X 96" HIGH	S.D.O.	#1 HEADER 3 PANEL	CONC.	8" CGU
SFD5	108" WIDE X 96" HIGH	S.D.O.	#1 HEADER 3 PANEL	CONC.	8" CGU

**EGRESS OPENING REQUIREMENTS:**  
 1029.2 MINIMUM SIZE - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53M<sup>2</sup>).  
 EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE FLOOR-TO-FLOOR OPENINGS SHALL BE 5 SQUARE FEET (0.46M<sup>2</sup>).  
 SECTION 1029.2.1 MINIMUM DIMENSIONS - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.  
 SECTION 1029.3 MAXIMUM HEIGHT FROM FLOOR - FLORIDA BUILDING CODE 5TH EDITION (2014)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118MM) MEASURED FROM THE FLOOR.  
 SECTION 1029.4 OPERATIONAL CONSTRAINTS - FLORIDA BUILDING CODE 7TH EDITION (2020)  
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.  
 BARS, GRILLES, GATES OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLIES WITH SECTION 1029.2 AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING. WHERE SUCH BARS, GRILLES, GATES OR SIMILAR DEVICES ARE INSTALLED IN EXISTING BUILDINGS, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.1 REGARDLESS OF THE VALLIATION OF THE ALTERATION.

**R312.2 WINDOW FALL PROTECTION**  
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**ELEVATED 2ND FLOOR KEY PLAN**  
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**2021-36 A4.2**

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 Jon R. Coulthurst, President

**REVISIONS:**

NO.	DESCRIP:	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	1/22/22

**DATE:** 12-23-2021

**SCALE:** AS SHOWN

**SHEET TITLE:**

2ND ELEVATED FLOOR KEY PLAN WINDOW AND DOOR SCHEDULE  
**SHEET NO. A4.2**

**RECEIVED**  
 MAY 23 2022  
 TOWN OF LONGBOAT KEY  
 Planning & Zoning



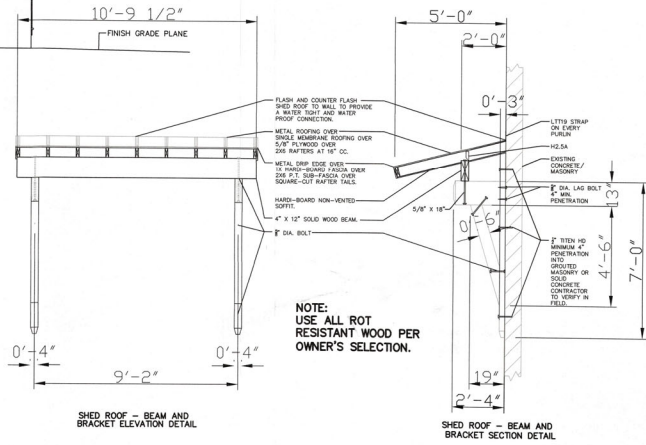
**NOTE:**  
 -ROOF OVERHANGS- 24"(MAX)  
 -ROOF TO BE STANDING SEAM METAL U.N.O.  
 -SOFFIT TO BE HARDI (NON-VENTED)  
 -ROOF PITCH- 4/12



**REAR BUILDING ELEVATION**  
 SCALE: 1/4" = 1'-0"



**LEFT SIDE BUILDING ELEVATION**  
 SCALE: 1/4" = 1'-0"



**NOTE:**  
 USE ALL ROT RESISTANT WOOD PER OWNER'S SELECTION.

**NOTE:**  
 THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF JC DRAFTING & DESIGN INC.'S KNOWLEDGE. THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FLORIDA BUILDING CODES AND THE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCURATE SHALL BE BROUGHT TO THE DESIGNER, STRUCTURAL ENGINEER AND THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND VISIT THE JOB SITE BEFORE BEGINNING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH ADDENDUM DRAWINGS TO BE PROVIDED BY THE DESIGNER ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CRITICAL HEIGHTS. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. ANY STRUCTURAL CHANGES THAT APPEAR TO BE NEEDED ARE TO BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT. WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.  
 1. THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE DESIGNER'S IDENTIFIED AND SPECIFIED ON THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES AND ARE THE PROPERTY OF JC DRAFTING & DESIGN, INC. AND SHALL BE RETURNED IN THE EVENT OF TERMINATION, USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER JC DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.  
 2. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.  
 3. ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.  
 4. DO NOT SCALE ANY DRAWINGS IN THIS SET, APPLIES TO ALL SHEETS.  
 5. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**Plan no.**  
 2021-36 A6.0

**BLUEWATER CONSTRUCTION LLC**  
 12615 RIVER ROAD  
 MIAMI CITY, FLORIDA 34281  
 LICENSE # CGC15066434  
 941-352-2200  
 GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
**DILLON**  
 5950 GULF OF MEXICO DR,  
 LONGBOAT KEY FL 34228  
 PID: 7897600008

**JC DRAFTING & DESIGN INC.**  
 905 PONDER AVE, SUITE C  
 Sarasota, Florida 34232  
 Phone (941) 925-3009 Cell (941) 376-2047  
 www.jcdraftinganddesigninc.com  
 Jon R. Coulthurst, President

REVISIONS:

NO.	DESCRIP.	BY	DATE
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DATE: 12-23-2021

SCALE: AS SHOWN

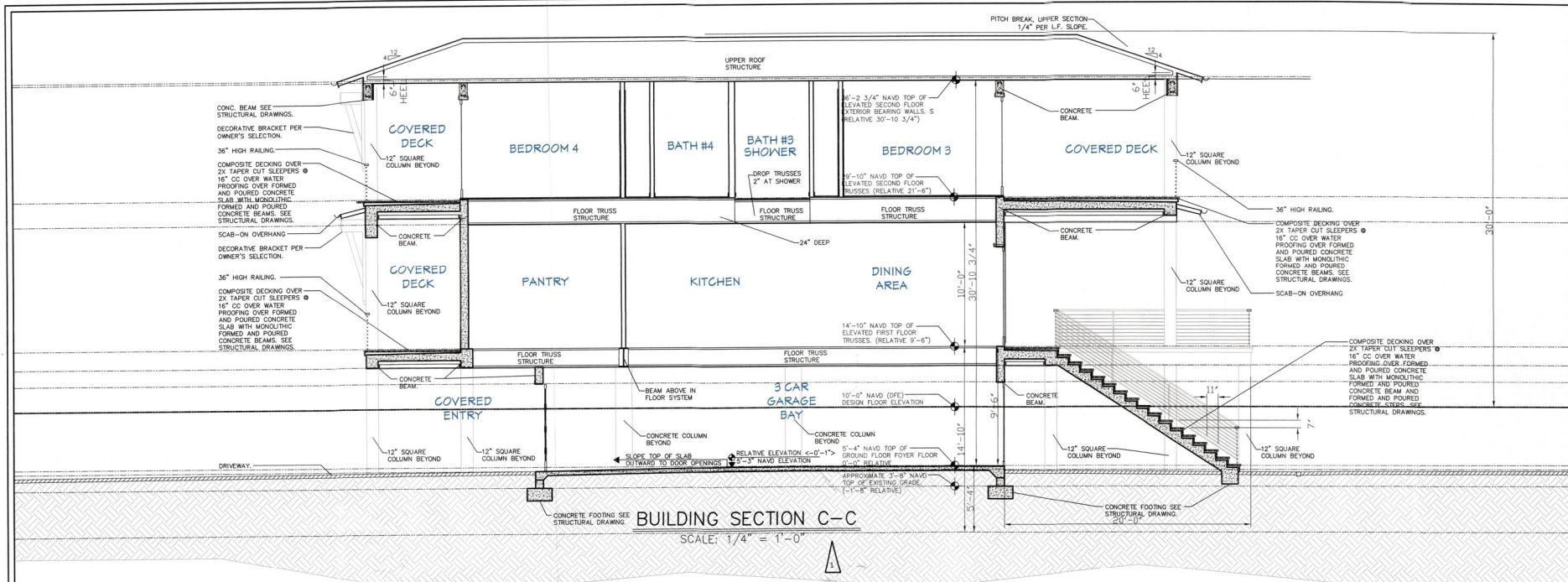
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EXTERIOR BUILDING ELEVATIONS  
 SHEET NO.  
**A6.0**

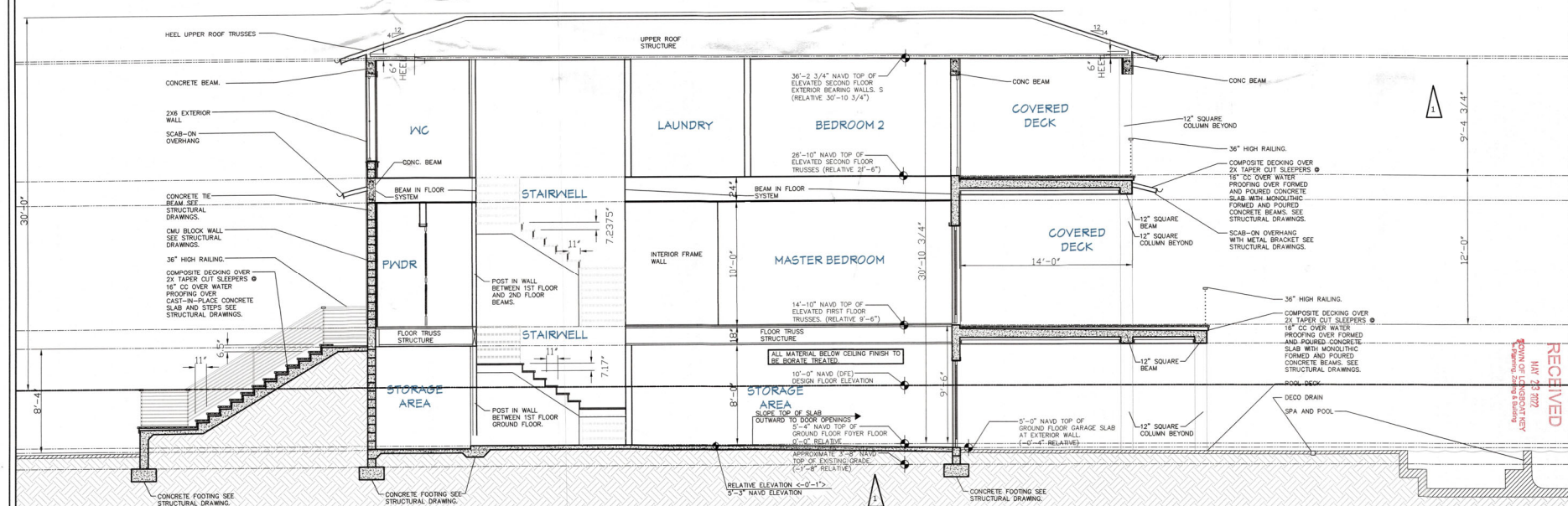
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 TOWN OF LONGBOAT KEY  
 Planning, Zoning & Building







**BUILDING SECTION C-C**  
SCALE: 1/4" = 1'-0"



**BUILDING SECTION B-B**  
SCALE: 1/4" = 1'-0"

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

**Plan no.**  
2021-36 A8.0

**BLUEWATER CONSTRUCTION LLC**

12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34281  
LICENSE # CGC1506434  
941-322-2200

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**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

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John R. Coulthart, President

REVISIONS:

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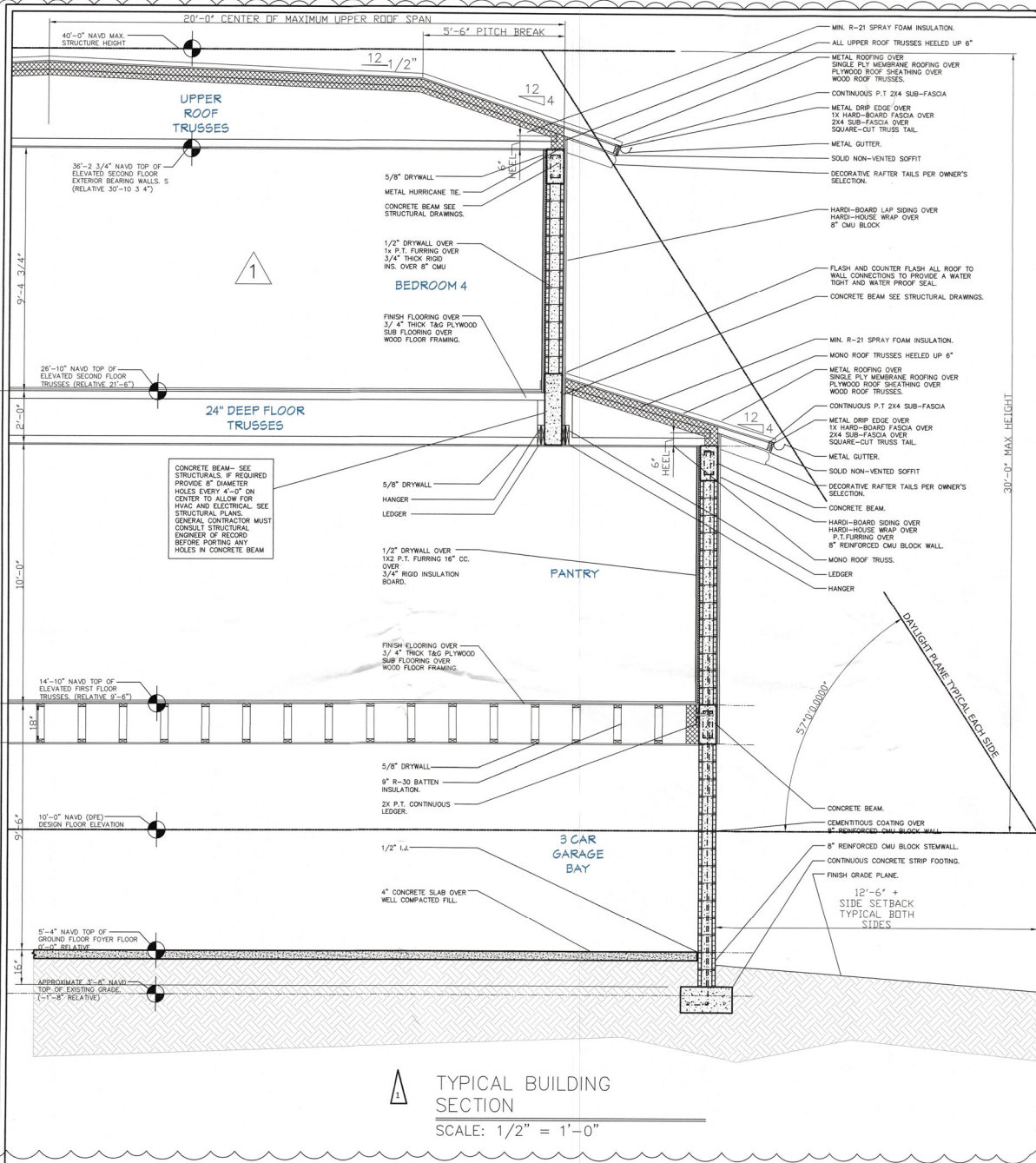
DATE: 4-14-2022

SCALE: AS SHOWN

SHEET TITLE:  
BUILDING CROSS SECTIONS B-B AND C-C  
SHEET NO.  
**A8.0**

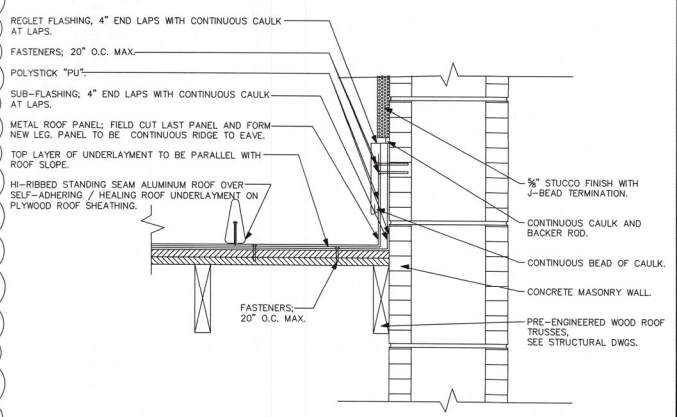
RECEIVED  
 MAY 23 2022  
 JOHN R. COULTHART  
 OWNER OF CONSTRUCTION





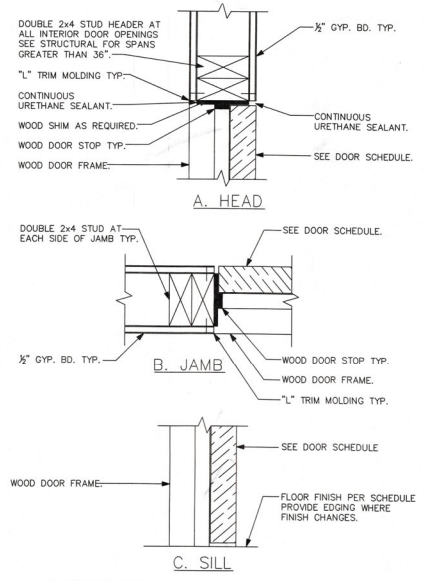
TYPICAL BUILDING SECTION  
SCALE: 1/2" = 1'-0"

\* THESE DRAWINGS ARE NOT TO BE SCALED. \*



1. ALL CAULKING AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AS PER ROOFING SPECIFICATIONS.
2. FIELD CUT LAST PANEL AND FORM NEW LEG. PANEL MUST BE CONTINUOUS RIDGE TO EAVE.

