



ARCHITECT'S RENDERING FOR REFERENCE ONLY

A NEW RESIDENCE FOR PHIL & KELLY BURKE

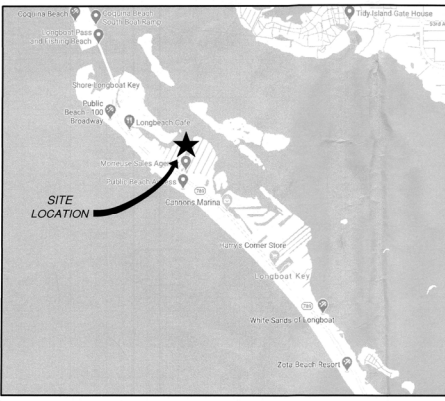
639 BAYVIEW DRIVE LONGBOAT KEY, FLORIDA 34228

NPDES

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TOWN OF LONGBOAT KEY
Planning, Zoning & Inspections

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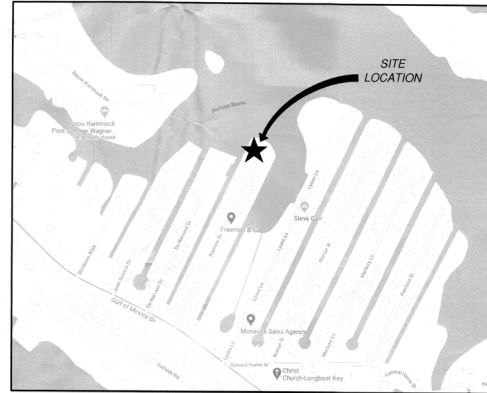
VICINITY MAP
NOT TO SCALE

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Permit # PB21-0506
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.
MAY 2 0 2021
APPROVED
Reviewer: *Patti Fife*

NPDES



LOCATION MAP
NOT TO SCALE

Revisions

1348 FRUITVILLE ROAD, SUITE 204
SARASOTA, FLORIDA 34239
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www.dsdgarchitects.com

DSDG ARCHITECTS
ARCHITECTURE
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A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

BLDG PERMIT PLANS
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COVER SHEET

Project Ref:
Drawn by: CGR
Checked by: MES
Date Issued: 4-14-2021
Sheet Number:

A0.00

© 2021 DSDG, LLC. DO NOT SCALE DRAWING. TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAW OF FLORIDA.

NOTES:
 1.) A TOPOGRAPHIC SURVEY IS REQUIRED FOR LOTS LESS THAN 1 ACRE IN AREA OR FOR SUBDIVISIONS PLATTED BEFORE AUGUST 30, 1960. HOWEVER, SUFFICIENT ELEVATIONS MUST BE PROVIDED TO DETERMINE IF THE SITE IS A SUBJECT PARCEL.

2.) VERTICAL RISE TO BE 1" VERTICAL IN 6" HORIZONTAL DISTANCE WITHIN 5 FEET (5') OF ANY PROPERTY LINE.

3.) ALL ON-SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF-SITE DRAINAGE FACILITY.

4.) THE DISCHARGE OF STORM WATER FROM THE PARCELS SHALL DRAIN TO A STREET, DRAINAGE GREENBELT, OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF ADJACENT PARCELS OF LAND.

5.) SITE DRAINAGE MUST BE CONSISTENT WITH SUBDIVISION STORMWATER MANAGEMENT PLAN.

6.) STORM RUNOFF MAY BE DIRECTED TO THE REAR OF THE LOT IF AN APPROVED DRAINAGE GREENBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.

7.) SMALL SLOPES WILL BE A MINIMUM OF 0.2 % LONGITUDINAL SLOPE.

8.) ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED DURING THE COURSE OF CONSTRUCTION UNTIL FINAL INSPECTIONS HAVE BEEN APPROVED.

9.) DOWNSPOUTS SHALL BE AT LEAST 1' AWAY FROM PROPERTY LINE AND DIRECTED AWAY FROM ADJACENT PROPERTY, DRAINING TOWARDS SWALES.

10.) GENERAL CONTRACTOR TO SUBMIT LANDSCAPE PLAN PRIOR TO CERTIFICATE-OF-OCCUPANCY, THAT MEETS ALL APPLICABLE CODE REQUIREMENTS.

11.) LANDSCAPE DESIGN SHALL NOT HAVE ANY TREES LOCATED IN DRAINAGE SWALES.

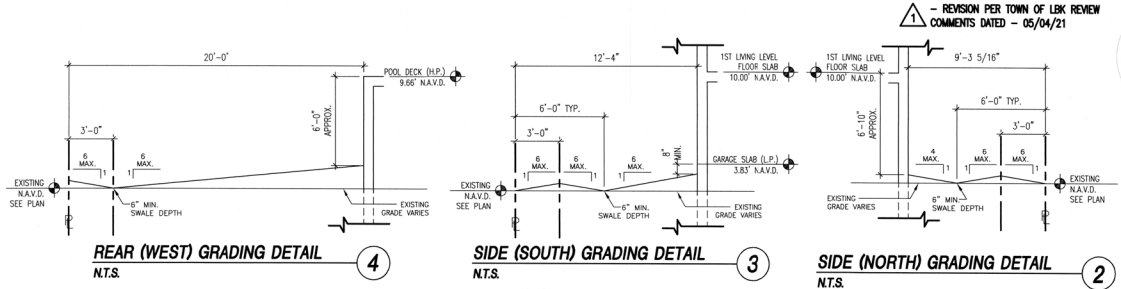
12.) ALL PORTABLE TOILETS AND DUMPSTERS WILL BE STAGED ON PRIVATE PROPERTY AND NOT IN THE RIGHT OF WAY.

13.) IF PARKING ON PUBLIC STREET IS NECESSARY ALL VEHICLES WILL BE PARKED ON ONE SIDE OF THE ROAD WITH TRAFFIC. PARKING SHALL NOT BLOCK DRIVEWAYS OR MAILBOXES AND SHALL PROVIDE FOR EMERGENCY VEHICLES ACCESS.

14.) ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL, OF STORM WATER RUN OFF AND SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).

LONGROAD KEY REQUIRED PLAN INFORMATION LIST

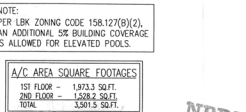
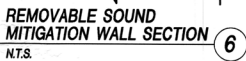
- PROJECT NAME : BURKE RESIDENCE
- PROJECT ADDRESS : 639 BAYVIEW DRIVE, LONGROAD KEY, FL 34228
- CONTRACTOR'S NAME : ROSS BULL, LLC
CONTRACTOR'S PHONE : #941.776.7600
- CONTRACTOR'S LICENSE NUMBER : CSC 1255428
- CONTRACTOR SEAL OR SIGNATURE :
- PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH **2020 FLORIDA BUILDING CODE** AND SET FORTH BY THE FLORIDA BUILDING CODE **7TH EDITION**.
- ALL NEW HVAC FOR RESIDENTIAL REQUIRE A DUCT TEST AND ENVELOPE LEAKAGE TEST.
- BUILDING USE : SINGLE FAMILY RESIDENTIAL
- LOT ZONING : RSF-4 - LOW DENSITY RESIDENTIAL
- CONSTRUCTION TYPE : V8
- SPRINKLER/IF NON SPRINKLER : NON SPRINKLER
- THIS STRUCTURE HAS BEEN DESIGNED PER THE 2020 FLORIDA BUILDING CODE AND HAS BEEN DESIGNED FOR WIND VELOCITIES OF 160 MPH W/ 3-SEC. GUST. NORM DESIGN WIND SPEED 160 MPH W/ 3-SEC. GUST.
- ROOF LOADS :
LIVE LOAD - 20 psf
DEAD LOAD - 15 psf
DEAD LOAD - 5psf (AVAILABLE TO RESIST UPLIFT)
- FLOOR LOADS :
LIVE LOAD - 40 psf
DEAD LOAD - 15 psf
- RISK CATEGORY : II
- FLOOR ZONE : AE (EL-9)
DESIGN FLOOD : BASE FLOOD + 1FT. FREEBOARD + 10.00' NAVD
- EXPOSURE CATEGORY : 0
- MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT SHALL BE ELEVATED ABOVE BFE, IN ACCORDANCE WITH FBC 2020 - 7TH EDITION - RESIDENTIAL - R322.1.2, ACE 24-14 D17 & FEMA/NFIP TECH BULLETIN #1.
- PLAN DESIGN BASED ON SPECIAL FLOOD HAZARD AREAS, R322.1.2 STRUCTURAL SYSTEMS. STRUCTURAL SYSTEMS OF BUILDINGS & STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOATION, COLLAPSE, OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOSSES & STRESSES FROM FLOODING EQUAL TO OR GREATER THAN THE DESIGN FLOOD ELEVATION, FBC 2020 - 7TH EDITION BUILDING - SECTIONS 1612 & 3109, FIG. 2020 - 7TH EDITION - RESIDENTIAL - SECTION R322.1.2, FEMA TECH BULLETIN #9 AND ACE 24.



TOWN OF LONGROAD KEY SINGLE FAMILY COVERAGE CALCULATIONS: ZONING

This worksheet is to be used in calculating Lot Coverage and Non-Open Space for a lot. All calculations shall be completed on the inside site plan, which is signed and sealed by the design professional. All information must be completed and verified by the design professional on the inside site plan. The design professional shall verify the accuracy of the information provided and shall be responsible for the accuracy of the information provided. The design professional shall verify the accuracy of the information provided and shall be responsible for the accuracy of the information provided.

Lot Coverage Calculation	IN SQUARE FEET		
	EXISTING	THIS PERMIT	BY OTHERS
1.8 Non-Floodable Areas			
Residential Structure (see exterior elevations)	5,115.5		
Garage/Carport and other structures	26.8		
Roof Eave Overhang exceeding 1' in depth on any level (see notes)	108.3		
Front Entry & Rear Steps (see exterior elevations)	26.3		
Rear Entry & Rear Steps (see exterior elevations)	-		
Right of Way (see exterior elevations)	-		
Enclosed Mechanical Equipment Pad (see exterior elevations)	-		
Accessory Structure (1', see exterior elevations)	-		
Other Buildings/Structures/Improvements (see exterior elevations)	-		
2.0 Non-Open Space			
2.0 (a) Non-Open Space	7,806.2		
2.0 (b) Non-Open Space (see exterior elevations)	1,613.3		
2.0 (c) Non-Open Space (see exterior elevations)	3,882.2		
3.1 Total Lot Coverage Square Footage	3,882.2 sq. ft.		
3.2 Total Non-Open Space Square Footage	12,301.7 sq. ft.		
3.3 Total Lot Coverage Percentage	31.6%		
3.4 Total Non-Open Space Percentage	100.0%		



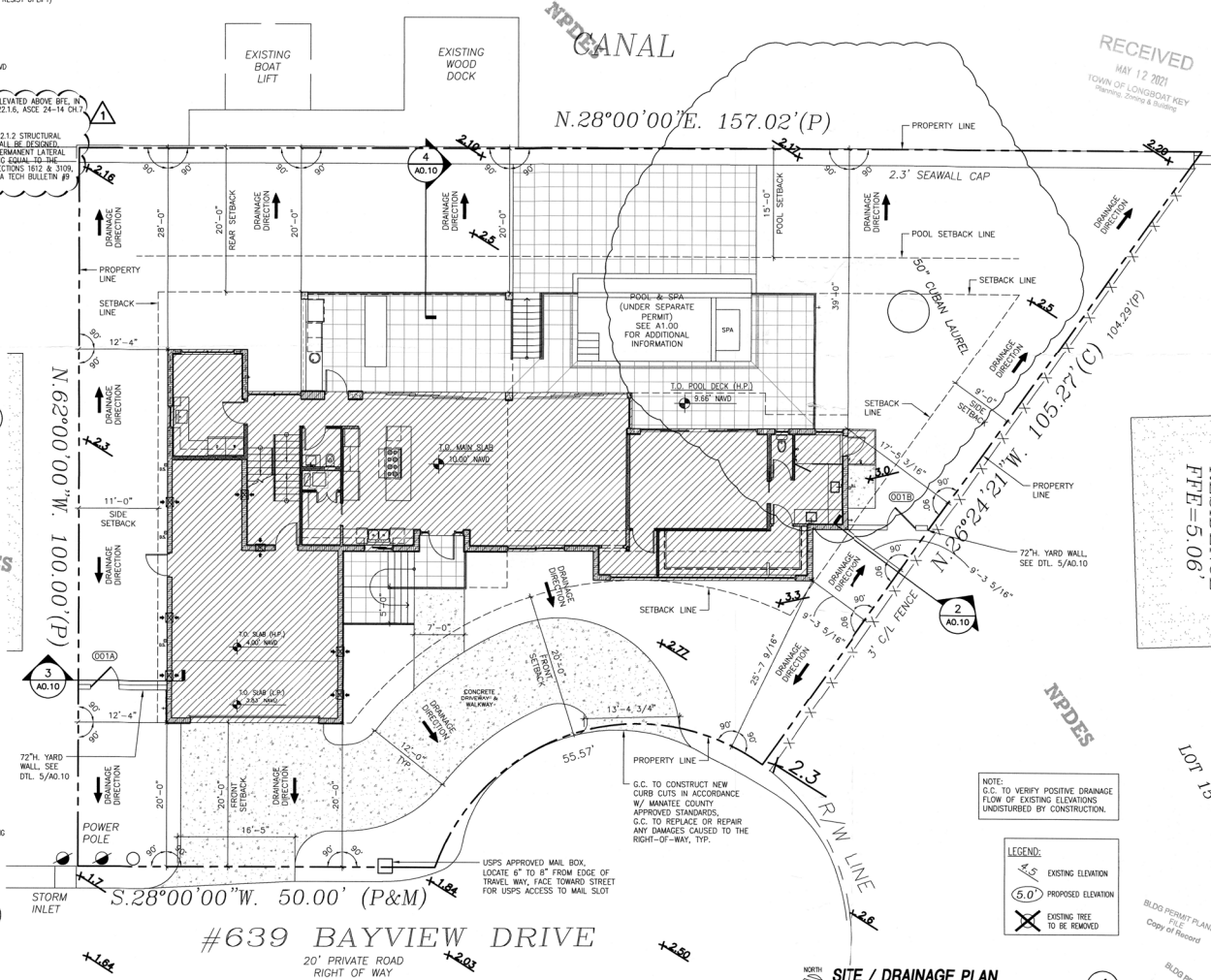
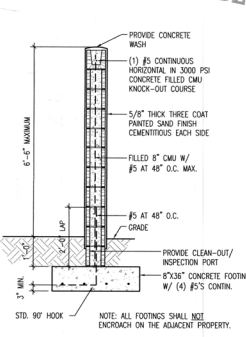
BUILDING USE - R-3, SINGLE FAMILY
 RISK CATEGORY - II
 EXPOSURE CATEGORY - D

(TOWN OF LONGROAD KEY)
 9.00 FEET N.A.V.D. FEMA BASE FLOOD ELEVATION (B.F.E.) REQUIRED BUILDING SETBACKS
 10.00 FEET N.A.V.D. DESIGN FLOOD ELEVATION (D.F.E.) 20'-0" FRONT (STREET)
 30.00 FEET MAX. BUILDING HT. 20'-0" REAR YARD
 TYPE V CONSTRUCTION, UNSPRINKLERED, UNSPROTECTED 8'-0" / 20'-0" SIDE YARD
 LOT ZONING: RSF4 20'-0" WATER SIDE
 FLOOD ZONE: AE (EL = 9)

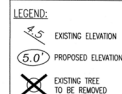
THIS STRUCTURE HAS BEEN DESIGNED PER THE 2020 FLORIDA BUILDING CODE AND HAS BEEN DESIGNED FOR WIND VELOCITIES OF 160 MPH W/ 3-SEC. GUST. NORM DESIGN WIND SPEED 124 MPH W/ 3-SEC. GUST.

LEGAL DESCRIPTION:
 LOT 14, OF THE UNRECORDED PLAT OF BAYVIEW ACRES, BEING A RESUBDIVISION OF LOTS 88, 108 & 118, OF SLEEPY LAGOON ADDITION, AS RECORDED IN PLAT BOOK 7, PAGE 81, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, AS PER PLAT OF SAID BAYVIEW ACRES, OF RECORD IN DEED BOOK 291, PAGES 99 & 100, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

SURVEY INFORMATION PROVIDED BY:
 RED STAKE SURVEYORS
 7123 PROCTOR RD.
 SARASOTA, FL 34241
 (P) 941.923.9997 (F) 941.925.8884



NOTE:
 G.C. TO VERIFY POSITIVE DRAINAGE FLOW OF EXISTING ELEVATIONS UNIMPROVED BY CONSTRUCTION.