STANDING SEAM FLASHING @ EXTERIOR CMU WALL  
NOT TO SCALE



INTERIOR SWING DOOR DETAIL  
NOT TO SCALE

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

Plan no.  
**2021-36 A10.0**

**BLUWATER CONSTRUCTION LLC**  
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LICENSE # CGC1506434  
941-322-2200  
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CUSTOM RESIDENCE FOR:  
**DILLON**  
5950 GULF OF MEXICO DR.,  
LONGBOAT KEY FL 34228  
PID: 7897600008

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REVISIONS:

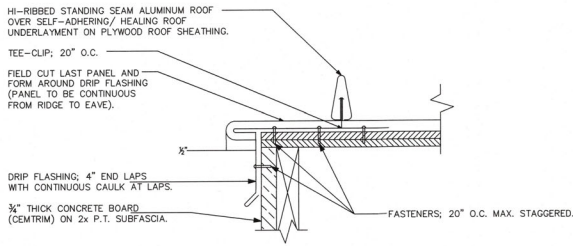
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DATE: 4-14-2022

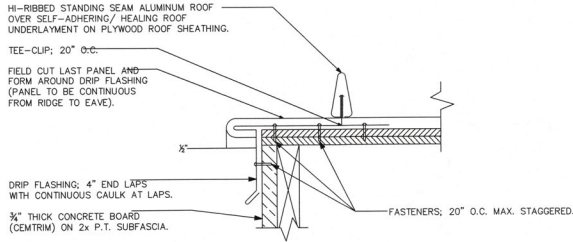
SCALE: AS SHOWN

SHEET TITLE:  
TYPICAL DETAILS  
SHEET NO.  
**A10.0**

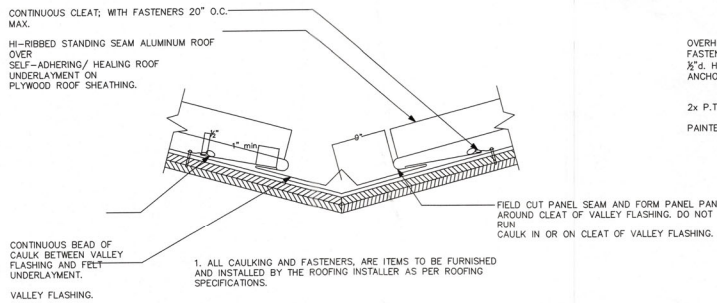
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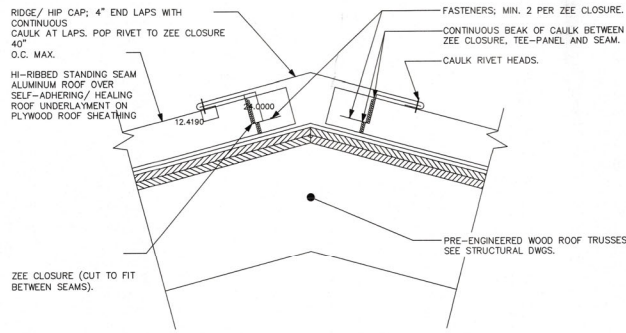
STANDING SEAM  
EDGE FLASHING DETAIL



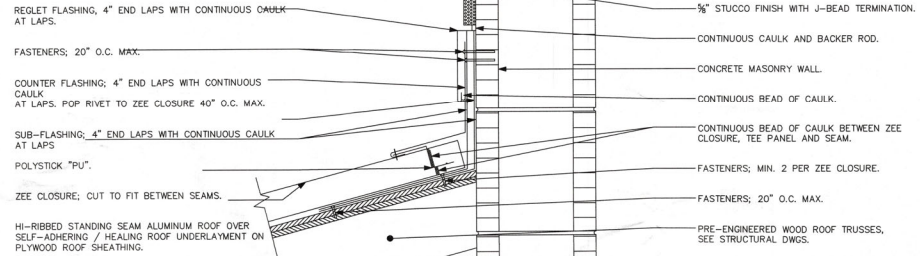
STANDING SEAM  
EDGE FLASHING DETAIL  
NOT TO SCALE



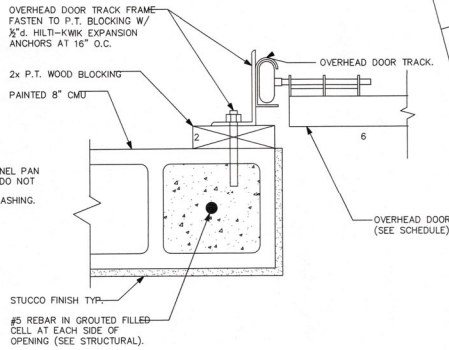
STANDING SEAM  
VALLEY FLASHING  
DETAIL  
NOT TO SCALE



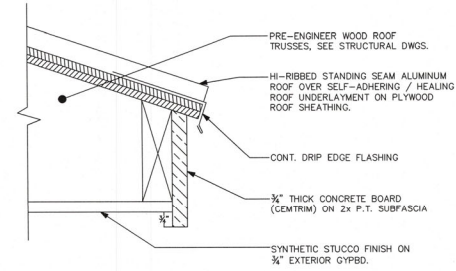
STANDING SEAM  
RIDGE / HIP DETAIL  
NOT TO SCALE



STANDING SEAM  
FLASHING @ EXTERIOR CMU  
NOT TO SCALE



OVERHEAD GARAGE DOOR  
JAMB DETAIL  
NOT TO SCALE



STANDING SEAM  
EAVE / SOFFIT DETAIL  
NOT TO SCALE

\* THESE DRAWINGS ARE NOT TO BE SCALED. \*

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

Plan no.

2021-36 A11.0

BLUWATER CONSTRUCTION LLC

12615 RIVER ROAD  
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LICENSE # CGC1506434

941-322-2200

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CUSTOM RESIDENCE FOR:

DILLON

5950 GULF OF MEXICO DR,  
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jen@janddraftingdesigninc.com  
www.janddraftingdesigninc.com  
Jen R. Colquhoun, President

REVISIONS:

NO.	DESCRIP.	BY	DATE
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DATE: 12-23-2021

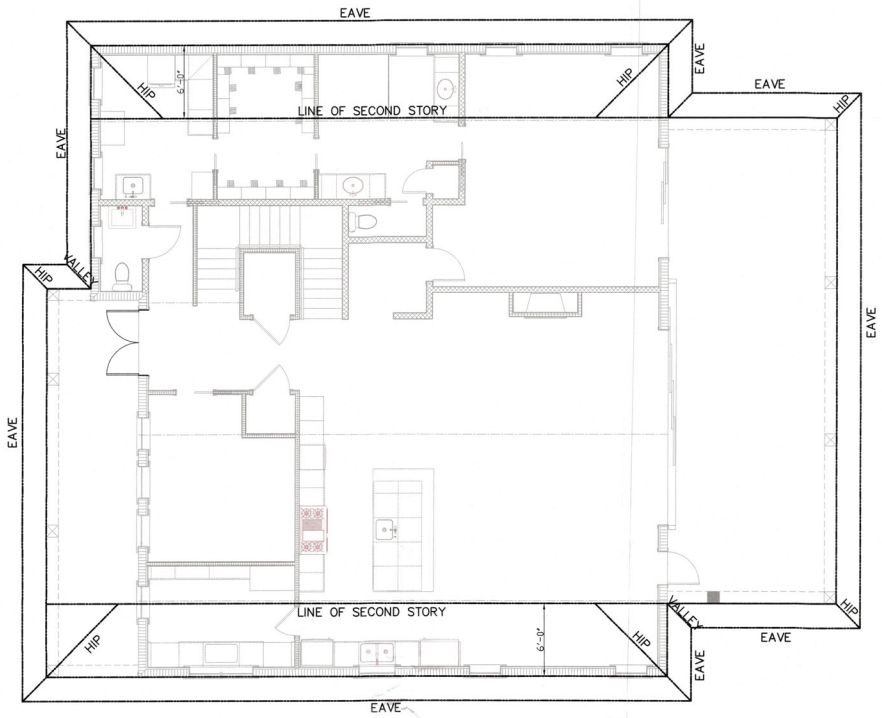
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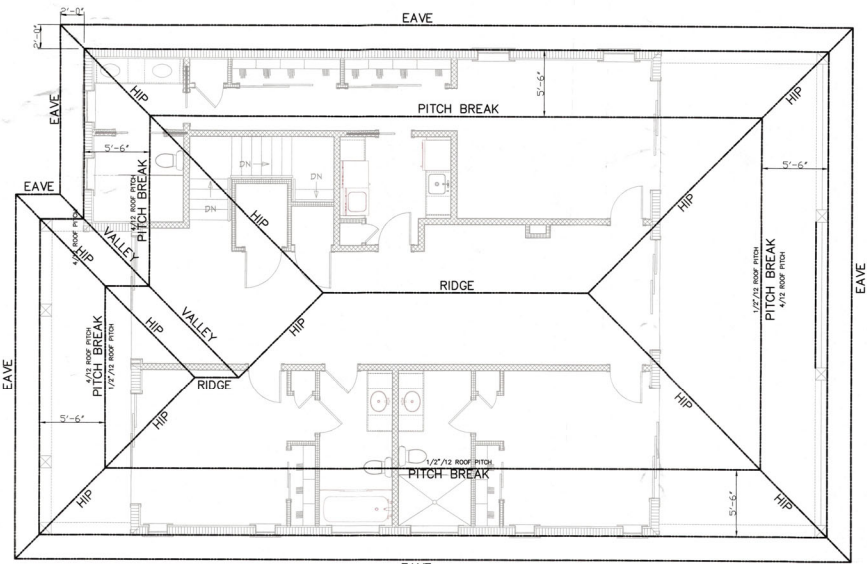
TYPICAL DETAILS  
SHEET NO.

A11.0

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ROOM OF LONGBOAT KEY



LOWER ROOF PLAN  
SCALE: NO SCALE



NOTE: UPPER ROOF IS NOT TO EXCEED 30'-0"  
ABOVE 10'-0" NAVD

UPPER ROOF PLAN  
SCALE: NO SCALE



\* THESE DRAWINGS ARE NOT TO BE SCALED. \*

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

Plan no.

2021-36 A12.0

**BLUEWATER CONSTRUCTION LLC**  
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SHEET TITLE:  
ROOF PLAN  
SHEET NO.  
**A12.0**

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**ELECTRICAL KEY**

- ⊕ ground fault circuit interrupter
- ⊕ duplex receptacle 110v
- ⊕ 220v receptacle
- ⊕ waterproof duplex receptacle
- ⊕ ceiling receptacle
- ⊕ recessed floor receptacle
- ⊕ t.v. antenna outlet
- ⊕ phone outlet
- ⊕ single pole switch
- ⊕ three way switch
- ⊕ four way switch
- ⊕ dimmer switch
- ⊕ push button
- ⊕ door bell
- ⊕ intercom speaker
- ⊕ master intercom unit
- ⊕ garbage disposal
- ⊕ instant hot water dispenser
- ⊕ central vacuum unit
- ⊕ junction box
- ⊕ 220v DISCONNECT
- ⊕ smoke detector w/ carbon monoxide detector
- ⊕ thermostat
- ⊕ chimes
- ⊕ recess mounted can
- ⊕ recess mounted eyeball spot
- ⊕ recess mounted light fixture
- ⊕ water/vaporproof r.m.c.
- ⊕ flood lights
- ⊕ heat lamps
- ⊕ exhaust fan
- ⊕ exhaust fan w/light
- ⊕ exhaust fan w/heat & light
- ⊕ exhaust fan at range hood
- ⊕ wall mounted fixture
- ⊕ porcelain fixture w/pull cord
- ⊕ ceiling mounted light fixture
- ⊕ standard 2-lite wrapped fluorescent #LB240
- ⊕ ceiling fan
- ⊕ ceiling fan w/light
- ⊕ pre-wire & block for ceiling fan

**NOTE:**  
PROVIDE LIGHT AT SWITCH AT ALL  
ATTIC ACCESS LOCATIONS

**NOTE:**  
LOCATION OF ALL FLOOR OUTLETS, CEILING  
FIXTURES AND FANS TO BE DETERMINED IN FIELD

**NOTE:**

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4. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.

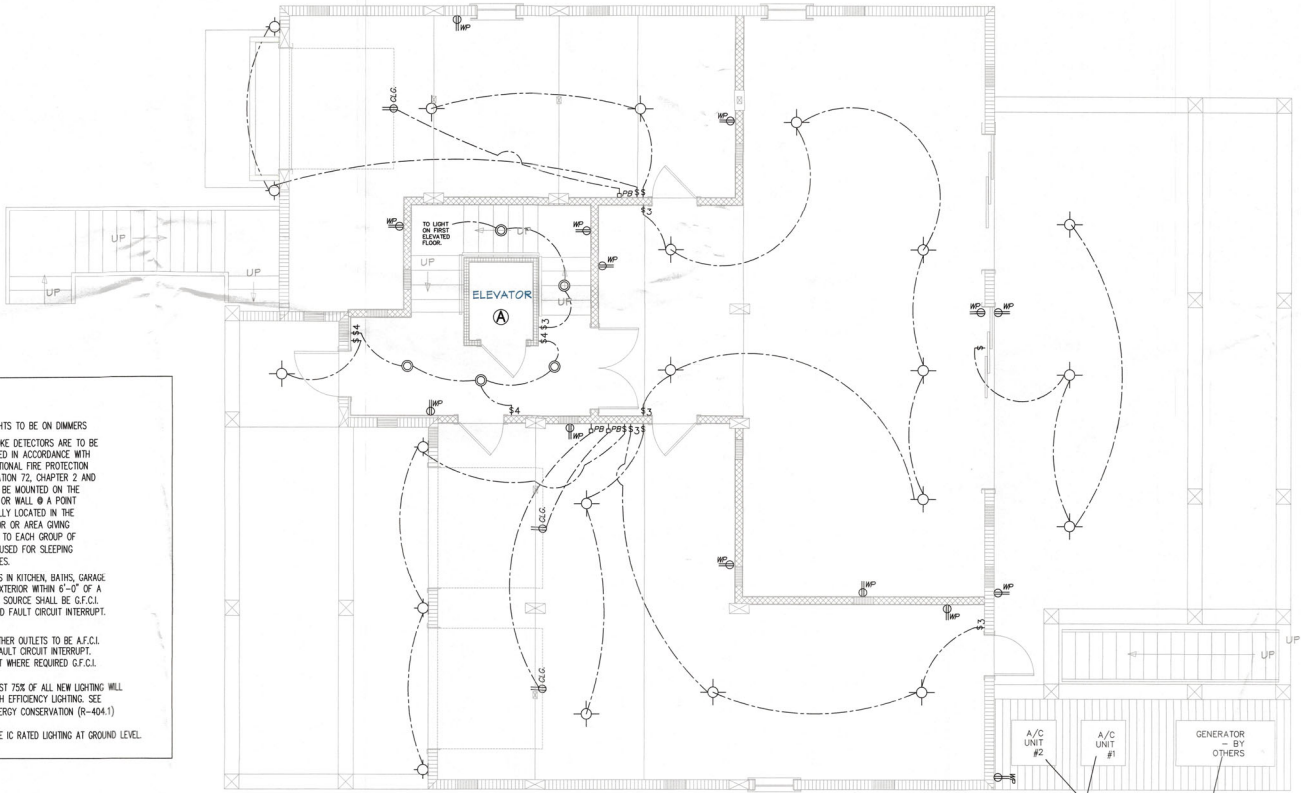
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**NOTE: FINAL LOCATIONS OF ALL NEW OR RELOCATED CEILING RECESSED LIGHT FIXTURES, FANS, FAN/LIGHT FIXTURES, CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, EXHAUST FANS AND HVAC SUPPLY AND RETURN AIR GRILLS TO BE DETERMINED IN THE FIELD, BY GENERAL CONTRACTOR AND SUB CONTRACTOR.**

**A - ELEVATOR:**  
PROVIDE DEDICATED 208/230 VOLTS, 30 AMP SINGLE PHASE, 60 HERTZ, 3 POLE CIRCUIT WIRE TO SUIT A 30 AMP SERVICE, FUSED FOR 20 AMP DUAL ELEMENT (TIME DELAY FUSE) WITH NEUTRAL. 115 VOLT, 15 AMP SINGLE PHASE CIRCUIT FOR CAR LIGHTING. PROVIDE PHONE LINE. ELECTRICAL CONTRACTOR TO VERIFY.

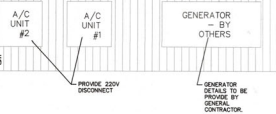
**ELECTRICAL NOTES**

1. ALL ELECTRICAL TO MEET 2020 N.E.C.
2. PROVIDE SINGLE PHASE SERVICE (UNDERGROUND)
3. PROVIDE ALL COPPER WIRING.
4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES.
5. CONTRACTOR TO HAVE VALID & CURRENT LICENSE TO DO ELECTRICAL WORK.
6. PROVIDE A MINIMUM OF 20 FEET OF NO. 4 AWG OR LARGER BARE COPPER ELECTRODE COMPLETELY ENCASED WITHIN THE CONCRETE FOOTING, EXITING THROUGH A NONMETALLIC SLEEVE.
7. NEW LIGHTS TO BE ON DIMMERS
8. ALL SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION 72 CHAPTER 2 AND ARE TO BE MOUNTED ON THE CEILING OR WALL @ A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH GROUP OF ROOMS USED FOR SLEEPING PURPOSES.
9. OUTLETS IN KITCHEN, BATHS, GARAGE AND EXTERIOR WITHIN 6'-0" OF A WATER SOURCE SHALL BE G.F.C.I. GROUND FAULT CIRCUIT INTERRUPT.
10. ALL OTHER OUTLETS TO BE A.F.C.I. ARC FAULT CIRCUIT INTERRUPT EXCEPT WHERE REQUIRED G.F.C.I.
11. AT LEAST 75% OF ALL NEW LIGHTING WILL BE HIGH EFFICIENCY LIGHTING. SEE FB-ENERGY CONSERVATION (R-404.1)
12. PROVIDE IC RATED LIGHTING AT GROUND LEVEL.



**GROUND FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

LOCATION OF OUT DOOR SHOWER VERIFY WITH OWNER, HEAD REQUIRED TO BE AT OR ABOVE DESIGN FLOOR ELEVATION OF 10'-0" NAVD. CONTROLS ARE ALLOWED BELOW DFE.



**NOTE: THESE DRAWINGS ARE NOT TO BE SCALED**

**Plan no.**  
**2021-36 E1.0**

**BLUEWATER CONSTRUCTION LLC**  
12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34851  
LICENSE # CGC1506434  
941-322-2200  
GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

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Jon R. Coulthurst, President

**REVISIONS:**

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**DATE:** 12-23-2021

**SCALE:** AS SHOWN

**SHEET TITLE:**

GROUND FLOOR ELECTRICAL PLAN  
SHEET NO.

**E1.0**

**RECEIVED**  
 APR 23 2022  
 TOWN OF LONGBOAT KEY  
 Planning & Building Department

- ELECTRICAL KEY**
- ⊕ GFI ground fault circuit interrupter
  - ⊕ 220V receptacle
  - ⊕ waterproof duplex receptacle
  - ⊕ ceiling receptacle
  - ⊕ recessed floor receptacle
  - ⊕ i.v. antenna outlet
  - ⊕ single pole switch
  - ⊕ three way switch
  - ⊕ four way switch
  - ⊕ dimmer switch
  - ⊕ push button
  - ⊕ door bell
  - ⊕ intercom speaker
  - MASTER 1/2 master intercom unit
  - garbage disposal
  - instant hot water dispenser
  - central vacuum unit
  - junction box
  - 220V 1500W/20A
  - smoke detector w/ carbon
  - monoxide detector
  - thermostat
  - chimes
  - recess mounted can
  - recess mounted eyeball spot
  - recess mounted light fixture
  - water/vaporproof r.m.c.
  - flood lights
  - heat lamps
  - exhaust fan
  - exhaust fan w/heat

- exhaust fan w/light
- exhaust fan w/heat & light
- exhaust fan at range hood
- wall mounted fixture
- porcelain fixture w/pull cord
- ceiling mounted light fixture
- ceiling fan
- ceiling fan w/light
- pre-wire & block for ceiling fan
- standard 2-lite wrapped fluorescent #LB240

**NOTE:**  
PROVIDE LIGHT AT SWITCH AT ALL ATTIC ACCESS LOCATIONS

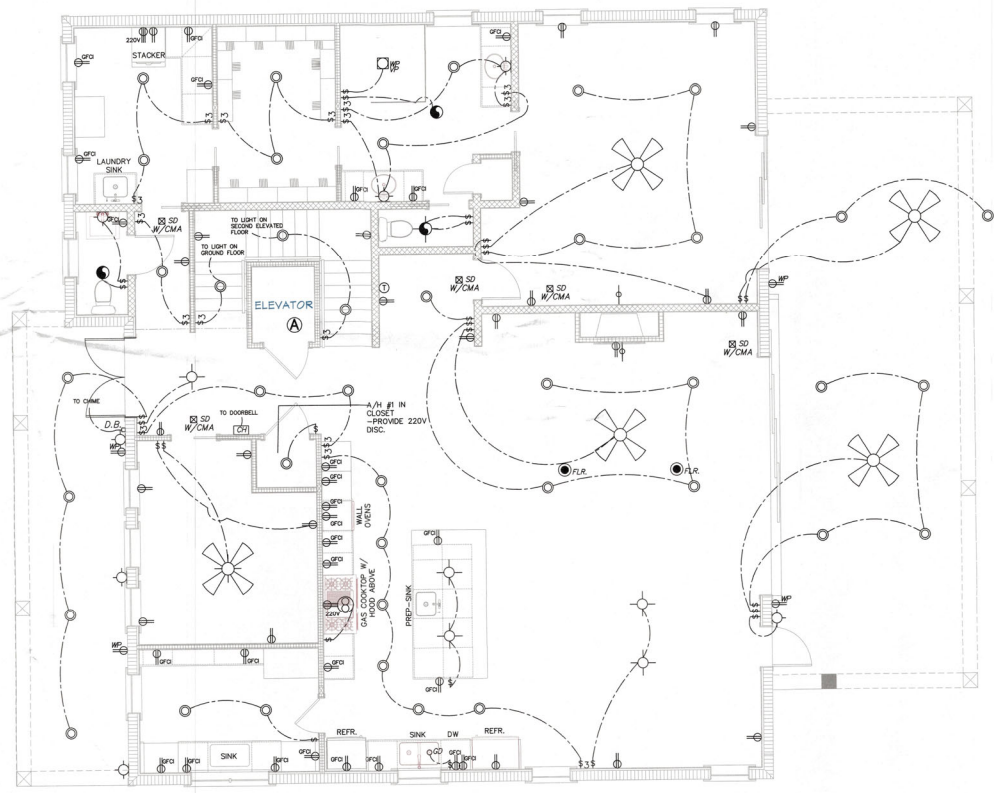
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LOCATION OF ALL FLOOR OUTLETS, CEILING FIXTURES AND FANS TO BE DETERMINED IN FIELD

**NOTE:** FINAL LOCATIONS OF ALL NEW OR RELOCATED CEILING RECESSED LIGHT FIXTURES, FANS, FAN/LIGHT FIXTURES, CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, EXHAUST FANS AND HVAC SUPPLY AND RETURN AIR GRILLS TO BE DETERMINED IN THE FIELD, BY GENERAL CONTRACTOR AND SUB CONTRACTOR.

**NOTE:**  
THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF JC DRAFTING & DESIGN, INC.'S KNOWLEDGE. THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FLORIDA BUILDING CODES AND FIRE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCUATE SHALL BE BROUGHT TO THE DESIGNER, STRUCTURAL ENGINEER AND THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND WITH ADDITIONAL DRAWINGS TO BE PROVIDED BY THE DESIGNER ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CRITICAL HEIGHTS. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. ANY STRUCTURAL CHANGES THAT ARE NEEDED ARE TO BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT. WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE DESIGNER'S DESIGN AND SPECIFICATIONS ARE THE PROPERTY OF JC DRAFTING & DESIGN, INC. AND SHALL BE RETURNED IN THE EVENT OF TERMINATION OF THIS CONTRACT. ANY REPRINTS OR COPIES OF ANY CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER JC DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LAWSUIT CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.
- ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
- DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.
- ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.



**NOTE:**  
PROVIDE POWER FOR ROLL DOWN SCREENS

**NOTE:** CONTRACTOR TO PROVIDE SMOKE ALARM AT TOP AND BOTTOM OF STAIRS, INTERCONNECTED WITH ALL OF THE OTHERS, ON PLAN.

**ELEVATED 1ST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE:** THESE DRAWINGS ARE NOT TO BE SCALED

**Plan no.**  
**2021-36 E2.0**

**BLUWATER CONSTRUCTION LLC**  
12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34251  
LICENSE # CBC1506434  
941-322-2200  
GC SIGNATURE

**CUSTOM RESIDENCE FOR:**  
**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

**JC DRAFTING & DESIGN, INC.**  
9005 PONDER AVE. SUITE C  
Sarasota, Florida 34232  
www.jcdraftinganddesigninc.com  
John R. Coulthurst, President

**REVISIONS:**

NO.	DESCRIP.	BY	DATE
1	BLDG. COM. / CLIENT CHANGES	JJC	4/22/22

**DATE:** 12-23-2021

**SCALE:** AS SHOWN

**SHEET TITLE:**  
ELEVATED 1ST FLOOR ELECTRICAL PLAN  
**SHEET NO.**  
**E2.0**

**RECEIVED**  
 JAN 23 2022  
 TOWN OF LONGBOAT  
 Planning & Zoning

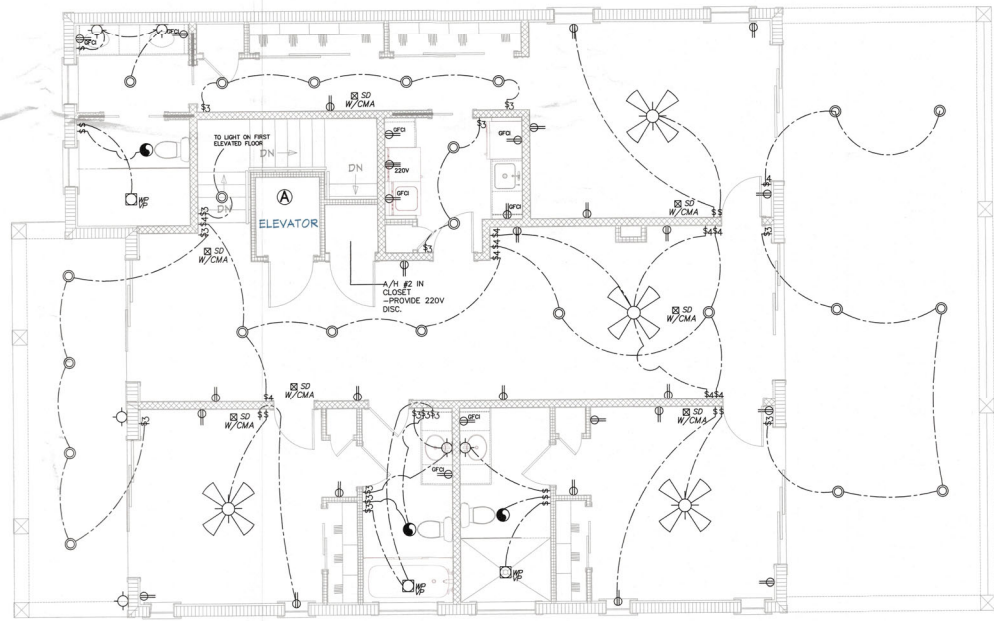


- ELECTRICAL KEY**
- ⊖ ground fault circuit interrupter
  - ⊕ duplex receptacle 110v
  - ⊕ 220v receptacle
  - ⊕ waterproof duplex receptacle
  - ⊕ ceiling receptacle
  - ⊕ recessed floor receptacle
  - ⊕ t.v. antenna outlet
  - ⊕ phone outlet
  - ⊕ single pole switch
  - ⊕ three way switch
  - ⊕ four way switch
  - ⊕ dimmer switch
  - ⊕ push button
  - ⊕ door bell
  - ⊕ intercom speaker
  - MASTER ⊕ master intercom unit
  - ⊕ garbage disposal
  - ⊕ instant hot water dispenser
  - ⊕ central vacuum unit
  - ⊕ junction box
  - ⊕ 220V DISCONNECT
  - ⊕ smoke detector w/ carbon monoxide detector
  - ⊕ thermostat
  - ⊕ chimes
  - ⊕ recess mounted can
  - ⊕ recess mounted eyeball spot
  - ⊕ recess mounted light fixture
  - ⊕ water/vaporproof r.m.c.
  - ⊕ flood lights
  - ⊕ heat lamps
  - ⊕ exhaust fan
  - ⊕ exhaust fan w/heat
  - ⊕ exhaust fan w/light
  - ⊕ exhaust fan w/heat & light
  - ⊕ exhaust fan at range hood
  - ⊕ wall mounted fixture
  - ⊕ porcelain fixture w/pull cord
  - ⊕ ceiling mounted light fixture
  - ⊕ standard 2-lite wrapped fluorescent #LB240
  - ⊕ ceiling fan
  - ⊕ ceiling fan w/light
  - ⊕ pre-wire & block for ceiling fan

**NOTE:**  
PROVIDE LIGHT AT SWITCH AT ALL ATTIC ACCESS LOCATIONS

**NOTE:**  
LOCATION OF ALL FLOOR OUTLETS, CEILING FIXTURES AND FANS TO BE DETERMINED IN FIELD

NOTE: FINAL LOCATIONS OF ALL NEW OR RELOCATED CEILING RECESSED LIGHT FIXTURES, FANS, FAN/LIGHT FIXTURES, CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, EXHAUST FANS AND HVAC SUPPLY AND RETURN AIR GRILLS TO BE DETERMINED IN THE FIELD, BY GENERAL CONTRACTOR AND SUB CONTRACTOR.



NOTE: CONTRACTOR TO PROVIDE SMOKE ALARM AT TOP AND BOTTOM OF STAIRS, INTERCONNECTED WITH ALL OF THE OTHERS, ON PLAN.

**ELEVATED 2ND FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

**NOTE:**  
THE DESIGN AND DRAWINGS REPRESENT THE CONCEPTS, LAYOUTS AND MATERIALS AS APPROVED BY THE HOMEOWNER. THE DRAWINGS HAVE BEEN DONE TO THE BEST OF JC DRAFTING & DESIGN, INC.'S KNOWLEDGE. THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FLORIDA BUILDING CODES AND FIRE SAFETY STANDARDS AND ANY CONDITIONS WHICH APPEAR TO BE INACCUATE SHALL BE BROUGHT TO THE DESIGNER, STRUCTURAL ENGINEER AND THE GENERAL CONTRACTOR'S ATTENTION AND CORRECTED. THE GENERAL CONTRACTOR SHALL EXAMINE THE PLANS COMPLETELY AND VISIT THE JOB SITE BEFORE BEGINNING CONSTRUCTION ON THIS PROJECT. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STRUCTURE CAN BE CONSTRUCTED AS DRAWN OR WITH ADDENDUM DRAWINGS TO BE PROVIDED BY THE DESIGNER ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CRITICAL HEIGHTS. IT WILL ALSO BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND MEET ALL STATE AND LOCAL BUILDING CODES. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING. ANY STRUCTURAL CHANGES THAT APPEAR TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT, WORK IS NOT TO PROCEED UNTIL ALL DISCREPANCIES ARE CORRECTED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE DESIGNER IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THESE PLANS AND DESIGN CONCEPTS ARE THE INTELLECTUAL PROPERTY OF JC DRAFTING & DESIGN, INC. NO CHANGE TO THESE DRAWINGS MAY BE MADE WITHOUT A WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. UNAUTHORIZED USE IS PROHIBITED. THE WRITTEN CONSENT FROM JC DRAFTING & DESIGN, INC. SHALL BE RETURNED TO THE DESIGNER. THESE PLANS WITHOUT THE WRITTEN APPROVAL OF JC DRAFTING & DESIGN, INC. SHALL AUTOMATICALLY RENDER JC DRAFTING & DESIGN, INC. AND ITS EMPLOYEES HARMLESS TO ANY LIABILITY CLAIMS, SUIT OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH GOVERNING CODES.
2. ALL MANUFACTURER'S PRODUCTS AND MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
3. DO NOT SCALE ANY DRAWINGS IN THIS SET. APPLIES TO ALL SHEETS.
4. ALL DIMENSIONS ARE TO ROUGH CONSTRUCTION UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.