REVISED PER TOWN OF LK KEY COMMENTS DATED - 05/04/21

APPROVED
 MAY 12 2021
 TOWN OF LONGROAD KEY
 Planning, Zoning & Building

RECEIVED
 MAY 12 2021
 TOWN OF LONGROAD KEY
 Planning, Zoning & Building

1348 FRUITVILLE ROAD, SUITE 204
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DSDG ARCHITECTS
 ARCHITECTURE
 INTERIORS
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DS DG

RESIDENCE
 PHE = 5.06'

A NEW RESIDENCE FOR: PHIL & KELLY BURKE
 639 BAYVIEW DRIVE
 LONGROAD KEY, FLORIDA 34228

SITE / DRAINAGE PLAN

Project For: CGR
 Drawn by: MEG
 Checked by: MEG
 Date Issued: 4.19.2021
 Sheet Number: **AO.10**

2 - REVISION PER HVAC ENGINEER COMMENTS DATED - 04/27/2021
 3 - REVISION PER OWNER CHANGES DATED - 06/08/2021

1936 FRUITVILLE ROAD, SUITE 204
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Revisions:
 1 05/27/2021
 2 06/08/2021

DSDG ARCHITECTS
 ARCHITECTURE
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 CONSTRUCTION MANAGEMENT

A NEW RESIDENCE FOR:
PHIL & KELLY BURKE

639 BAYVIEW DRIVE
 LONGBOAT KEY, FLORIDA 34228

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 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building

APPLICANT
 PROJECT: 1936 FRUITVILLE ROAD, SUITE 204
 SHEET: A1.10
 DATE ISSUED: 4.19.2021

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 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building

Project Ref:
 Drawn by: CCB
 Checked by: MES
 Date Issued: 4.19.2021
 Sheet Number:
A1.10

- NOTES:
 1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONCRETE BLOCK.
 2.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
 3.) ALL DOORS SHALL BE 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED. ALL OTHER DOORS ARE DIMENSIONED TO CENTERLINE.
 4.) WINDOWS ARE DIMENSIONED TO CENTERLINE.
 5.) WINDOWS LABELLED AS EGRESS SHALL MEET FBC-R310 REQUIREMENTS.
 6.) ALL A/C UNITS TO BE ELEVATED ABOVE BASE FLOOD ELEVATION & SECURED TO EQUIPMENT PLATFORM W/ STAINLESS STEEL STRAPS AND (1) 1/4"x3" TAPCON EACH SIDE MAINTAIN 12" MIN. CLEAR SPACE AROUND EACH A/C UNIT TYP.
 7.) TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS SHALL MEET FBC-R SECTION 703.6.
 8.) ALL SHOWER PAN LINERS SHALL HAVE A 1/4" PER FOOT MINIMUM SLOPE TO DRAIN.
 9.) ALL CEMENTITIOUS BD. TILED WALL LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTGEN BY US GYP. UNLESS OTHERWISE NOTED.
 10.) EXTERIOR CEMENTITIOUS COATING SHALL COMPLY WITH FBC-R SECTIONS 703.6 THROUGH 703.6.5.
 11.) AIR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT ARE THE THERMAL ENVELOPE FOR THE BUILDING PER FBC-R402.4.

NOTE: HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 6/8" TYPE "X" GYR WALL.

NOTE: ALL MATERIALS BELOW DESIGN FLOOD ELEVATION SHALL BE APPROVED WATER RESISTANT MATERIALS PER FEMA TECH. BULLETIN #2 AUG 2008 (I.E. WINDOWS, DOORS, JAMBS, STAIRS, WALLS, ETC.) ALL MATERIALS MUST BE ABLE TO RESIST WATER FOR A MINIMUM OF 72 HOURS.

NOTE: ALL NEW CONSTRUCTION SHALL BE REQUIRED TO PASS THE BLOWER DOOR TEST PER 2017 ENERGY CONSERVATION CODE R402.4. BE AWARE FLOW THRU OPENINGS MAY CREATE SOME ISSUES WHILE PERFORMING THIS TEST.

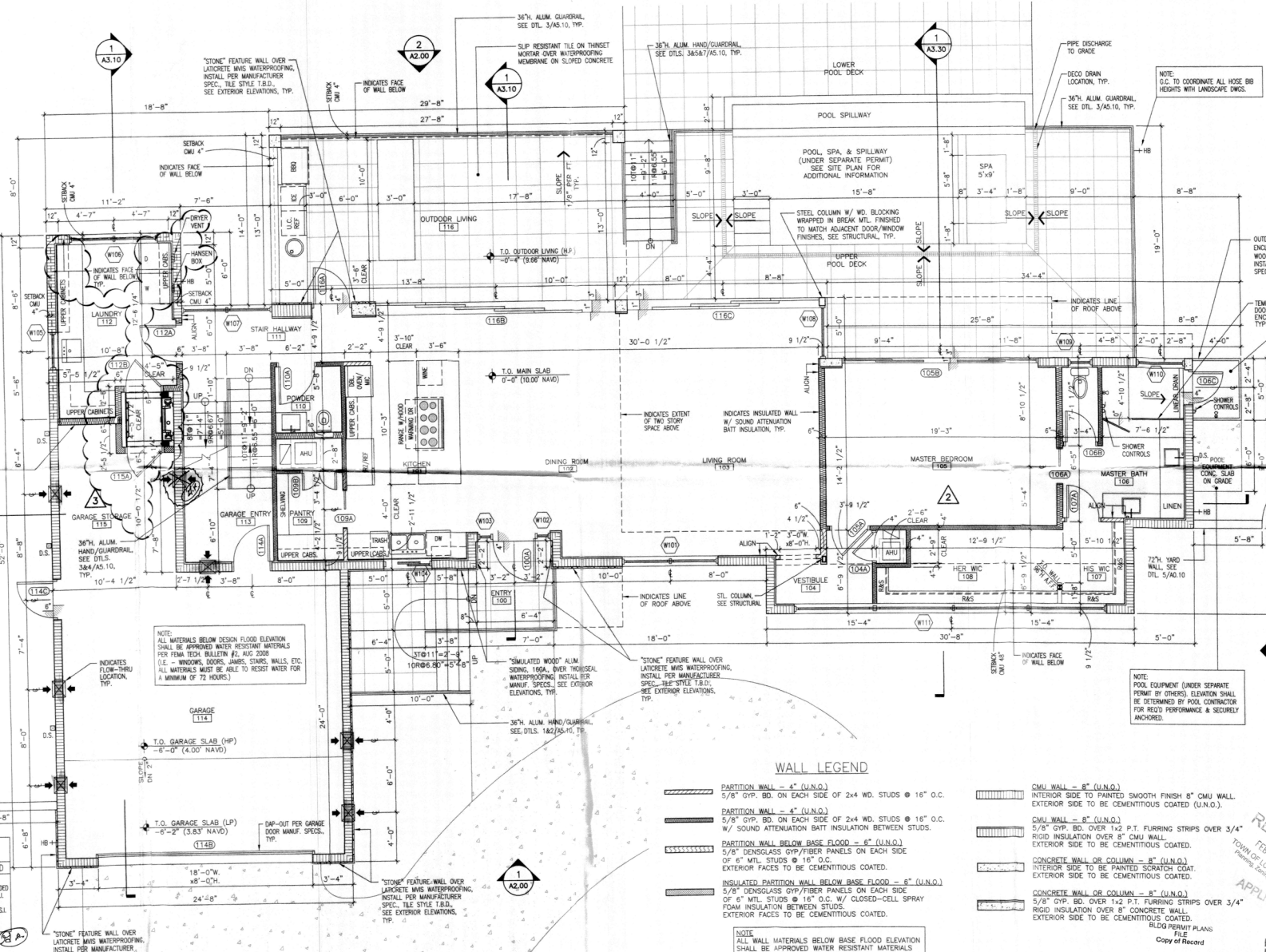
ROOM NO.	AREA	AREA REQ'D	TOTAL NET OPENING PROVIDED
GARAGE ENTRY #113	117 S.F.	843 S.I.	(5x) TYPE "X" PERIMETER OPENINGS PROVIDED @ 200 NET S.I. PER UNIT = 1,000 NET S.I.
GARAGE #114	583 S.F.	843 S.I.	PLUS (1) INTERNAL TYPE "X" OPENINGS PROVIDED @ 200 NET S.I. PER UNIT = 200 NET S.I.
GARAGE STOR. #115	133 S.F.	843 S.I.	200
			1,200 S.I. TOTAL