**NOTE:**  
PROVIDE POWER FOR ROLL DOWN SCREENS

**Plan no.**  
**2021-36 E3.0**

**BLUEWATER CONSTRUCTION LLC**  
12615 RIVER ROAD  
MYAKKA CITY, FLORIDA 34251  
LICENSE # CGC1506434  
941-322-2200  
GC SIGNATURE

CUSTOM RESIDENCE FOR:  
**DILLON**  
5950 GULF OF MEXICO DR,  
LONGBOAT KEY FL 34228  
PID: 7897600008

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905 PONDER AVE., SUITE C  
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Fax: (841) 935-3009  
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www.jcdraftinganddesigninc.com  
Jan H. Contreras, President

REVISIONS:

NO.	DESCRIP.	BY	DATE
1	BUILDING, COM. / CLIENT CHANGES	11C	4/22/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:  
2ND ELEVATED FLOOR PLAN AND ROOF TOP DECK ELECTRICAL PLAN  
SHEET NO.  
**E3.0**

NOTE: THESE DRAWINGS ARE NOT TO BE SCALED

**STRUCTURAL NOTES**

**GENERAL NOTES:** THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER CONSTRUCTION DOCUMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND SITE DRAWINGS.

ALL CONDITIONS, ELEVATIONS, AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND WITH THE OTHER CONSTRUCTION DOCUMENTS BY THE CONTRACTOR. ANY DISCREPANCIES RELATED TO THESE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT OR STRUCTURAL ENGINEER IMMEDIATELY. NO REPAIRS OR PROCEEDING WITH THE EXECUTION OF WORK.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE PROPER PROCEDURE AND SEQUENCE OF CONSTRUCTION TO ENSURE THE SAFETY OF THE BUILDING, ITS COMPONENTS AND PERSONNEL ON SITE. THIS INCLUDES TEMPORARY SUPPORT OF STRUCTURE DURING CONSTRUCTION WHICH MAY INCLUDE, BUT IS NOT LIMITED TO, TEMPORARY SHORING, BRACING AND TIE-BACKS.

**DESIGN LOADS:** THE STRUCTURAL SYSTEMS FOR THIS BUILDING HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, 2020 SEVENTH EDITION. THE FOLLOWING SUPERIMPOSED LOADS WERE UTILIZED IN THE DESIGN.

**ROOF:** LIVE LOAD 20 PSF  
DEAD LOAD 20 PSF

**UPPER FLOORS:** LIVE LOAD 40 PSF  
DEAD LOAD 20 PSF

**WIND:** ULTIMATE WIND SPEED: 150 MPH  
RISK CATEGORY: II  
EXPOSURE: B  
ENCL. PRESS. COEFFICIENT: -0.5/0.8  
Kz WIND DIRECTIONAL FACTOR: 0.85

**FOUNDATION DESIGN:** FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF ON WELL COMPACTED FILL. BEFORE CONSTRUCTION COMMENCES, THE SOIL BEARING PRESSURE, SOIL CONDITIONS, AND SOIL COMPOSITION REQUIREMENTS SHALL BE VERIFIED BY A LICENSED GEOTECHNICAL ENGINEER.

**CONCRETE:** SHALL BE PER AN APPROVED MIX DESIGN PROPORTIONED TO ACHIEVE A STRENGTH OF 28 DAYS AS LISTED BELOW WITH PLASTIC AND WORKABLE MIX.

3000 PSI FOR FOUNDATIONS AND SLABS ON GROUND  
4000 PSI FOR ALL OTHER STRUCTURAL CONCRETE

CONCRETE SHALL BE PLACED AND CURED ACCORDING TO AC STANDARDS AND SPECIFICATIONS.

**REINFORCING STEEL:** REINFORCING STEEL SHALL BE ASTM A618, GRADE 60 REINFORCED BARS, FREE OF RUST SCALE, OILY AND CLEAN AND PLACED IN ACCORDANCE WITH AC STANDARDS. SUBMIT REINFORCING SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. MECHANICAL COUPLERS SHALL MEET AC 308 FOR TENSION AND AC 309 FOR COMPRESSION.

**PENETRATIONS:** NO PENETRATIONS SHALL BE MADE IN ANY STRUCTURAL MEMBERS OR BARS OTHER THAN THOSE LOCATED IN THESE DRAWINGS. IF ADDITIONAL PENETRATIONS ARE NECESSARY CONTACT SEAF FOR RECOMMENDATIONS.

**MASONRY WALLS:** MASONRY UNITS SHALL MEET ASTM C 90 FOR HOLLOW LOAD BEARING TYPE MASONRY WITH UNIT STRENGTH OF 1800 PSI ON THE NET AREA (fn = 1500 psi). MORTAR SHALL BE TYPE "M" OR "N" AND MEET ASTM C 270.

**GROUT FOR FILL CELLS:** SHALL MEET ASTM C 476 AND ACHIEVE A 2800 PSI MINIMUM COMPRESSIVE STRENGTH. GROUT DESIGN MIX SHALL BE SUBMITTED FOR REVIEW. USE MORTAR AND SPECIAL MASONRY UNITS AS NECESSARY TO CONFINING GROUT TO REQUIRED FILL CELLS WITHIN WALL. CELLS SHALL BE GROUT FILLED WITH VERTICAL REINFORCING BARS AT CORNER INTERSECTIONS. EACH SIDE OF CORNER OR AT STREET WALLS AS REQUIRED IN THE PLAN. LAP ALL VERTICAL REINFORCING ABOVE WITH EITHER VERTICAL OR HORIZONTAL OVERLAP IN EACH DIRECTION AND OTHER CONCRETE ELEMENTS. PROVIDE 4 BAR DIAMETER LAP SPLICES.

MASONRY SHALL BE PLACED IN RUNNING BOND PATTERN UNLESS NOTED AT CORNERS AND INTERSECTIONS. PROVIDE 3 GAUGE GALVANIZED HORIZONTAL JOINT REINFORCING (DUR-WALL LADDER TYPE OR ENGINEER APPROVED SUBSTITUTION AT ALTERNATE BLOOD COURSES).

**STRUCTURAL STEEL:** STRUCTURAL STEEL SHALL CONFORM TO ASTM A992, EXCEPT "W" SECTIONS SHALL CONFORM TO ASTM A992, AND SHALL MEET THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.'S SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. WELDED CONNECTIONS SHALL BE SHOP WELDED WHERE POSSIBLE. EXCEPT FOR ELECTRODE WELDED CONNECTIONS TO BE NOTED, UNLESS NOTED OTHERWISE, ALL WELDS SHALL BE PERFORMED BY A CERTIFIED WELDER.

STEEL SHALL HAVE ONE SHOP APPLIED COAT OF PRIMER AND FIELD TOUCH UP OF APPROVED PAINT EXCEPT WHERE GALVANIZING IS SPECIFIED.

STRUCTURAL TUBING (HSS) SHALL CONFORM TO ASTM A500, GRADE B. STRUCTURAL PIPE SHALL CONFORM TO ASTM A 53, GRADE B, TYPE E OR S.

BEAM CONNECTIONS SHALL CONSIST OF A MINIMUM OF 2 ROWS OF BOLTS AND BOLTS SHALL BE A MINIMUM OF 3/4" COMPACT TENSILE AND SHALL BE PROPERLY TORQUED. BEAM CONNECTIONS SHALL BE SHOWN IN DRAWINGS OR SHALL BE DESIGNED BY THE FABRICATOR WITH REACTIONS INDICATED ON PLANS. IF CONNECTION REACTION IS NOT SHOWN THE FABRICATOR SHALL DESIGN THE BEAM CONNECTION FOR 1/40 REACTION AS PRESCRIBED IN THE AISC'S MANUAL OF STEEL CONSTRUCTION (9TH EDITION).

THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED TESTING LABORATORY TO INSPECT THE FIELD WELDED AND BOLTED CONNECTIONS AND PROVIDE A REPORT OF THEIR FINDINGS. ANY CONNECTIONS WHICH ARE FOUND DEFICIENT SHALL BE CORRECTED AND REINSPECTED.

**FASTENERS/ANCHORS:** FASTENERS AND ANCHORS SHALL BE TWO PART EPOXY POLYMER INJECTION SYSTEM. ACCEPTABLE PRODUCTS ARE POWERGRAB FASTENERS PERIOD, SIMPSON Strong Tie SET OR HILTI HIT-100 EPOXY CONCRETE FASTENERS. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**WEDGE ANCHORS:** WEDGE ANCHORS SHALL BE MANUFACTURED BY HILTI OR POWERS FASTENERS. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**CONCRETE SCREWS:** CONCRETE SCREWS SHALL BE MANUFACTURED BY SIMPSON, HILTI OR POWERS FASTENERS. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**WOOD:** STRUCTURAL WOOD COMPONENTS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES FOR NO. 2 SOUTHERN PINE CONFORMING TO NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION LATEST EDITION.

DESIGN F<sub>b</sub> = 800 PSI  
BENDING F<sub>b</sub> = 1000 PSI  
BENDING F<sub>v</sub> = 1200 PSI  
BENDING F<sub>t</sub> = 1200 PSI  
BENDING F<sub>c</sub> = 1600 PSI

WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE ISOLATED FROM SAME OR PRESSURE TREATED.

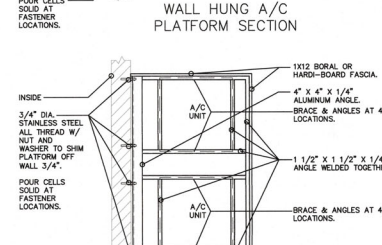
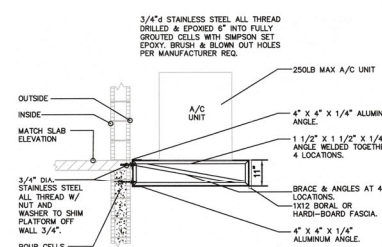
PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY TRUSS MANUFACTURER'S SPECIALTY ENGINEER. THIS SYSTEM INCLUDES, BUT IS NOT LIMITED TO, TRUSSES, TRUSS TO TRUSS CONNECTIONS AND PERMANENT TRUSS BRACING. AN ERECTION DRAWING SHALL INCLUDE AND IDENTIFY ALL TRUSS SYSTEM COMPONENTS. TRUSS SYSTEM SHALL BE DESIGNED TO CONFIGURATION AND LOAD CARRYING CAPACITY SHOWN IN THE DRAWINGS. ALTERNATE TRUSS SYSTEMS ARE ACCEPTABLE ONLY AS CHANGED DESIGN WHICH INCLUDE ENGINEERING CHANGES FOR REDUCTION OF THE STRUCTURE BY SEA.

ROOF AND WALL SHEATHING SHALL BE AN SPAN RATED SHEATHING, ARE DESIGNED AS DIAPHRAGMS AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 22 OF THE FLORIDA BUILDING CODE AND SHALL BE FASTENED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF TABLE 2303.1.1 AND 2303.2.1 AND AS SHOWN ON THESE DRAWINGS.

**MANUFACTURED STRUCTURAL WOOD COMPONENTS:** LAMINATED VENEER LUMBER (LVL) SHALL BE 1.8" MODULAR LVL MANUFACTURED BY TRUSSLOK/MAXIMELA AND HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES:

BENDING F<sub>b</sub> = 2000 PSI  
BEARING F<sub>v</sub> = 750 PSI  
MODULUS OF ELASTICITY E = 1,900,000 PSI

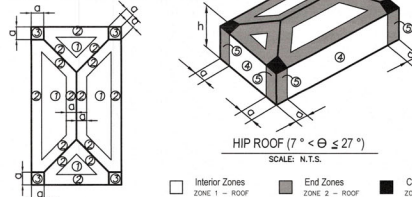
**WOOD FRAMING CONNECTIONS:** MODEL NUMBERS FOR WOOD FRAMING CONNECTIONS ARE INDICATED ON THE STRUCTURAL DRAWINGS AND SHALL BE MANUFACTURED BY SIMPSON Strong Tie Co. UNLESS SHOWN OTHERWISE. INSTALL CONNECTIONS INDICATED IN ACCORDANCE WITH AND WITH NUMBER OF FASTENERS RECOMMENDED BY THE MANUFACTURER'S L.I.C.O. ON THESE DRAWINGS EXCEPT FASTENERS AND CONNECTIONS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.



WIND LOAD SCHEDULE DILLION RESIDENCE				
SCHEDULE OF COMPONENTS AND CLADDING LOADS				
ZONE	ZONE DESCRIPTION	TRIBUTARY AREA (+PSF)	(PRESSURE)	(OUT PRESSURE)
1	ROOF INTERIOR ZONE	LESS THAN 20	22.37	35.53
		20 - 100	20.73	33.90
		MORE THAN 100	15.79	32.25
2	ROOF, EDGE ZONE	LESS THAN 20	22.37	61.86
		20 - 100	20.73	58.92
		MORE THAN 100	15.79	48.40
3	ROOF, OVERHANG, EDGE ZONE	LESS THAN 20		78.31
		20 - 100		78.31
		MORE THAN 100		78.31
4	ROOF, CORNER ZONE	LESS THAN 20	22.37	91.48
		20 - 100	20.73	85.87
		MORE THAN 100	15.79	71.72
5	WALL INTERIOR ZONE	LESS THAN 20	38.82	42.11
		20 - 100	37.18	40.47
		MORE THAN 100	32.90	36.85
5	WALL, EDGE ZONE	LESS THAN 20	38.82	51.98
		20 - 100	37.18	48.69
		MORE THAN 100	32.90	40.47

NOTE: WIND PRESSURES SHOWN ARE BASED ON Voids

CODE =	ASCE 7-16
ULTIMATE WIND SPEED W <sub>101</sub> =	150 MPH
ALLOWABLE WIND SPEED Voids =	118 MPH
RISK CATEGORY =	II
WIND SPEED MAP =	1609A
EXPOSURE =	B
ENCLOSURE CLASSIFICATION =	ENCLOSURED
INTERNAL PRESSURE COEFFICIENT (GCp) =	±0.10
G =	3.0 FT
Z <sub>0</sub> =	6.0 FT



SCALE: N.T.S.

Abbreviations: Interior Zones (Zone 1 - Wall, Zone 2 - Roof, Zone 3 - Wall), Corner Zones (Zone 3 - Roof)

**ABBREVIATIONS**

9 = AT ARCHITECT

AN = ANCHOR BOLT

ALT. = ALTERNATE

APPROX. = APPROXIMATELY

ARCHT. = ARCHITECT

ARCHT. = ARCHITECTURAL

BAL. = BALANCE

B.C. = BOTTOM CHORD

BLDG. = BUILDING

BR. = BEAM

BOIT = BOLT

BRG. = BEARING

CH. = CHANNEL

C.I.P. = CAST IN PLACE

C.C. = CONSTRUCTION JOINT

CL. = CENTERLINE

CLR. = CLEAR

CMU = CONCRETE MASONRY UNIT

COL. = COLUMN

CONF. = CONFIGURATION

CONT. = CONTINUOUS

CONTR. = CONTRACTOR

CONSTR. = CONSTRUCTION

CONV. = CENTER

DBL. = DOUBLE

DIM. = DIMENSION

DN. = DOWN

DWG. = DRAWING

E.A. = EACH

E.E. = EACH END

E.F. = EACH FACE

CL./ELEV. = ELEVATION

E.S. = EACH SIDE

E.W. = EACH WAY

EXT. = EXISTING

EXP. = EXPANSION

EXT. = EXTERIOR

FIN. = FINISH

F.L. = FLOOR

FIN. FOUNDATION = FINISH FOUNDATION

F.S. = FAR SIDE

FT. = FOOT

FTG. = FOOTING

GA. = GAGE

GALV. = GALVANIZED

G.C. = GENERAL CONTRACTOR

H.C. = HOLLOW CORE

H.D.C. = HOT DIPPED GALVANIZED

H.O. = HIP GROSS

HORIZ. = HORIZONTAL

H.P. = HIGH POINT

HSE = HOLLOW STRUCTURAL SECTION

I.J. = ISOLATION JOINT

INFO. = INFORMATION

INT. = INTERIOR

J. = JOINT

L. = ANGLE

L.G. = LONG WAY

L.W. = LONG WAY

MFR. = MANUFACTURER

MATL. = MATERIAL

MAX. = MAXIMUM

M.D. = MD-DEPTH

MIN. = MINIMUM

M.S. = MISCELLANEOUS

N.E. = NEAR SIDE

N.E. = NEAR SIDE

N.C. = NOT IN CONTRACT

N.T.S. = NOT TO SCALE

O.C. = ON CENTER

P.A.C. = POWER ACTUATED FASTENER

PART. = PARTITION

P.L. = PLATE

PH. = POUNDS PER LINEAR FOOT

PSF = POUNDS PER SQUARE FOOT

P.S. = POUNDS PER SQUARE INCH

P.T. = POST TENSION OR PRESSURE TREATED

REIN. = REINFORCING

REQD. = REQUIRED

REV. = REVISION

R.O. = ROUGH OPENING

SCHED. = SCHEDULE

SECT. = SECTION

SM. = SMLAR

S.C. = CONTRACTOR JOINT

SQ. = SQUARE

S.M.S. = SHEET METAL SCREW

STD. = STANDARD

SW = SHEARWALL

STR. = STRUCTURAL

T.C. = TOP CHORD

T.O. = TOP OF

T. = TOP

TEMP. = TEMPERATURE

1/1" = 1/1" SCALE

UNLD. = UNLESS NOTED OTHERWISE

V.S. = VALLEY SET

W. = WIRE FRAMING

W. = WITH

WF. = WOOD POINT

W.W.F. = WELDED WIRE FABRIC

**CONSTRUCTION JOINT (KJ)**

NOT TO SCALE

**CONTROL JOINT (CJ)**

NOT TO SCALE

**ISOLATION JOINT (IJ)**

NOT TO SCALE

**CAST-IN-PLACE REINFORCING BEAM OR MASONRY BEAM**

PLACE METAL LATH OR EXPANDED METAL MESH OVER TOP OF BEAM. PROVIDE HOOK ON VERT. INTO TOP OF BOND BEAM.

ALTERNATE: BARED WIRE SCREEN IN MORTAR JOINT.

FOR MASONRY BOND BEAM PROVIDE HOOK ON VERT. INTO TOP OF BOND BEAM.

VERT. REINFORCING / MATCHING DIMENSIONS IN FOUNDATION. SEE PLAN FOR SIZE AND LOCATION.

GROUT FILLED CELL FOR HIGH LIFT GROUTING (POURS GREATER THAN 5'-0") PLACE AND CONSOLIDATE GROUT IN 5 FT. LIFTS. TOP OF GROUT TO BE DEPRESSED FOR INTER-LOCK WITH NEXT GROUT LIFT.

HORIZ. JOINT, REIN. @ 16" O.C. STARTING AT FIRST COURSE ABOVE FOUNDATION. LAP SPLICES 6". USE PREFAB. L<sub>4</sub> AND T<sub>4</sub> AT WALL INTERSECTIONS.

MORTAR CROSS WEBS ADJACENT TO FILLED CELLS.

**NOTES:**

- PROVIDE CLEAN OUTS IN LOW LIFT GROUTING IF MORTAR FINS AND DEBRIS IS EXCESSIVE.
- FOR HIGH LIFT GROUTING, GROUT LIFT HEIGHT MAY BE INCREASED TO 12'-0" IF CONDITIONS ARE IN ACCORDANCE WITH ACI 308-3.5 SUBSECTION 3.5.0 OF SPECIFICATIONS FOR MASONRY STRUCTURES.
- CONSOLIDATE AND RECONSOLIDATE GROUT POUR BY MECHANICAL VIBRATION IN ACCORDANCE WITH ACI 308-3.5 SUBSECTION 3.5.6 OF SPECIFICATIONS FOR MASONRY STRUCTURES.

**TYP. MASONRY WALL CONSTRUCTION**

SCALE: N.T.S.

**STEP FOOTING DETAIL**

NOT TO SCALE

**TYPICAL WINDOW BUCK**

NOT TO SCALE

\* THESE DRAWINGS ARE NOT TO BE SCALED. \*

**Plan no. 2021-36 S1.0**

Blawie Construction, LLC  
Civil Engineer  
12615 River Road  
Maitland, FL 32751  
941-541-7500  
941-541-7500 (Fax)

CUSTOM RESIDENCE FOR:  
**RENEE DILLON**

5950 GULF OF MEXICO DR.  
LONGBOAT KEY, FLORIDA 34228  
PID: 789760008

**J.P. DRAFTING & DESIGN, INC.**

8005 PONDVIEW AVE. SUITE C  
SOUTH FLORENCE, FL 34227  
Phone (941) 925-3009 Cell (941) 276-2047  
jpdraftinganddesigninc.com  
John R. Coulthart, President

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DATE: 12-23-2021

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SHEET TITLE:  
STRUCTURAL NOTES AND TYPICAL DETAILS

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**S1.0**

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REGISTERED PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 12407  
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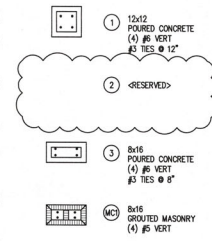
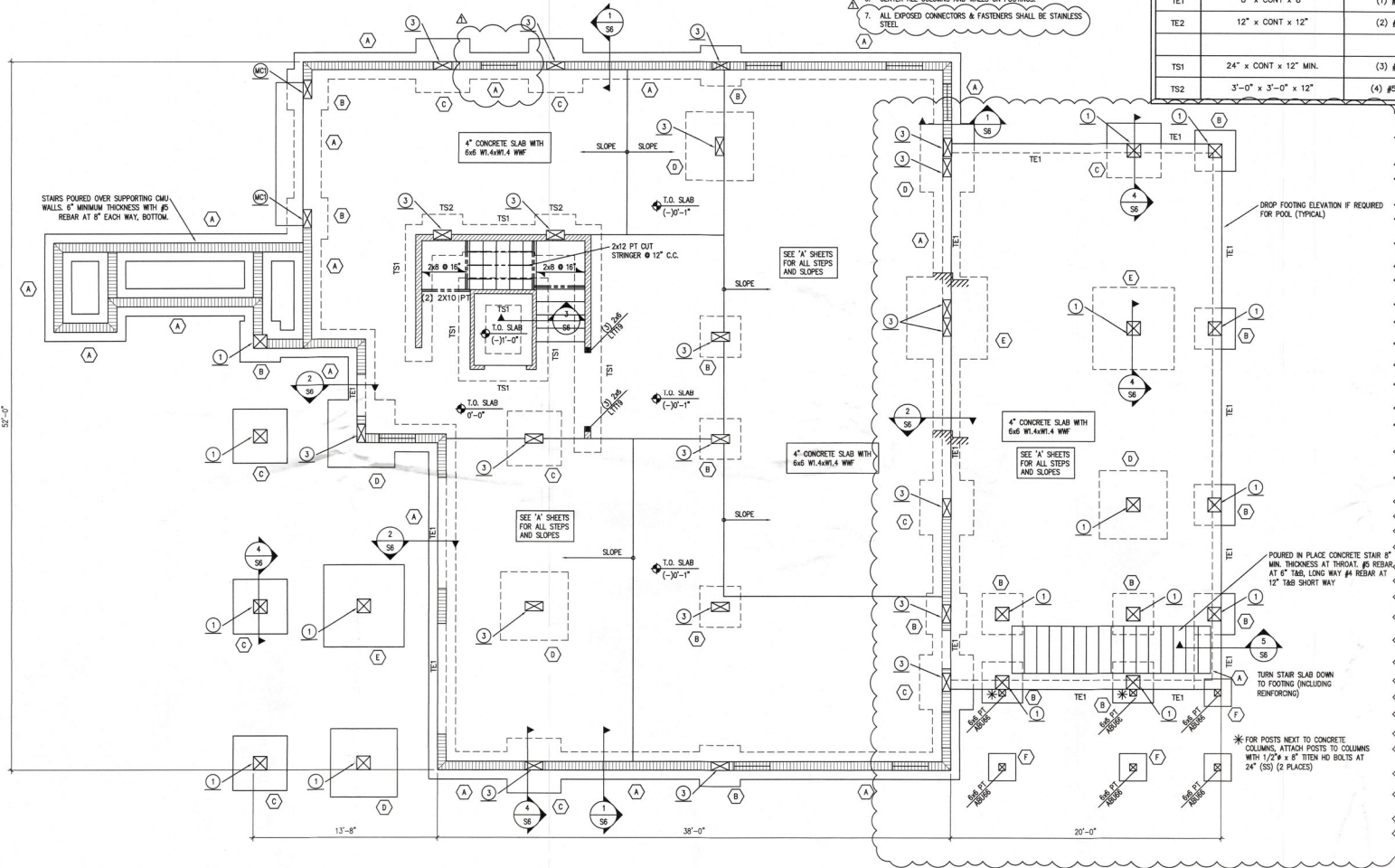
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**FOUNDATION PLAN NOTES:**

1. VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS WITH 'A' SHEETS. FOR ADDITIONAL DIMENSIONS, SEE 'A' SHEETS
2. FLOOR SLAB SHALL BE A 4" CONCRETE SLAB ON COMPACTED MATERIAL. PROVIDE 6"± - W/4W/4 W/F. SAWCUT CONTROL JOINTS IN AN APPROX. SQUARE PATTERN, NOT TO EXCEED 12'-0" C.C. SAWCUT JOINTS WITHIN 12 HOURS OF PLACING CONCRETE.
3. DENOTES 2x6 (PT) WOOD FRAME BEARING WALL WITH SOLID BLOCKING AT 45°. ALL WOOD TO BE PT, ALL FASTENERS TO BE HOT DIPPED GALVANIZED (THIS LEVEL DUE TO FLOOD)
4. DENOTES 8" CMU WALL WITH #5 REBAR IN GROUVED CELLS AT WINDOW & DOOR EDGES, CORNERS, INTERSECTIONS AND AT 32" MAX SPACING.
5. TOP OF FOOTING ELEVATION TO BE (-) 1'-4" (U.N.O.)
6. CENTER ALL COLUMNS AND WALLS ON FOOTINGS.
7. ALL EXPOSED CONNECTORS & FASTENERS SHALL BE STAINLESS STEEL.

FOOTING SCHEDULE			
MARK	SIZE (W x L x D)	REINFORCEMENT	REMARKS
A	2'-0" x CONT x 12"	(3) #5% CONT.	
B	3'-0" x 3'-0" x 12"	(4) #5 EACH WAY	
C	4'-0" x 4'-0" x 12"	(5) #5 EACH WAY	
D	5'-0" x 5'-0" x 12"	(6) #5 EACH WAY	
E	6'-0" x 6'-0" x 16"	(7) #5 EACH WAY	
F	2'-0" x 2'-0" x 12"	(3) #5 EACH WAY	
TE1	8" x CONT x 8"	(1) #5% CONT.	THICKENED EDGE
TE2	12" x CONT x 12"	(2) #5% CONT.	THICKENED EDGE
TS1	24" x CONT x 12" MIN.	(3) #5% CONT.	THICKENED SLAB FOOTING
TS2	3'-0" x 3'-0" x 12"	(4) #5 EACH WAY	THICKENED SLAB FOOTING



**Plan no.**  
**2021-36 S2.0**

**CUSTOM RESIDENCE FOR:  
 RENE DILLON**

5950 GULF OF MEXICO DR.  
 LONGBOAT KEY, FLORIDA 34228  
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 Jon R. Coulthurst, President

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SHEET TITLE:  
 FOUNDATION PLAN

SHEET NO.  
**S2.0**

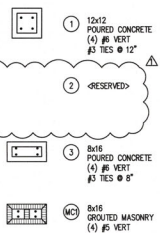
**FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"

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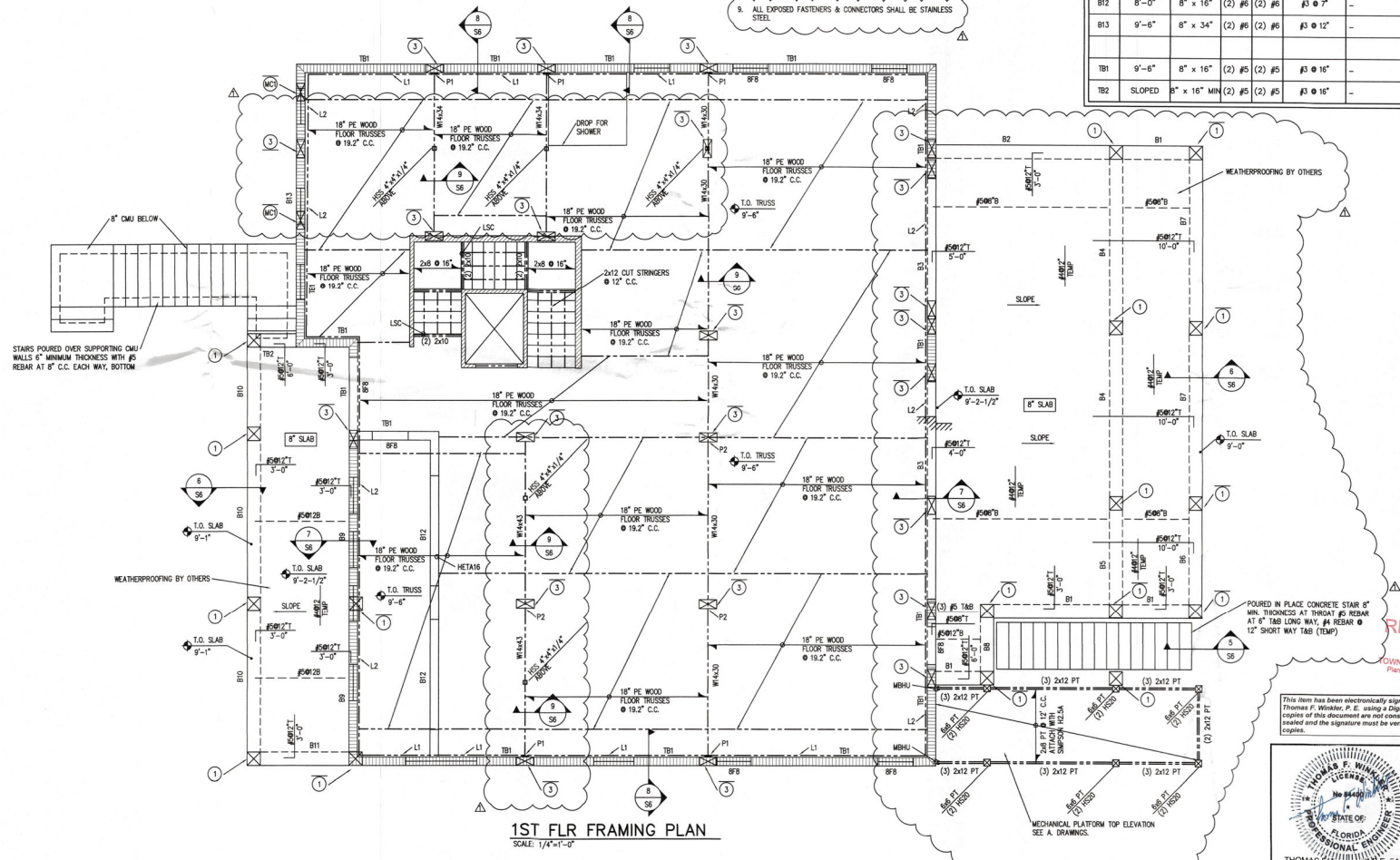
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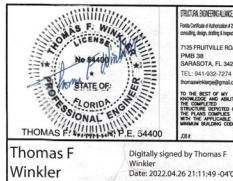


- 1ST FLOOR FRAMING PLAN NOTES**
- VERIFY ALL DIMENSIONS, ELEVATIONS, CONDITIONS, DROPS & SLOPES WITH 'A' SHEETS
  - 12x12 DENOTES 12" x 12" BEARING WALL WITH SOLID BLOCKING AT 48" C.C. ATTACH EACH STUD DOWN TO FIN. MOST BELOW WITH LSTAIR. IF CONCRETE, ATTACH EACH STUD WITH LTT19 & 1/2"x8" x 5" TITEN HD
  - 2x6 DENOTES INTERIOR 2x6@16" SHEAR WALL. ATTACH EACH STUD TO FIN BELOW WITH LSTAIR. SEE ROOF PLAN NOTES FOR ADDED INFO.
  - 8x16 DENOTES 8" CMU WALL WITH #5 REBAR IN GROUTED CELLS AT WINDOW/DOOR EDGES, CORNERS, INTERSECTIONS AND AT 32" MAX SPACING
  - WALL SHEATHING ON EXTERIOR WALLS SHALL BE APA 32/16 SPAN RATED 1/2" NOMINAL. ATTACH WITH #6 NAILS AT 3" C.C. ON ALL EDGES, 6" C.C. IN FIELD.
  - FLOOR SHEATHING SHALL BE APA 24 DC RATED 3/4" NOMINAL TAG GLUE & NAIL WITH 10d NAILS AT 8" C.C.
  - L1 DENOTES 2x10 PT LEDGER WITH 5/8" x 5" TITEN HD @ 12" C.C.
  - L2 DENOTES (2) 2x10 PT LEDGER WITH 5/8" x 6" TITEN HD @ 12" C.C.
  - ALL EXPOSED FASTENERS & CONNECTORS SHALL BE STAINLESS STEEL