COLOR TO BE SELECTED BY ARCHITECT

TYPE "X" - CERTIFIED 200 SQ. FT. FLOOD VENT, TRIM, & SLEEVE

FLOW THRU UNIT "X" BY: SMART VENT - PIVOTING SOLID INSULATED FACE VENT #1546-50 / 1074 X SLEEVE #1590-50-12

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WALL LEGEND

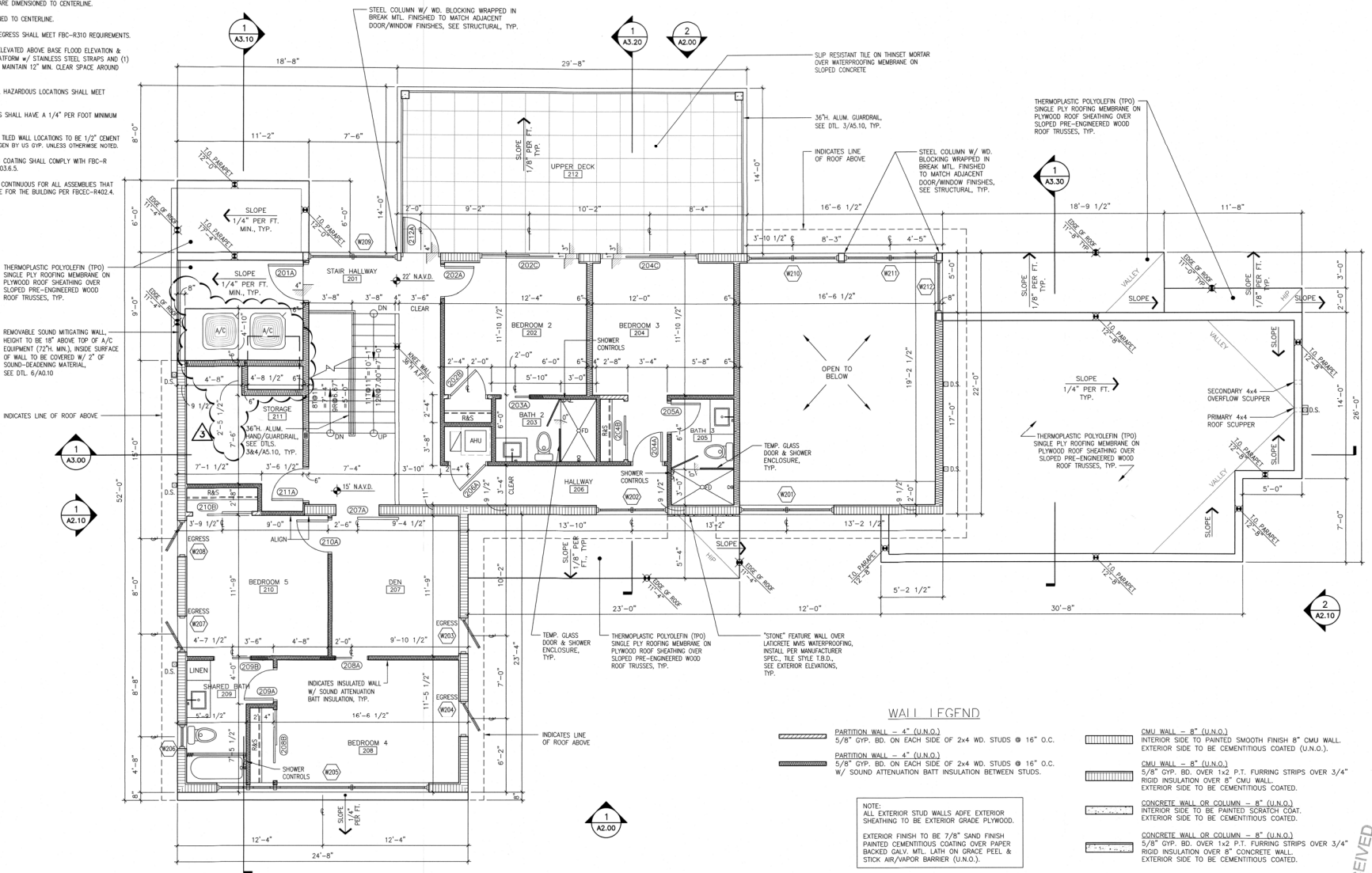
- PARTITION WALL - 4" (U.N.O.)
- PARTITION WALL - 2" (U.N.O.)
- PARTITION WALL BELOW BASE FLOOD - 6" (U.N.O.)
- INSULATED PARTITION WALL BELOW BASE FLOOD - 6" (U.N.O.)
- CMU WALL - 8" (U.N.O.)
- CONCRETE WALL OR COLUMN - 8" (U.N.O.)
- CONCRETE WALL OR COLUMN - 8" (U.N.O.)

FIRST FLOOR PLAN
 1/4" = 1'-0"

1



- NOTES:
1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONCRETE BLOCK.
2.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
3.) ALL DOORS SHALL BE 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED. ALL OTHER DOORS ARE DIMENSIONED TO CENTERLINE.
4.) WINDOWS ARE DIMENSIONED TO CENTERLINE.
5.) WINDOWS LABELED AS EGRESS SHALL MEET FBC-2010 REQUIREMENTS.
6.) ALL A/C UNITS TO BE ELEVATED ABOVE BASE FLOOR ELEVATION & SECURED TO EQUIPMENT PLATFORM w/ STAINLESS STEEL STRAPS AND (1) 1/4"x3" TAPCON EACH SIDE MAINTAIN 12" MIN. CLEAR SPACE AROUND EACH A/C UNIT TYP.
7.) TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS SHALL MEET FBC-19 SECTION R308.4.
8.) ALL SHOWER PAN LINERS SHALL HAVE A 1/4" PER FOOT MINIMUM SLOPE TO DRAIN.
9.) ALL CEMENTITIOUS BD. TILE WALL LOCATIONS TO BE 1/2" CONMT CD. EQUAL TO DUROCK NEXTVEN BY US GYP. UNLESS OTHERWISE NOTED.
10.) EXTERIOR CEMENTITIOUS COATING SHALL COMPLY WITH FBC-R SECTIONS 703.6 THROUGH 703.6.5.
11.) AIR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT ARE THE THERMAL ENVELOPE FOR THE BUILDING PER FBCEC-R402.4.



- WALL I/F G/FND**
- PARTITION WALL - 4" (U.N.O.)
5/8" GYP. BD. ON EACH SIDE OF 2x4 WD. STUDS @ 16" O.C.
 - PARTITION WALL - 8" (U.N.O.)
5/8" GYP. BD. ON EACH SIDE OF 2x4 WD. STUDS @ 16" O.C.
W/ SOUND ATTENUATION BATT INSULATION BETWEEN STUDS.
 - CMU WALL - 8" (U.N.O.)
INTERIOR SIDE TO PAINTED SMOOTH FINISH 8" CMU WALL.
EXTERIOR SIDE TO BE CEMENTITIOUS COATED (U.N.O.).
 - CMU WALL - 8" (U.N.O.)
5/8" GYP. BD. OVER 1x2 P.T. FURRING STRIPS OVER 3/4" RIGID INSULATION OVER 8" CMU WALL.
EXTERIOR SIDE TO BE CEMENTITIOUS COATED.
 - CONCRETE WALL OR COLUMN - 8" (U.N.O.)
INTERIOR SIDE TO BE PAINTED SCRATCH COAT.
EXTERIOR SIDE TO BE CEMENTITIOUS COATED.
 - CONCRETE WALL OR COLUMN - 8" (U.N.O.)
5/8" GYP. BD. OVER 1x2 P.T. FURRING STRIPS OVER 3/4" RIGID INSULATION OVER 8" CONCRETE WALL.
EXTERIOR SIDE TO BE CEMENTITIOUS COATED.
- NOTE:
ALL EXTERIOR STUD WALLS ADJF EXTERIOR SHEATHING TO BE EXTERIOR GRADE PLYWOOD.
EXTERIOR FINISH TO BE 7/8" SAND FINISH PAINTED CEMENTITIOUS COATING OVER PAPER BACKED GALV. MTL. LATH ON GRACE PEEL & STICK AIR/VAPOR BARRIER (U.N.O.).