BEAM SCHEDULE						
BEAM NUMBER	ELEVATION (TOP OF BEAM)	SIZE W x H (INCH)	REINFORCEMENT		CLOSED HOOP SIZE AND SPACING	REMARKS
			TOP	BOTTOM		
B1	SLOPED	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B2	SLOPED	12" x 12"	(3) #6	(3) #6	#3 @ 5"	-
B3	9'-6"	8" x 34"	(2) #6	(2) #6	#3 @ 12"	-
B4	9'-1"	12" x 12"	(3) #6	(3) #6	#3 @ 5"	-
B5	9'-1"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B6	9'-0"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B7	9'-0"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B8	9'-2"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B9	9'-6"	8" x 18"	(2) #7	(2) #7	#3 @ 6"	-
B10	9'-1"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B11	12" x 12"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
B12	8'-0"	8" x 16"	(2) #6	(2) #6	#3 @ 7"	-
B13	9'-6"	8" x 34"	(2) #6	(2) #6	#3 @ 12"	-
TB1	9'-6"	8" x 16"	(2) #5	(2) #5	#3 @ 16"	-
TB2	SLOPED	8" x 16" MIN	(2) #5	(2) #5	#3 @ 16"	-



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**Plan no.**  
2021-36 S3.0

Blumwater Construction LLC  
 1215 River Road  
 Myrtle Beach, SC 29577  
 841-322-2222  
 CC0158604

**CUSTOM RESIDENCE FOR:**  
**RENEE DILLON**  
 5950 GULF OF MEXICO DR.  
 LONGBOAT KEY, FLORIDA 34228  
 PID: 789760008

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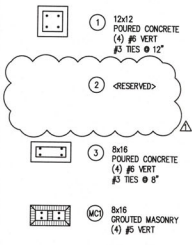
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2ND FLOOR FRAMING

SHEET NO.  
S3.0

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2ND FLOOR FRAMING PLAN NOTES

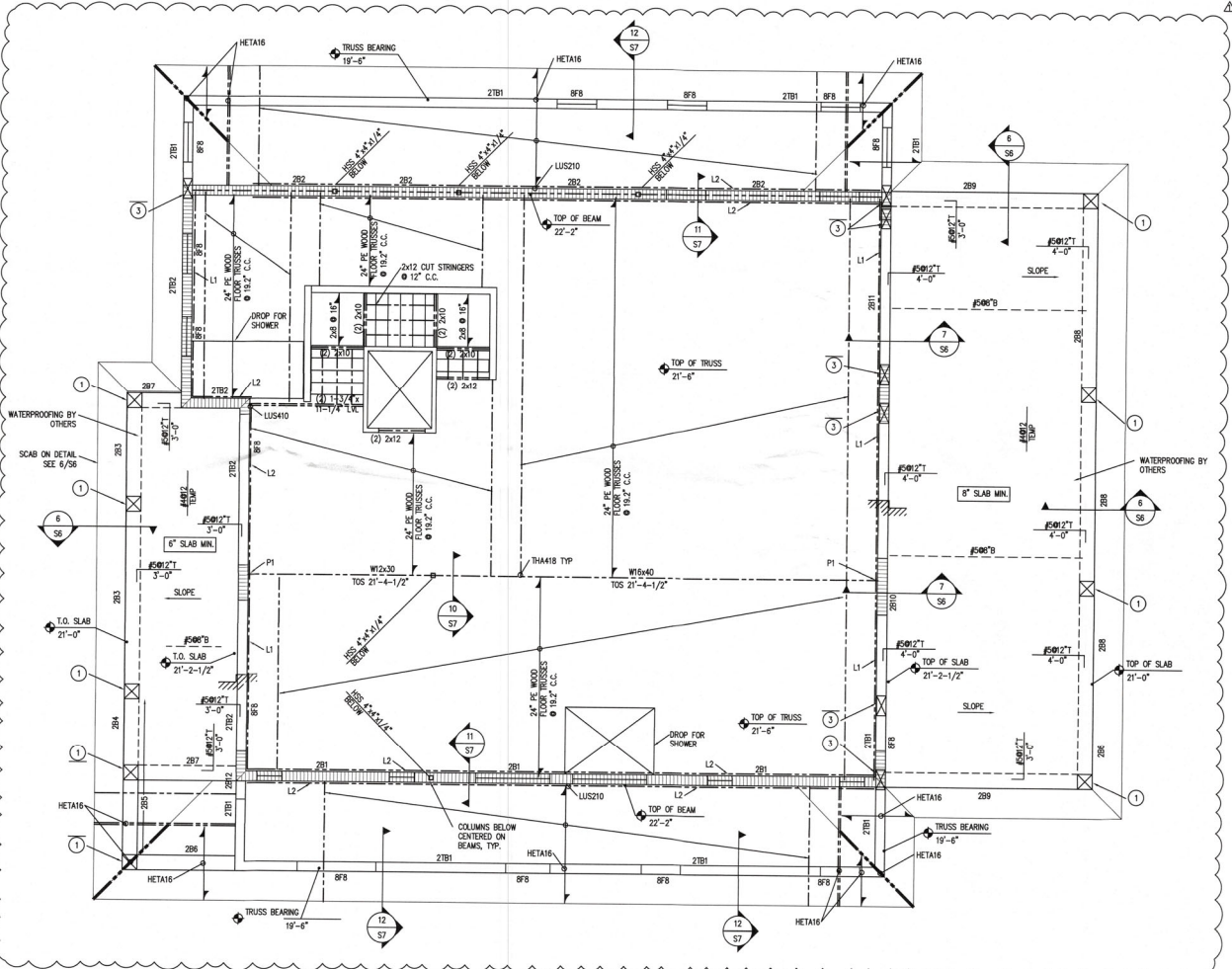
- VERIFY ALL DIMENSIONS, ELEVATIONS, CONDITIONS, DROPS & SLOPES WITH 'A' SHEETS
- 8F8 DENOTES 8" PRECAST UNITS WITH (1) #6 GROUTED SOLD UP TO BEAM ABOVE BEAM 4" MIN.
- PROVIDE WATERPROOFING MEMBRANE ON ALL BALCONIES BY OTHERS
- 8F8 DENOTES 8" CMU WALL WITH #6 REBAR IN GROUTED CELLS AT WINDOW/DOOR EDGES, CORNERS, INTERSECTIONS AND AT 32" C.C. MAX SPACING
- WALL SHEATHING ON EXTERIOR WALLS SHALL BE APA 32/16 SPAN RATED 1/2" NOMINAL ATTACH WITH 8d NAILS AT 3" C.C. ON ALL EDGES, 6" C.C. IN FIELD.
- FLOOR SHEATHING SHALL BE APA 24 OC RATED 3/4" NOMINAL TAG GLUE & NAIL WITH 10d NAILS AT 6" C.C.
- L1 DENOTES 2x10 PT LEDGER WITH 5/8" x 5" TITEN HD @ 12" C.C.
- L2 DENOTES (2) 2x10 PT LEDGER WITH 5/8" x 8" TITEN HD @ 12" C.C.



BEAM SCHEDULE

BEAM NUMBER	ELEVATION (TOP OF BEAM)	SIZE W x H (INCH)	REINFORCEMENT		CLOSED HOOP SIZE AND SPACING	REMARKS
			TOP	BOTTOM		
281	22'-2"	8" x 32"	(4) #8	(4) #8	#3 @ 10"	REBAR IN (2) LAYERS T&B/ UPTURNED BEAM
282	22'-2"	8" x 32"	(2) #8	(2) #8	#3 @ 12"	UPTURNED BEAM
283	21'-0"	12" x 32"	(2) #8	(2) #8	#3 @ 10"	-
284	21'-0"	12" x 32"	(2) #8	(2) #7	#3 @ 10"	BOTTOM BARS FROM 285
285	19'-6"	12" x 12"	(2) #6	(2) #7	#3 @ 5"	-
286	19'-6"	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
287	SLOPING	12" x 32"	(2) #6	(2) #6	#3 @ 10"	-
288	21'-0"	12" x 12"	(3) #6	(3) #6	#3 @ 5"	-
289	SLOPING	12" x 12"	(2) #6	(2) #6	#3 @ 5"	-
290	21'-6"	8" x 48"	(2) #8	(2) #8	#3 @ 12"	-
291	21'-6"	8" x 48"	(2) #7	(2) #7	#3 @ 12"	-
2912	19'-6"	8" x 18"	(2) #6	(2) #6	#3 @ 6"	BEAR 18" EACH SIDE OF WINDOW
2781	19'-6"	8" x 16"	(2) #5	(2) #5	#3 @ 16"	-
2782	21'-6"	8" x 16"	(2) #5	(2) #5	#3 @ 16"	-

FOR BEAMS DEEPER THAN 24", ADD (1) #6 EACH FACE AT 12" C.C.



2ND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

Plan no.  
2021-36 S4.0

Blunwater Construction LLC  
Clyde Allison General Contractor  
Myakka City, FL 34251  
941-322-2222 @ CCCC0960434  
Clyde Allison

CUSTOM RESIDENCE FOR:  
**RENEE DILLON**  
5950 GULF OF MEXICO DR.  
LONGBOAT KEY, FLORIDA 34228  
PID: 789760008

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jdw@janddesign.com  
www.janddesign.com  
Tom R. Entwistle, President

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SECOND FLOOR FRAMING PLAN

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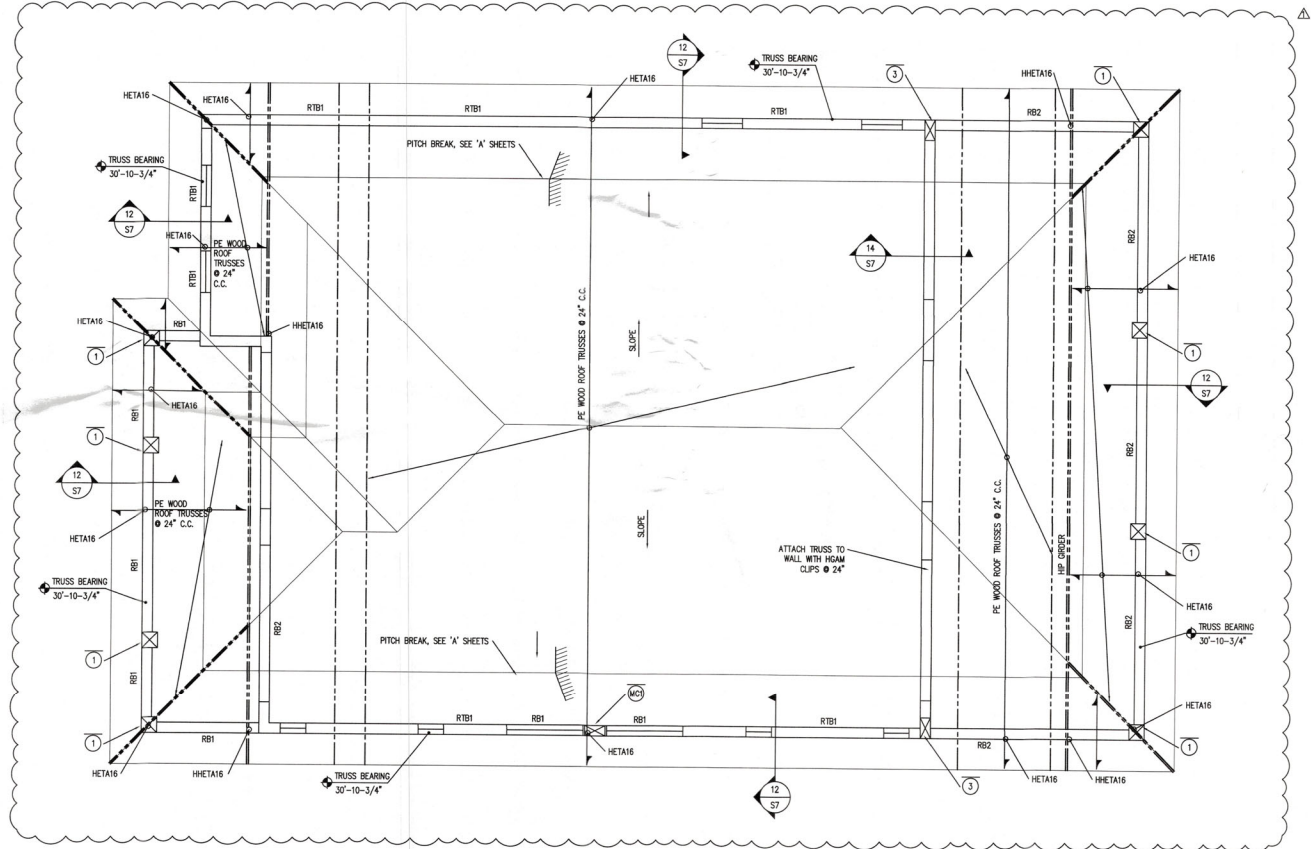
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- ① 12x12 POURED CONCRETE  
(4) #6 VERT  
#3 TIES @ 12"
- ② 12x20 POURED CONCRETE  
(6) #6 VERT  
#3 TIES @ 12"
- ③ 8x16 POURED CONCRETE  
(4) #6 VERT  
#3 TIES @ 8"
- (MC) 8x16 CROUTED MASONRY  
(4) #5 VERT

- ROOF FRAMING PLAN NOTES
- VERIFY ALL DIMENSIONS, ELEVATIONS, CONDITIONS, DROPS & SLOPES WITH 'A' SHEETS
  - ROOF SHEATHING SHALL BE APA 32/16 SPAN RATED 5/8" NOMINAL ATTACH WITH 10d NAILS AT 3" C.C. ON SUPPORTED EDGES, 6" C.C. IN FIELD
  - WALL SHEATHING SHALL BE APA 32/16 SPAN RATED 1/2" NOMINAL ATTACH WITH 8d NAILS AT 3" C.C. ALL EDGES (BLOCKED) AND 6" C.C. IN FIELD
  - TYPICAL ROOF TRUSS CONNECTOR SHALL BE HETA UNLKO.

BEAM SCHEDULE						
BEAM NUMBER	ELEVATION (TOP OF BEAM)	SIZE W x H (INCH)	REINFORCEMENT		CLOSED HOOP SIZE AND SPACING	REMARKS
			TOP	BOTTOM		
RTB1	30'-10-3/4"	8" x 16"	(2) #5	(2) #5	#3 @ 16"	-
RB1	30'-10-3/4"	8" x 16"	(2) #5	(2) #5	#3 @ 7"	-
RB2	30'-10-3/4"	8" x 16"	(2) #6	(2) #6	#3 @ 7"	-



ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"

Plan no.  
**2021-36 S5.0**

Bluewater Construction LLC  
Clyde Alston General Contractor  
Myakka City, FL 34951  
941-242-7200 COC1086434  
*Clyde Alston*

CUSTOM RESIDENCE FOR:  
**RENEE DILLON**

5950 GULF OF MEXICO DR.  
LONGBOAT KEY, FLORIDA 34228  
PID: 789760008

**DRAFTING & DESIGN INC.**

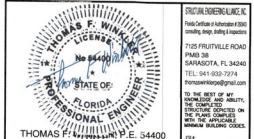
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Jon R. Coulthart, President

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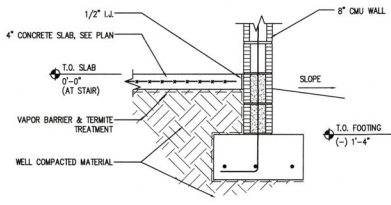
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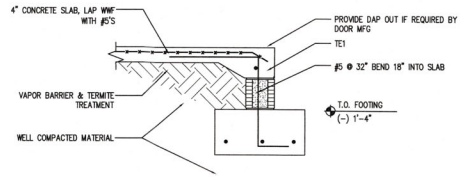
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HIGH ROOF FRAMING PLAN

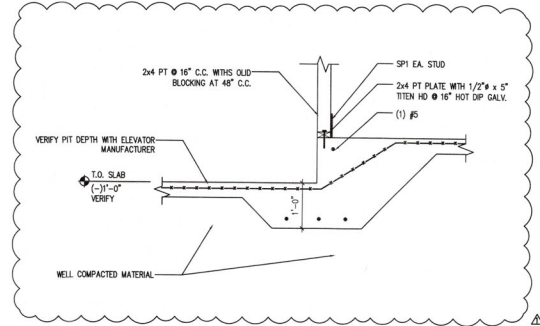
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**S5.0**