SECOND FLOOR PLAN
1/4" = 1'-0"

RECEIVED
JUN 28 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

Project Ref:
Drawn by: CCR
Checked by: MESS
Date Issued: 4.19.2021

Sheet Number:

A1.20

BLDG PERMIT PLANS
FILE
Copy of Record

DSDG ARCHITECTS
ARCHITECTURE
PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT



A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

1348 FRUITVILLE ROAD, SUITE 204
SAFASOTA, FLORIDA 34236
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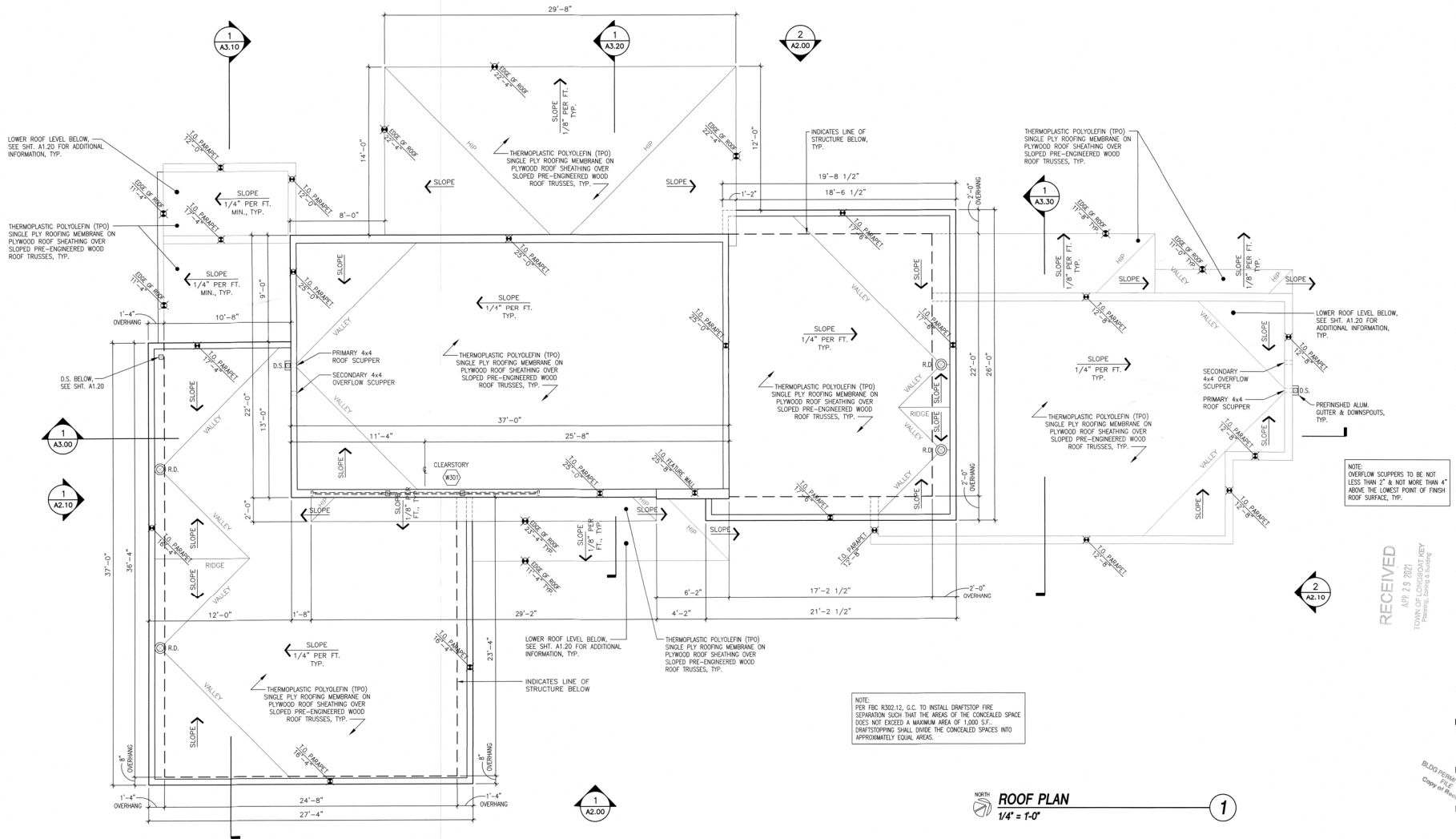
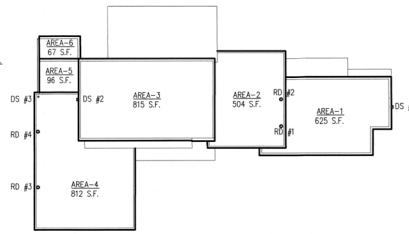
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 2.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

ROOF DRAINAGE AREA CALCS.

AREA-1 (625 S.F.) + AREA-2 (504 S.F.)=1,129 S.F. REQ'D.
 RD #1 4" ROOF DRAIN = 1,504 S.F.
 RD #2 4" ROOF DRAIN = 1,504 S.F.
 TOTAL DRAINAGE PROVIDED= 3,008 S.F.
 OS #1 4"x4" SCUPPER = 1,504 S.F.
 TOTAL DRAINAGE PROVIDED= 1,504 S.F.
 AREA-3 (815 S.F.) + AREA-4 (812 S.F.)=1,627 S.F. REQ'D.
 RD #3 6" ROOF DRAIN = 4,280 S.F.
 RD #4 6" ROOF DRAIN = 4,280 S.F.
 TOTAL DRAINAGE PROVIDED= 8,560 S.F.
 OS #2 4"x4" SCUPPER = 1,504 S.F.
 TOTAL DRAINAGE PROVIDED= 1,504 S.F.

ROOF DRAINAGE AREA CALCS. (CONT.)

AREA-5 (96 S.F.) + AREA-6 (67 S.F.)=163 S.F. REQ'D.
 OS #3 6"x6" DOWN SPOUT= 4,280 S.F.
 TOTAL DRAINAGE PROVIDED= 4,280 S.F.
 NOTE:
 THESE NUMBERS ARE CALCULATED USING:
 (1) 4" HORZ. PIPE @ 1% SLOPE &
 5"/HR. RAINFALL = 1,504 S.F. ROOF AREA
 (1) 6" HORZ. PIPE @ 1% SLOPE &
 5"/HR. RAINFALL = 4,280 S.F. ROOF AREA



NOTE:
 PER FIRE #302.12, G.C. TO INSTALL DRIFTSTOP FIRE SEPARATION SUCH THAT THE AREAS OF THE CONCEALED SPACE DOES NOT EXCEED A MINIMUM AREA OF 1,000 S.F.
 DRIFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS.

NOTE:
 OVERFLOW SCUPPERS TO BE NOT LESS THAN 2" & NOT MORE THAN 4" ABOVE THE LOWEST POINT OF FINISH ROOF SURFACE, TYP.

ROOF PLAN
 1/4" = 1'-0"

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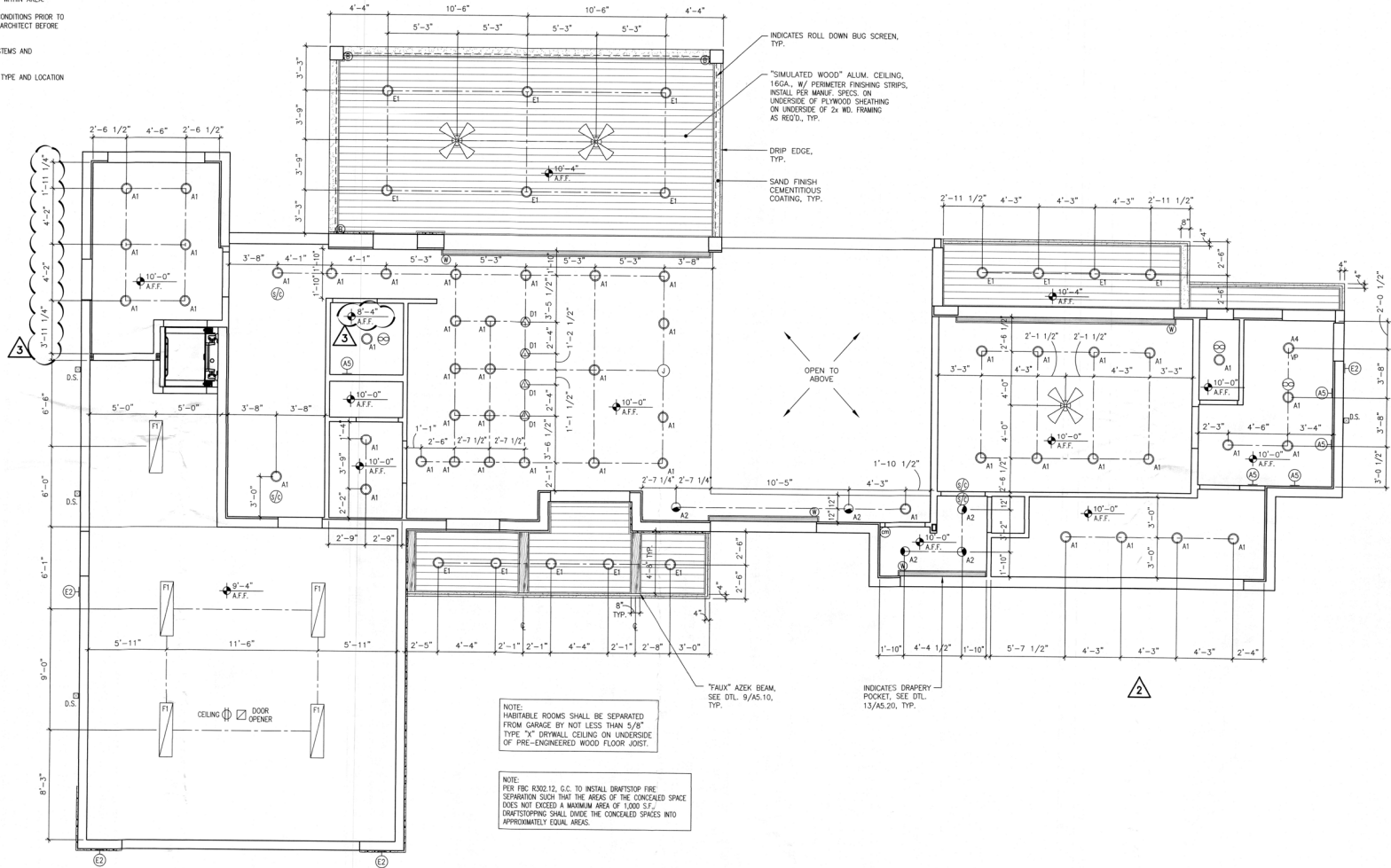
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 LONGBOAT KEY, FLORIDA 34228
 635 BAYVIEW DRIVE

ROOF PLAN

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- NOTES:
- 1) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONC. BLOCK.
 - 2) ALL CEILING ELEVATIONS ARE FROM TOP OF SLAB/TRUSS ELEVATION.
 - 3) ALL INTERIOR CEILINGS TO BE 5/8" GYP. CEILING BD. UNLESS OTHERWISE NOTED.
 - 4) ALL WET LOCATION CEILINGS (I.E. CEILINGS OVER BATHROOM SHOWERS) TO BE 1/2" CEMENT BD. EQUAL TO SHEETROCK MOLD TOUGH BY US GYP. UNLESS OTHERWISE NOTED.
 - 5) ALL CEMENTITIOUS BD. TILE LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTGEN BY US GYP. UNLESS OTHERWISE NOTED.
 - 6) UNLESS OTHERWISE NOTED, LIGHT FIXTURES TO BE CENTERED WITHIN AREA.
 - 7) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
 - 8) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.
 - 9) GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TYPE AND LOCATION OF AIR CONDITIONING GRILLES.
 - 10) SEE SHT. A1.70 FOR ELECTRICAL LEGEND.



NOTE:
HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 5/8" TYPE "X" DRYWALL CEILING ON UNDERSIDE OF PRE-ENGINEERED WOOD FLOOR JOIST.

NOTE:
PER IRC R302.12, C.C. TO INSTALL DRAFTSTOP FIRE SEPARATION SUCH THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED A MAXIMUM AREA OF 1,000 S.F. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS.

- 2 - REVISION PER HVAC ENGINEER COMMENTS DATED - 04/27/2021
- 3 - REVISION PER HVAC ENGINEER COMMENTS DATED - 06/01/2021 & OWNER CHANGES DATED 06/08/2021



Revisions
 A 05/12/2021
 B 05/12/2021
 C 05/12/2021

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FIRST FLOOR
 REFLECTED CEILING PLAN

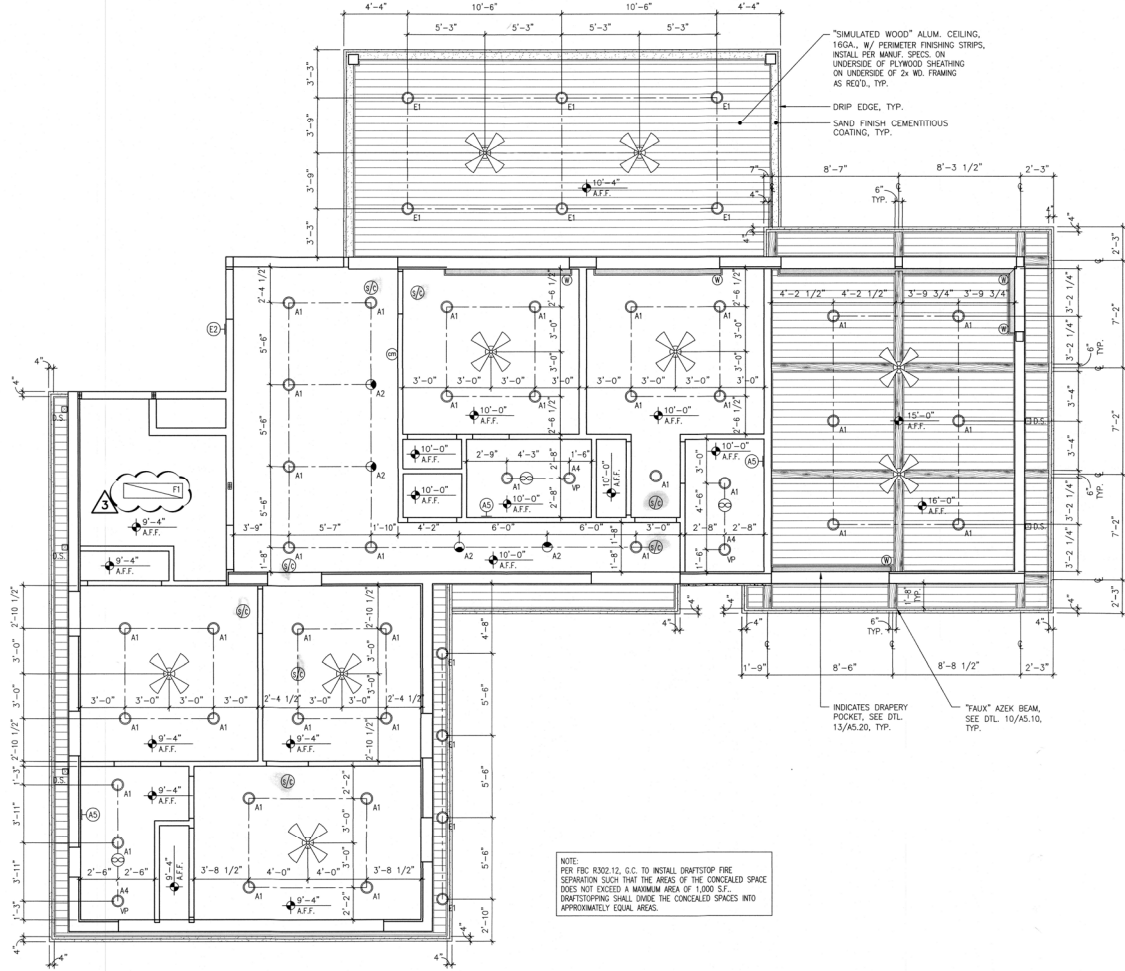
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FIRST FLOOR - REFLECTED CEILING PLAN
 1/4" = 1'-0" 1



- NOTES:
- 1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONC. BLOCK.
 - 2.) ALL CEILING ELEVATIONS ARE FROM TOP OF SLAB/TRUSS ELEVATION.
 - 3.) ALL INTERIOR CEILINGS TO BE 5/8" GYP. CEILING BD. UNLESS OTHERWISE NOTED.
 - 4.) ALL WET LOCATION CEILINGS (I.E. CEILINGS OVER BATHROOM SHOWERS) TO BE 1/2" CEMENT BD. EQUAL TO SHEETROCK MOLD TOUGH BY US GYP. UNLESS OTHERWISE NOTED.
 - 5.) ALL CEMENTITIOUS BD. TILE LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXT-DEN BY US GYP. UNLESS OTHERWISE NOTED.
 - 6.) UNLESS OTHERWISE NOTED, LIGHT FIXTURES TO BE CENTERED WITHIN AREA.
 - 7.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
 - 8.) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.
 - 9.) GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TYPE AND LOCATION OF AIR CONDITIONING GRILLES.
 - 10.) SEE SHT. A1.70 FOR ELECTRICAL LEGEND.