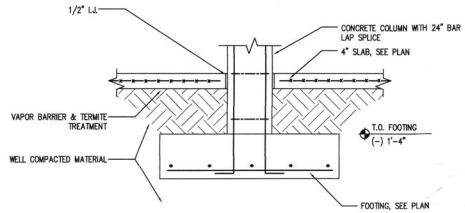
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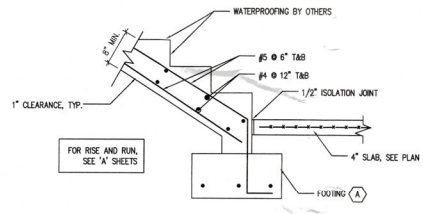
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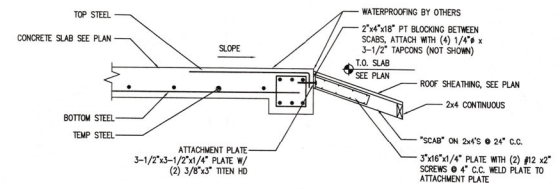
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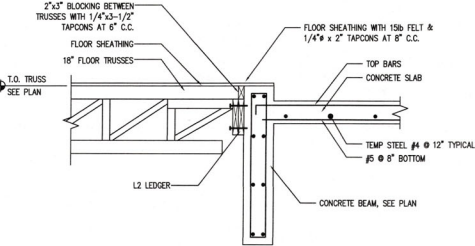
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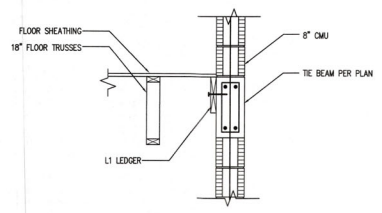
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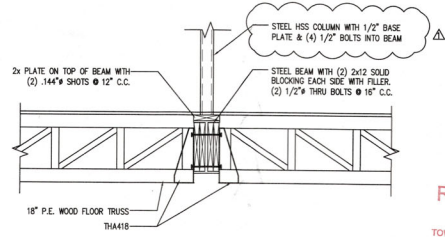
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7 SECTION  
S6 SCALE: 3/4"=1'-0"



8 SECTION  
S6 SCALE: 3/4"=1'-0"



9 SECTION  
S6 SCALE: 3/4"=1'-0"

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Plan no.  
2021-36 S6.0

Renee Construction, LLC  
Cyril Austin General Contractor  
Myakka City, FL 34951  
811-347-2222  
Renee Austin

CUSTOM RESIDENCE FOR:  
**RENEE DILLON**  
5950 GULF OF MEXICO DR.  
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PID: 789760008

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John R. Coulter, L.T., President

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DATE: 12-23-2021

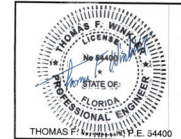
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DETAILS

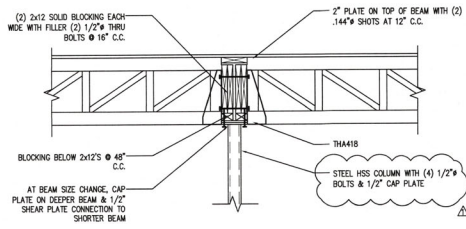
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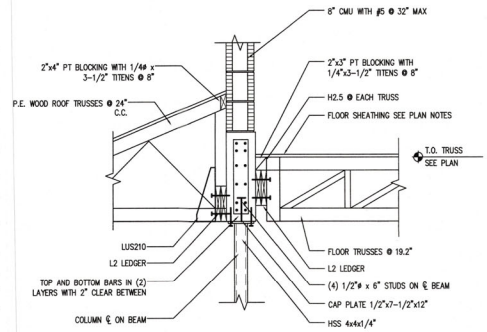
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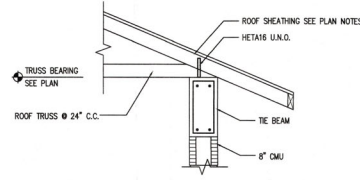
THOMAS F. WINKLER, P.E. 54400  
Thomas F Winkler  
Digitally signed by Thomas F Winkler  
Date: 2022.04.26 21:13:13 -0400



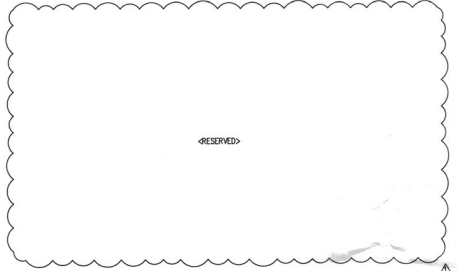
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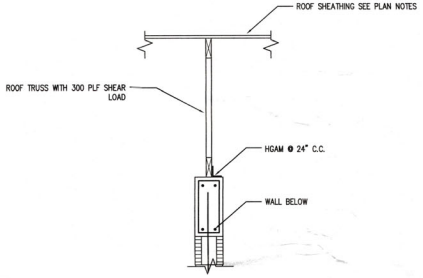
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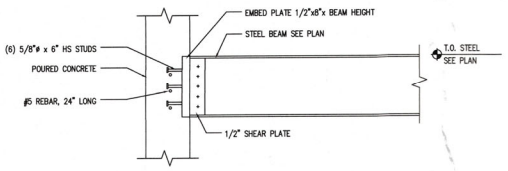
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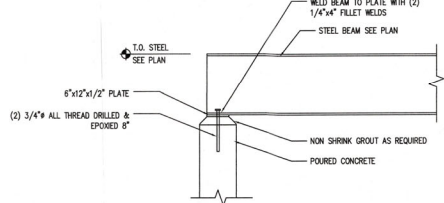
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SECTION 14  
SCALE: 3/4"=1'-0"



P1 PLATE  
SCALE: 3/4"=1'-0"



P2 PLATE  
SCALE: 3/4"=1'-0"

\* THESE DRAWINGS ARE NOT TO BE SCALED. \*

Plan no.

2021-36 S5.0

Blumwater Construction LLC  
Clyde Alstrom General Contractor  
12815 River Road  
Maitland, FL 32751  
941-522-2829  
COC1506434  
*Thomas F. Winkler*

CUSTOM RESIDENCE FOR:  
**RENEE DILLON**  
5950 GULF OF MEXICO DR.  
LONGBOAT KEY, FLORIDA 34228  
PID: 789760008

**T&D DRAFTING & DESIGN INC.**  
905 PONDER AVE. SUITE C  
Sarasota, Florida 34232  
Phone (941) 925-3009 Cell (941) 376-2047  
www.sarasotadraftinganddesign.com  
John R. Coulthurst, President

REVISIONS:

NO.	DESCRIP:	BY	DATE
1	UPDATES		4/26/22

DATE: 12-23-2021

SCALE: AS SHOWN

SHEET TITLE:

DETAILS

SHEET NO.

**S7.0**

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MAY 23 2022  
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Planning, Zoning & Building

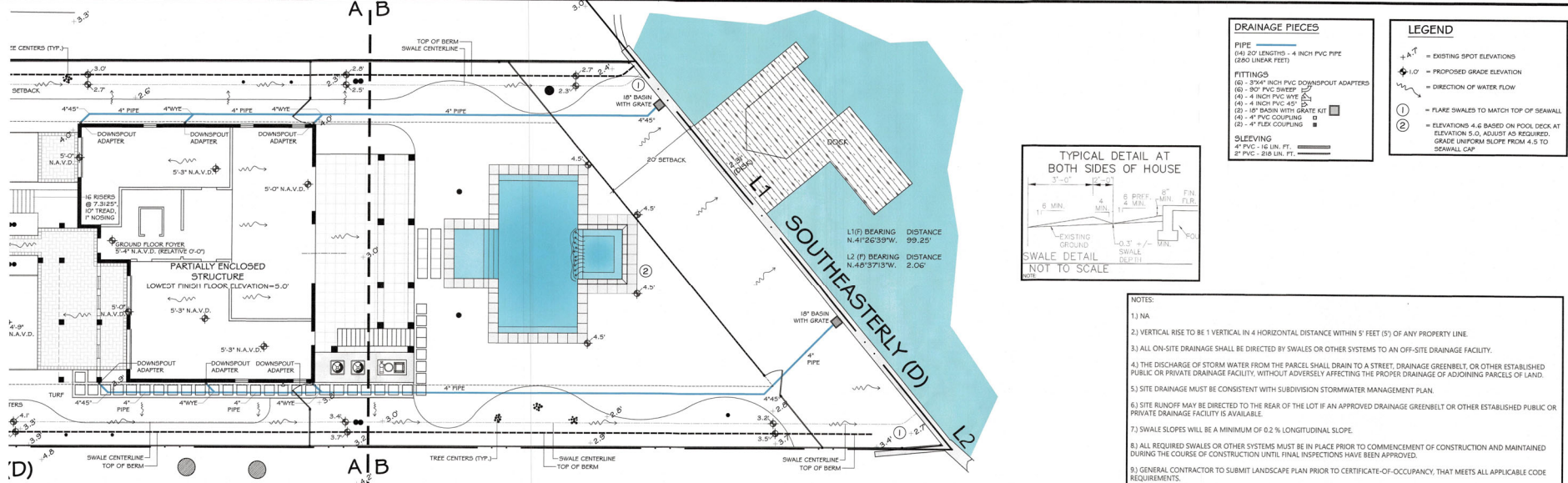
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**PROFESSIONAL ENGINEER**  
THOMAS F. WINKLER  
No. 85449  
STATE OF FLORIDA  
P.E. 84400

**PROFESSIONAL ARCHITECT**  
THOMAS F. WINKLER  
No. 85449  
STATE OF FLORIDA  
P.A. 84400

Digitally signed by Thomas F. Winkler  
Date: 2022.04.26 21:13:56 -0400





**DRAINAGE PIECES**

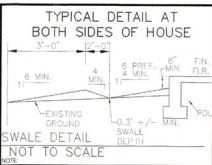
PIPE  
 (R) 20' LENGTH - 4" INCH PVC PIPE (2800 LINEAR FEET)

FITTINGS  
 (A) 2x4" INCH PVC DOWNSPOUT ADAPTERS  
 (B) 80' PVC SWALE  
 (C) 4" INCH PVC WYE  
 (D) 4" INCH PVC 45°  
 (E) 18" BASIN WITH GRATE KIT  
 (F) 4" FLEX COUPLING

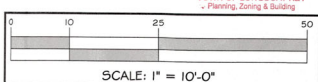
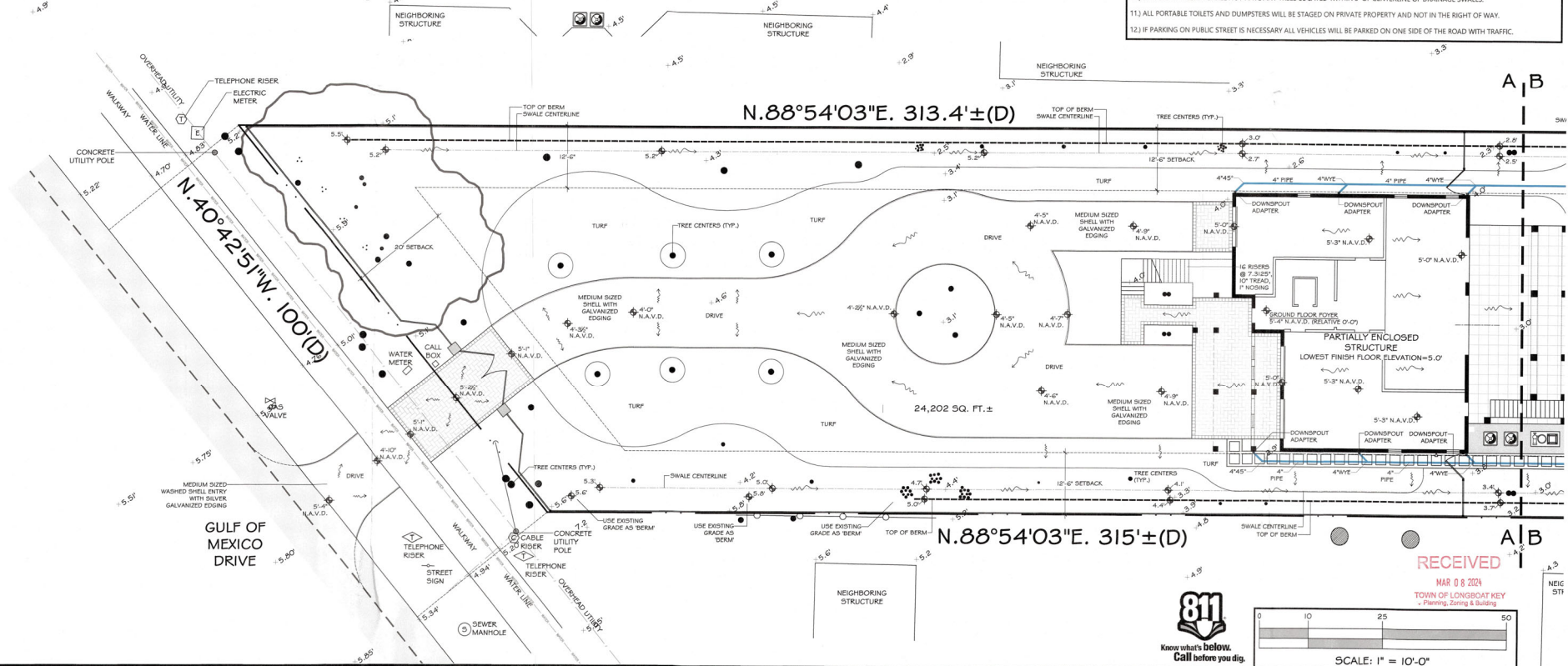
SLEEVING  
 (G) PVC - 1/2" DIA. FT.  
 (H) PVC - 3/4" DIA. FT.

**LEGEND**

+4.1' = EXISTING SPOT ELEVATIONS  
 +1.0' = PROPOSED GRADE ELEVATION  
 → = DIRECTION OF WATER FLOW  
 ① = FLARE SWALES TO MATCH TOP OF SEAWALL ELEVATIONS 4.6 BASED ON POOL DECK AT ELEVATION 5.0. ADJUST AS REQUIRED.  
 ② = GRADE UNIFORM SLOPE FROM 4.5 TO SEAWALL CAP



- NOTES:**
- 1) NA
  - 2) VERTICAL RISE TO BE 1 VERTICAL IN 4 HORIZONTAL DISTANCE WITHIN 5' FEET (5') OF ANY PROPERTY LINE.
  - 3) ALL ON-SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF-SITE DRAINAGE FACILITY.
  - 4) THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DRAIN TO A STREET, DRAINAGE GREENBELT, OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF ADJOINING PARCELS OF LAND.
  - 5) SITE DRAINAGE MUST BE CONSISTENT WITH SUBDIVISION STORMWATER MANAGEMENT PLAN.
  - 6) SITE RUNOFF MAY BE DIRECTED TO THE REAR OF THE LOT IF AN APPROVED DRAINAGE GREENBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
  - 7) SWALE SLOPES WILL BE A MINIMUM OF 0.2% LONGITUDINAL SLOPE.
  - 8) ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED DURING THE COURSE OF CONSTRUCTION UNTIL FINAL INSPECTIONS HAVE BEEN APPROVED.
  - 9) GENERAL CONTRACTOR TO SUBMIT LANDSCAPE PLAN PRIOR TO CERTIFICATE-OF-OCCUPANCY, THAT MEETS ALL APPLICABLE CODE REQUIREMENTS.
  - 10) LANDSCAPE DESIGN SHALL NOT HAVE ANY TREES LOCATED WITHIN 3' OF CENTERLINE OF DRAINAGE SWALES.
  - 11) ALL PORTABLE TOILETS AND DUMPSTERS WILL BE STAGED ON PRIVATE PROPERTY AND NOT IN THE RIGHT OF WAY.
  - 12) IF PARKING ON PUBLIC STREET IS NECESSARY ALL VEHICLES WILL BE PARKED ON ONE SIDE OF THE ROAD WITH TRAFFIC.



sheet number  
**DR-AB**  
 scale: 1" = 10'-0"

design: d. barth  
 draw: l. quilliam  
 date: 12.11.23  
 revised: 12.11.23  
 6889 Tower Lane  
 Tallahassee, FL 32310  
 1.241.242.4242  
 FL Reg. No. 23985  
 12.20.23:arbs-lg  
 date: 1/2024

An As-Built Downspout-Piping and Drainage Plan for:  
**THE DILLON RESIDENCE**  
 5950 Gulf of Mexico Drive  
 Longboat Key, Florida 34228