SECOND FLOOR - REFLECTED CEILING PLAN
 1/4" = 1'-0" 1

Revision	Date	Description
1	06/23/2021	

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SECOND FLOOR
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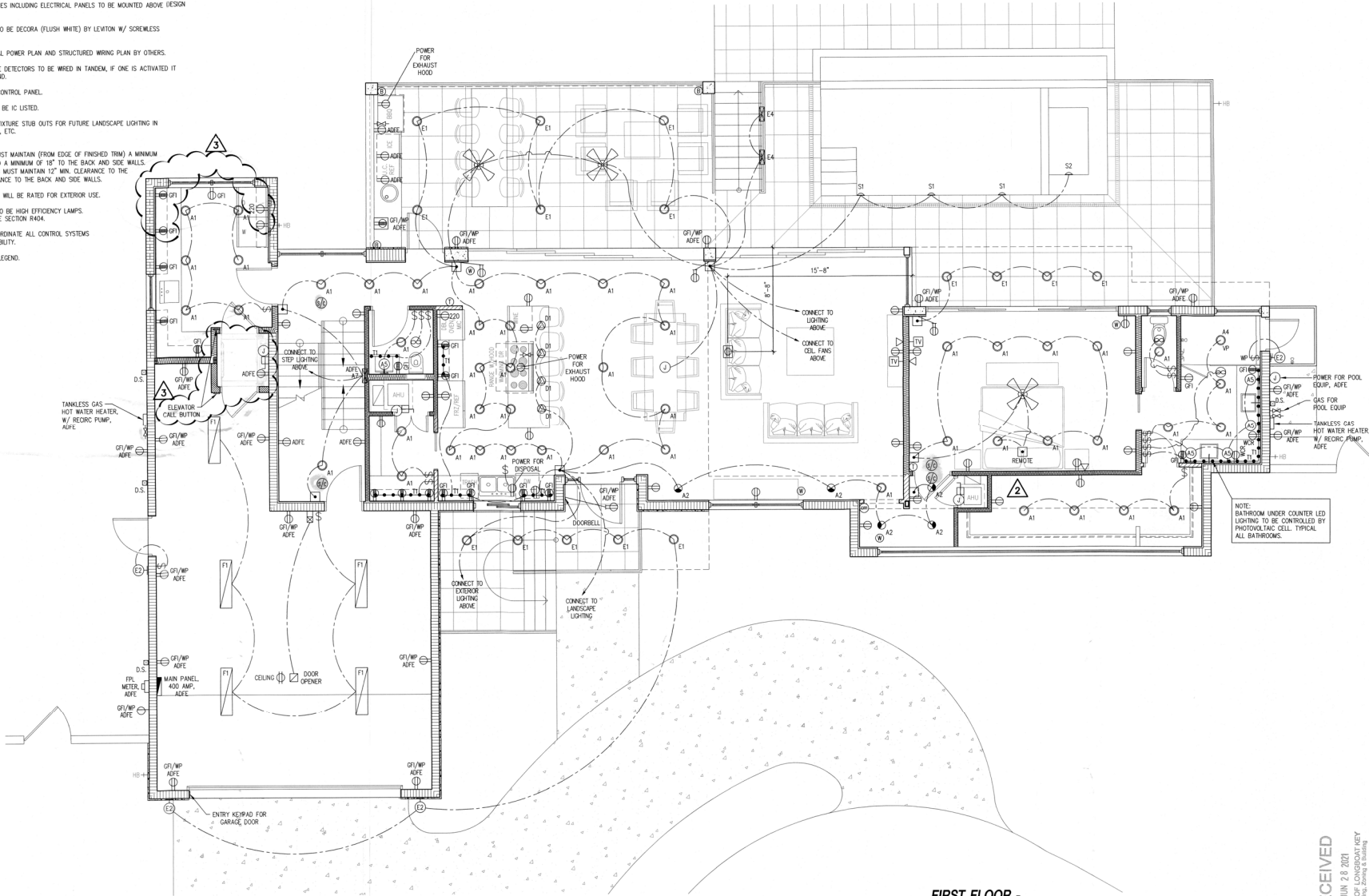
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2 - REVISION PER HVAC ENGINEER COMMENTS DATED - 04/27/2021
 3 - REVISION PER OWNER CHANGES
 DATED - 06/08/2021



- ELECTRICAL NOTES:
- 1.) ALL ELECTRICAL TO BE WIRED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE 2014.
 - 2.) ELECTRICAL SUB CONTRACTOR TO SIZE ELECTRICAL PANEL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC).
 - 3.) ALL OUTLETS THAT ARE NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC FAULT WITH TRIPPER PROOF RECEPTACLES.
 - 4.) ALL ELECTRICAL OUTLETS & SWITCHES INCLUDING ELECTRICAL PANELS TO BE MOUNTED ABOVE (DESIGN FLOOD ELEVATION (ADFE)).
 - 5.) ALL SWITCHES AND RECEPTACLES TO BE DECORA (FLUSH WHITE) BY LEVITON W/ SCREMLESS FACE/WALL PLATE COVERS.
 - 6.) G.C. TO COORDINATE ARCHITECTURAL POWER PLAN AND STRUCTURED WIRING PLAN BY OTHERS.
 - 7.) ALL FIRE SMOKE/CARBON MONOXIDE DETECTORS TO BE WIRED IN TANDEM, IF ONE IS ACTIVATED IT SHALL CAUSE ALL DETECTORS TO SOUND.
 - 8.) PROVIDE EXTERIOR GARAGE DOOR CONTROL PANEL.
 - 9.) ALL LOW VOLTAGE FIXTURES SHALL BE IC LISTED.
 - 10.) PROVIDE DOWN STAIRS OUTDOOR FIXTURE STUB ABOVE FOR FUTURE LANDSCAPE LIGHTING IN PLANTERS, TREES, IRRIGATION SYSTEMS, ETC.
 - 11.) CLOSET LIGHTING:
 - RECESSED FIXTURE W/ LENS MUST MAINTAIN (FROM EDGE OF FINISHED TRIM) A MINIMUM OF 6" CLEARANCE TO SHELF AND A MINIMUM OF 18" TO THE BACK AND SIDE WALLS.
 - FLUORESCENT FIXTURE W/ LENS MUST MAINTAIN 12" MIN. CLEARANCE TO THE SHELF AND 24" MINIMUM CLEARANCE TO THE BACK AND SIDE WALLS.
 - 12.) ALL EXTERIOR LIGHTING AND FANS WILL BE RATED FOR EXTERIOR USE.
 - 13.) AT LEAST 75% OF ALL LIGHTING TO BE HIGH EFFICIENCY LAMPS. SEE 2020 ENERGY CONSERVATION CODE SECTION R404.
 - 14.) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.
 - 15.) SEE SHT. A1.70 FOR ELECTRICAL LEGEND.