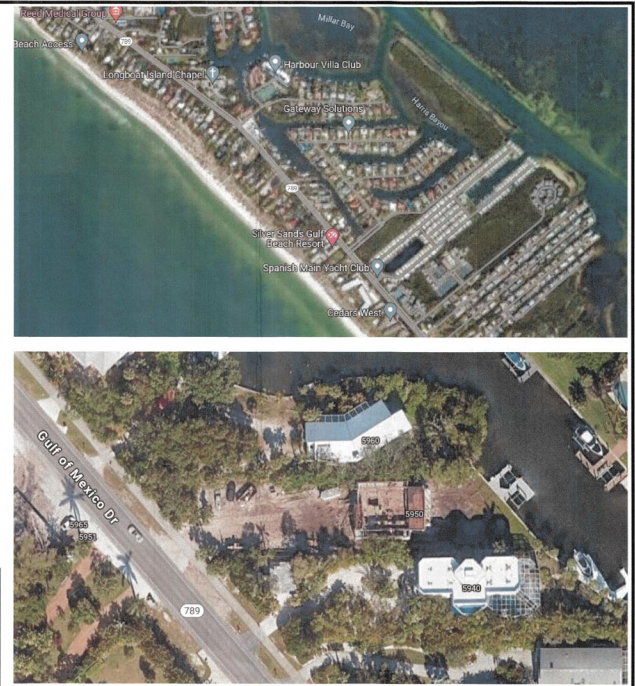
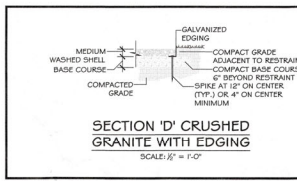
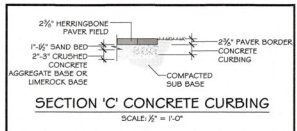
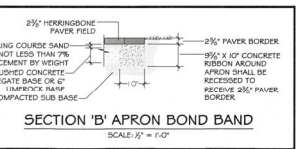
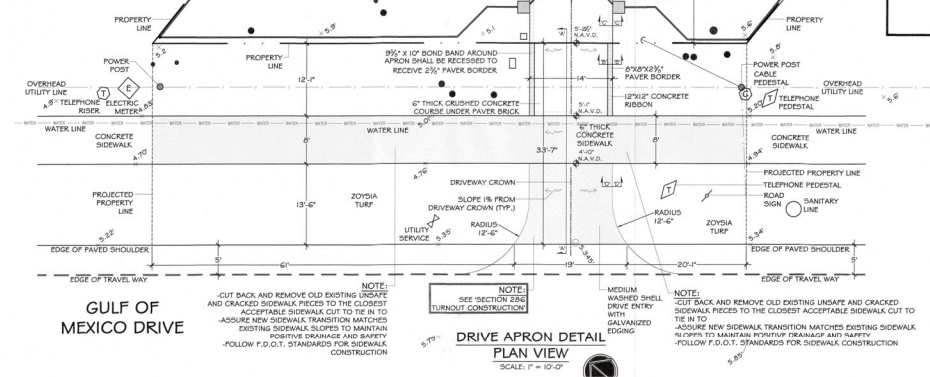
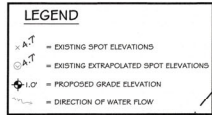
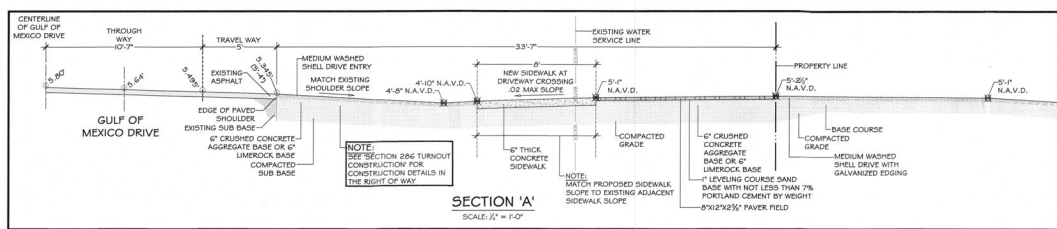
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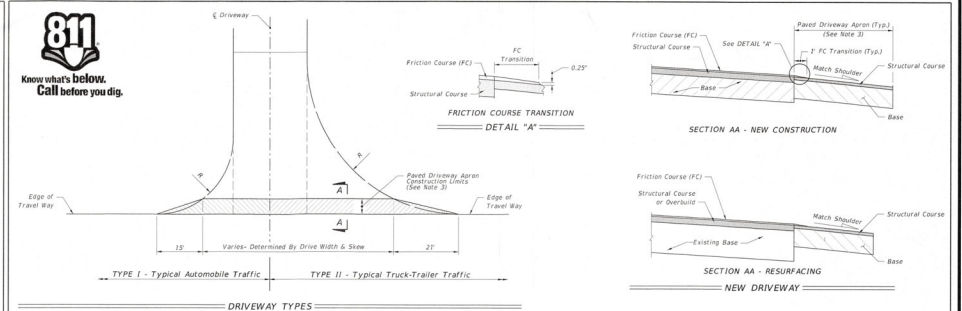
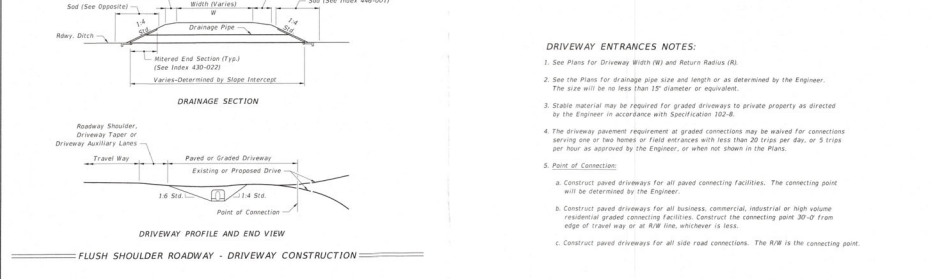
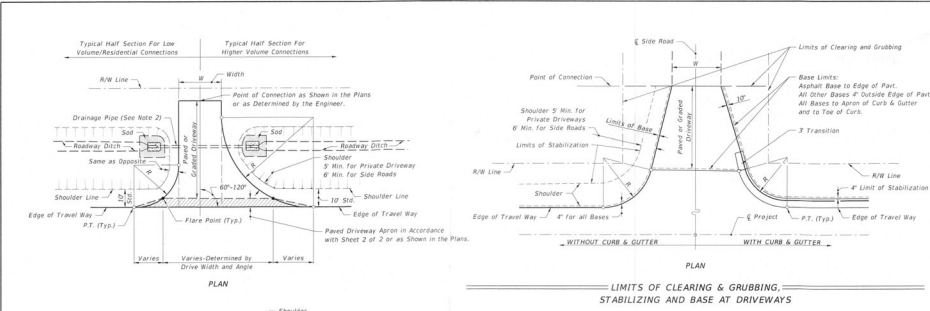


Sheet number  
**AP-1**  
of 11

scale as noted

design: L. Barth  
drawn: L. Barth  
date: 8.2.23

revised: 1.23.24 LKOS:LG  
1.23.24 LKOS:LG  
11.02.24 LKOS:LG  
941.341.9935  
Maurin S. Britt - LS 5398  
Date: 11/2/24



**AREAS FOR ONE 5' DEEP DRIVEWAY APRON (SY)**

Drive Width (ft)	Normal		Steep	
	Type I	Type II	Type I	Type II
12	26	31	31	60
14	27	32	33	63
16	28	33	34	63
18	29	34	35	63
20	31	35	37	65
22	32	36	38	67
24	33	37	39	68
26	35	38	42	69
28	35	39	42	70
30	36	41	43	72
32	37	42	44	73
34	38	43	46	74
36	39	44	47	76
38	41	45	48	77
40	42	46	49	78
42	43	47	51	79
44	44	48	52	81
46	45	49	53	82
48	46	51	55	83
50	47	52	56	85
52	48	53	57	86
54	49	54	58	87
56	51	55	60	88
58	52	56	61	89
60	53	57	62	91

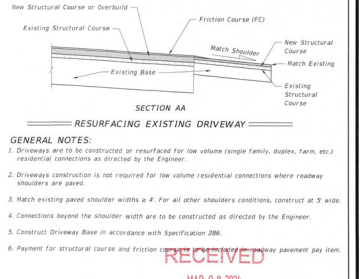
**MATERIAL TYPES AND THICKNESSES FOR PAVED CONNECTIONS**

Course	Materials	Minimum Thickness (in.)	
		Connections	Roadway*
Structural	Asphaltic Concrete	12"	12"
Bases	Optional Base (See Specification 285)	0.8 G. 2	0.8 G. 3

\* Travel way Flares (heaps lanes), auxiliary lanes serving more than a single connection, and all median crossovers including their auxiliary lanes and/or transition tapers.

**NOTES**

- Use same material for Driveway Structural course and roadway overbuild or structural course, except as approved by the Engineer for graded connections. Other Department-approved equivalent pavements may be used at the discretion of the Engineer.
- Auxiliary lanes and their transition tapers shall be the same structure as the abutting travel way pavement thickness or any of the roadway structures tabulated above, whichever is thicker.
- If an asphalt base course is used for a driveway, its thickness may be increased to match the edge of travel way pavement thickness in lieu of a separate structural course. 1" of Portland cement concrete will be acceptable in lieu of the asphalt base and structural courses. See Notes 4 and 5 below.
- A structural course is required for flexible pavements when they are used for auxiliary lanes serving more than a single connection.
- Use Class III concrete at least 8" thick for driveways paved with Portland Cement Concrete. Construct in accordance with Specifications 347, 350, and 522.
- The Department may require other pavement criteria where local conditions warrant.



A Proposed Drive Apron Plan for:

**THE DILLON RESIDENCE**

5950 Gulf of Mexico Drive  
Longboat Key, Florida 34228



Digitally signed by Dennis A. Barth on 11/07/24 at 05:04 pm  
DN: cn=Dennis A. Barth, o=Dennis Barth Landmark Architecture, email=dennis@dbarth.com, c=US

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MAR 08 2024  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building Dept.

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NOTE: 1. The three stations to the Right-of-Way, the Right-of-Way, and the Right-of-Way, including the Right-of-Way, shall be shown on all sheets.

- 1. L = Lane length
2. L = Lane length
3. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.
4. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.
5. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.
6. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.
7. Temporary pavement markings may be shown when the work is necessary on the right-of-way.

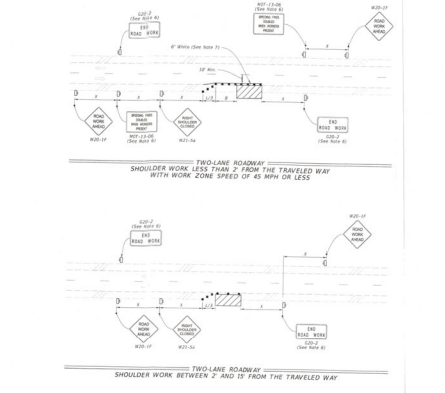


Figure 214.4.2 SHOULDER WORK LESS THAN 2' FROM THE TRAVELED WAY WITH WORK ZONE SPEED OF 45 MPH OR LESS

SYMBOLS: 1. Right-of-Way

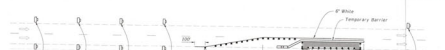


Figure 214.4.3 SHOULDER WORK BETWEEN 2' AND 15' FROM THE TRAVELED WAY

NOTE: 1. L = Lane length
2. L = Lane length
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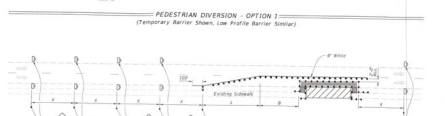


Figure 214.4.4 PEDESTRIAN DIVERSION - OPTION 1 (Temporary Barrier Show, Low Profile Barrier Section)

NOTE: 1. L = Lane length
2. L = Lane length
3. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.

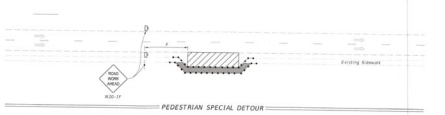


Figure 214.4.5 PEDESTRIAN DIVERSION - OPTION 2 (Work Zone Speed 35 mph or less)

NOTE: 1. L = Lane length
2. L = Lane length
3. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.



Figure 214.4.6 SIDEWALK CLOSURE

NOTE: 1. Use the Right-of-Way line when called for in the Plans.
2. L = Lane length
3. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.

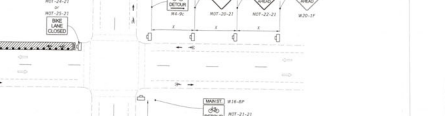


Figure 214.4.7 BICYCLE DETOUR

NOTE: 1. L = Lane length
2. L = Lane length
3. Where work is necessary on the right-of-way, the Right-of-Way shall be shown on all sheets.



Figure 214.4.8 BICYCLE FACILITY CLOSURES

Figure 214.4.4 Driveway Slope for Flush Shoulder Roadway in Superelevation

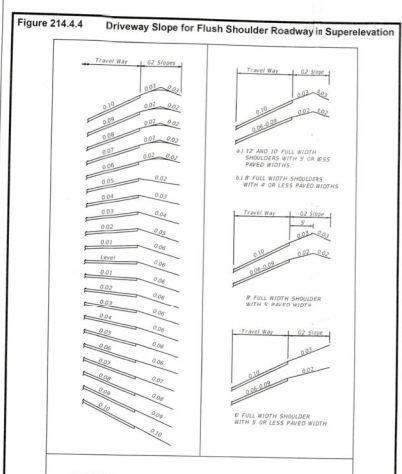


Figure 214.4.3 Flush Shoulder Roadway Driveway Profiles

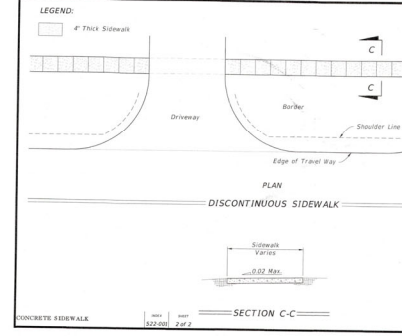


Figure 214.4.3 Flush Shoulder Roadway Driveway Profiles

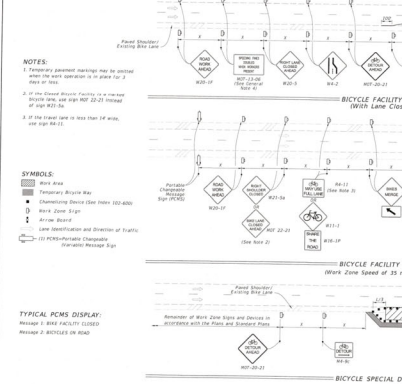


Figure 214.4.4 BICYCLE FACILITY SHIFT (WITH Lane Closure)

Figure 214.4.5 BICYCLE FACILITY SHIFT (Work Zone Speed of 35 mph or less)

Footnotes: 1. All 'W' joints shall be constructed with preformed joint filler.
2. 'W' Joints shall be placed at equal 30' intervals for all driveways over 20' wide.
3. When connecting to existing curb and gutter sections, the no drop curb shall be used.
4. Driveways 10' or greater shall be of a uniform width 10' to the right of the curb.
5. All driveways shall be constructed with preformed joint filler.
6. All driveways shall be constructed with preformed joint filler.
7. All driveways shall be constructed with preformed joint filler.
8. All driveways shall be constructed with preformed joint filler.
9. All driveways shall be constructed with preformed joint filler.
10. All driveways shall be constructed with preformed joint filler.
11. All driveways shall be constructed with preformed joint filler.

Figure 214.4.3 Flush Shoulder Roadway Driveway Profiles. This section includes a plan view showing the driveway layout, a cross-section C-C showing the driveway profile, and a section B-B showing the driveway construction details. It also includes a table of definitions for variables used in the diagrams.

Category A Driveway. This section provides information on the construction of a residential driveway connection. It includes a list of requirements for the driveway, such as width, depth, and slope. It also includes a note about the information in the email and a contact number for further questions.

RECEIVED MAR 08 2024 TOWN OF LONGBOAT KEY Planning, Zoning & Building. This section includes a stamp from the Town of Longboat Key and a note about the information in the email and a contact number for further questions.

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AP-II of II sheet number 4 of 4 sheets 8.2.23 design: MRS. SURVIVING, INC. 317 Young St., Suite C, Longboat Key, FL 34908. THE DILLON RESIDENCE 5950 Gulf of Mexico Drive Longboat Key, Florida 34428. A Proposed Drive Apron Plan Sheet II for: DENNIS BARTH LANDSCAPE ARCHITECTURE, INC. 111723 comm-14. Digitally signed by Dennis A. Barth on 2024.03.08 10:06:13. RECEIVED MAR 08 2024 TOWN OF LONGBOAT KEY Planning, Zoning & Building. 811 Know what's below. Call before you dig.

# THE DILLON RESIDENCE

5950 GULF OF MEXICO DRIVE  
Longboat Key, Florida 34228

Dated: 3/7/24

## INDEX

<u>SHEET</u>	<u>DESCRIPTION</u>
LS	Landscape
LS2	Landscape Plant List
HS	Hardscape
L	Lighting
DR	Drainage
IRR	Irrigation
AP-I	Apron Details-I
AP-II	Apron Details-II

4370 Woodview Drive phone: 941.374.6304  
Sarasota, Florida 34232 fax: 941.488.6236

DennisBarthLA@GMail.com  
FL RLA License #0001613

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