FIRST FLOOR - ELECTRICAL PLAN
 1/4" = 1'-0" 1

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639 BAYVIEW DRIVE

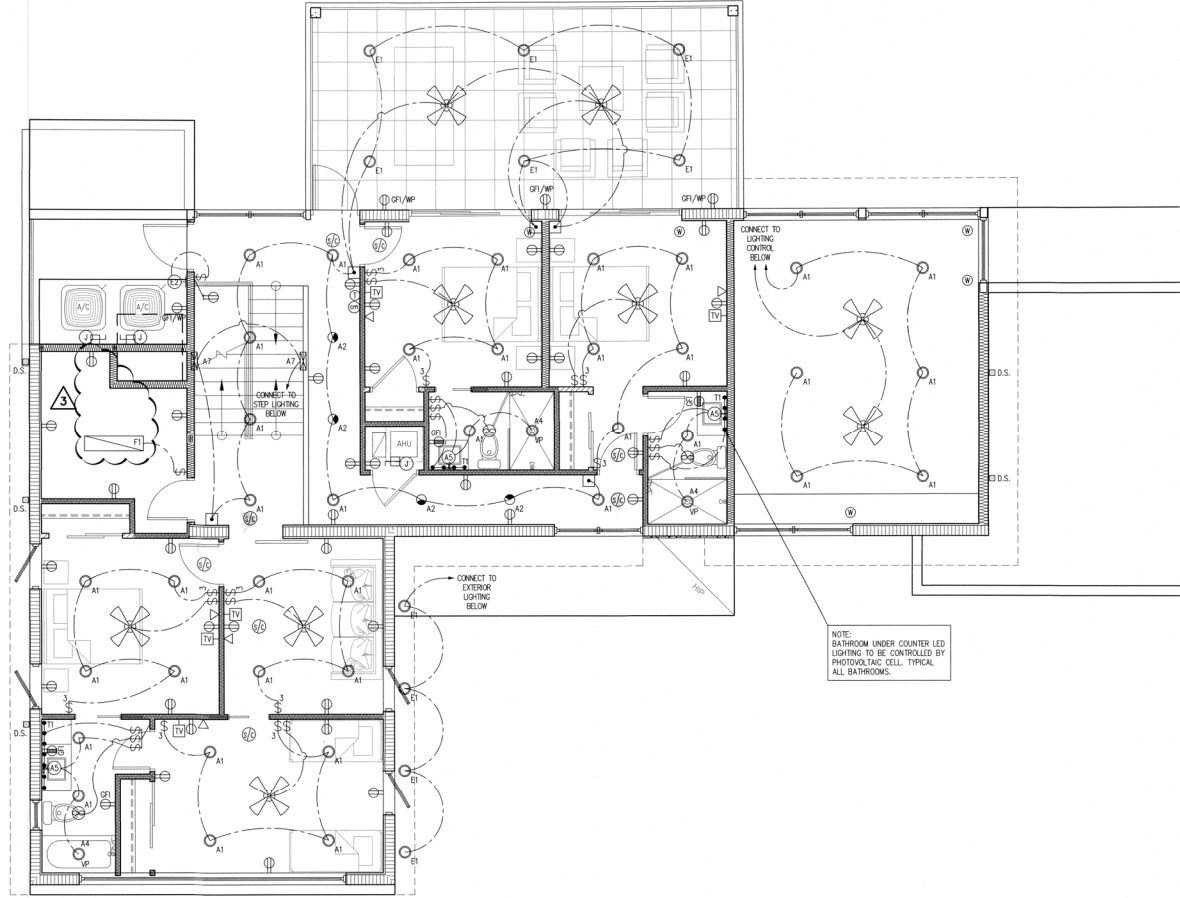
SECOND FLOOR - ELECTRICAL PLAN

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Date Issued: 4-18-2021

Sheet Number:
A1.70

- ELECTRICAL NOTES:
- 1.) ALL ELECTRICAL TO BE WIRED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE 2014.
 - 2.) ELECTRICAL SUB CONTRACTOR TO SIZE ELECTRICAL PANEL IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEF70).
 - 3.) ALL OUTLETS THAT ARE NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC FAULT WITH TAMPER PROOF RECEPTACLES.
 - 4.) ALL ELECTRICAL OUTLETS & SWITCHES INCLUDING ELECTRICAL PANELS TO BE MOUNTED ABOVE DESIGN FLOOD ELEVATION (ADEF).
 - 5.) ALL SWITCHES AND RECEPTACLES TO BE DECORA (FLUSH WHITE) BY LEVITON W/ SCREWLESS FACE/WALL PLATE COVERS.
 - 6.) G.C. TO COORDINATE ARCHITECTURAL POWER PLAN AND STRUCTURED WIRING PLAN BY OTHERS.
 - 7.) ALL FIRE SMOKE/CARBON MONOXIDE DETECTORS TO BE WIRED IN TANDEM, IF ONE IS ACTIVATED IT SHALL CAUSE ALL DETECTORS TO SOUND.
 - 8.) PROVIDE EXTERIOR GARAGE DOOR CONTROL PANEL.
 - 9.) ALL LOW VOLTAGE FIXTURES SHALL BE IC LISTED.
 - 10.) PROVIDE DOWN STAIRS OUTDOOR FIXTURE STUB OUTS FOR FUTURE LANDSCAPE LIGHTING IN PLANTERS, TREES, IRRIGATION SYSTEMS, ETC.
 - 11.) CLOSEST LIGHTING:
 - RECESSED FIXTURE W/ LENS MUST MAINTAIN (FROM EDGE OF FINISHED TRIM) A MINIMUM OF 6" CLEARANCE TO SHELVY AND A MINIMUM OF 18" TO THE BACK AND SIDE WALLS.
 - FLUORESCENT FIXTURE W/ LENS MUST MAINTAIN 12" MIN. CLEARANCE TO THE SHELF AND 24" MINIMUM CLEARANCE TO THE BACK AND SIDE WALLS.
 - 12.) ALL EXTERIOR LIGHTING AND FANS WILL BE RATED FOR EXTERIOR USE.
 - 13.) AT LEAST 75% OF ALL LIGHTING TO BE HIGH EFFICIENCY LAMPS. SEE 2020 ENERGY CONSERVATION CODE SECTION R404.
 - 14.) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.

ELECTRICAL LEGEND	
ELECTRICAL SYMBOL ABBREVIATIONS	LIGHT FIXTURES
A - ABOVE COUNTER	○ RECESSED CEILING LIGHT FIXTURE
AUC - ABOVE UPPER CABINET	○ RECESSED WALL WASH FIXTURE
ABSE - ABOVE BASE FLOOD ELEVATION PLANE	☀ SURFACE MOUNTED CEILING LIGHT FIXTURE
C - RECESSED CLOCK RECEPTACLE	○ PENDANT - CEILING MOUNTED
GFI - GFCI CIRCUIT	☀ 3-HEAD LIGHT ASSEMBLY - CEILING MTC
UC - UNDER COUNTER	○ WALL MOUNTED FLOOD LIGHT FIXTURE
VP - VAPOR PROOF FIXTURE	○ JUNCTION BOX
WCR - RECEPTACLE WITHIN CABINET W/ GFI PROTECTION	○ HIGH VOLTAGE JUNCTION BOX PER MOTORIZED DOOR ACTUATOR MANUFACTURER'S SPECS.
WP - WEATHER PROTECTED	○ HIGH VOLTAGE JUNCTION BOX PER ROLL DOWN WINDOW TREATMENT MANUFACTURER'S SPECS.
USB - UNIVERSAL SERIAL BUS RECEPTACLE PORT	○ LOW VOLTAGE JUNCTION BOX PER HULL DOWN WINDOW TREATMENT MANUFACTURER'S SPECS.
SWITCHING:	○ UNDERWATER POOL LIGHT - WALL MTC.
- ALL SWITCH COVERS TO BE SCREWLESS TYPE.	○ UNDERWATER POOL LIGHT - BOTTOM MTC.
§ SINGLE POLE WALL SWITCH	○ WALL SCONCE
§D SINGLE POLE WALL SWITCH W/ DIMMER	▭ SURFACE MOUNTED LED
§T SINGLE POLE WALL SWITCH W/ TIMER	▭ SURFACE MOUNTED LED
§3 3-WAY WALL SWITCH	▭ UNDER CABINET LIGHTING
§F FLIP UP SWITCH - FLUSH W/ COUNTER TOP	▭ LED LIGHTING
§F§ DUPLEX SWITCH & DUPLEX RECEPTACLE COMBINATION - FLUSH W/ COUNTER TOP	▭ IN WALL MOUNTED LIGHT LOW VOLTAGE
□ LIGHT CONTROL TOUCH PAD	○ CEILING MOUNTED FAN
□ GARAGE DOOR OPENER CONTROL	
MS MOTION SENSOR LIGHT SWITCH W/ PHOTO CELL	
OUTLETS:	
- ALL RECEPTACLES THAT ARE NOT REQUIRED TO BE G.F.I. PROTECTED SHALL BE ARC FAULT & TAMPERPROOF PER N.E.C. CODE.	
- ALL RECEPTACLE COVERS TO BE SCREWLESS TYPE.	
○ DUPLEX RECEPTACLE	
○ ABOVE COUNTER LOCATED DUPLEX RECEPTACLE	
○ WALL SWITCH CONTROLLED DUPLEX RECEPTACLE (ONE OUTLET SWITCHED - ONE NON-SWITCHED) (WHEN WIRED IN TANDEM ONLY SWITCHED OUTLETS TO BE WIRED TOGETHER)	
○ 220 VOLT RECEPTACLE	
○ CEILING OUTLET	
○ FLOOR OUTLET	
○ FLIP UP DUPLEX RECEPTACLE - FLUSH W/ COUNTER TOP	
△ CAT 6E	
○ CABLE T.V.	
○ DISCONNECT	
MISC	
○ SMOKE /CARBON MONOXIDE DETECTOR HARD WIRED, INTERCONNECTED w/BATTERY BACK-UP	
○ ELECTRICAL PANEL	
○ THERMOSTAT	
○ GAS	
○ DOOR CHIME	
○ CEILING MOUNTED EXHAUST FAN	
○ SURFACE MOUNTED SPEAKER	
○ ALARM PANEL	



SECOND FLOOR - ELECTRICAL PLAN
1/4" = 1'-0" 1

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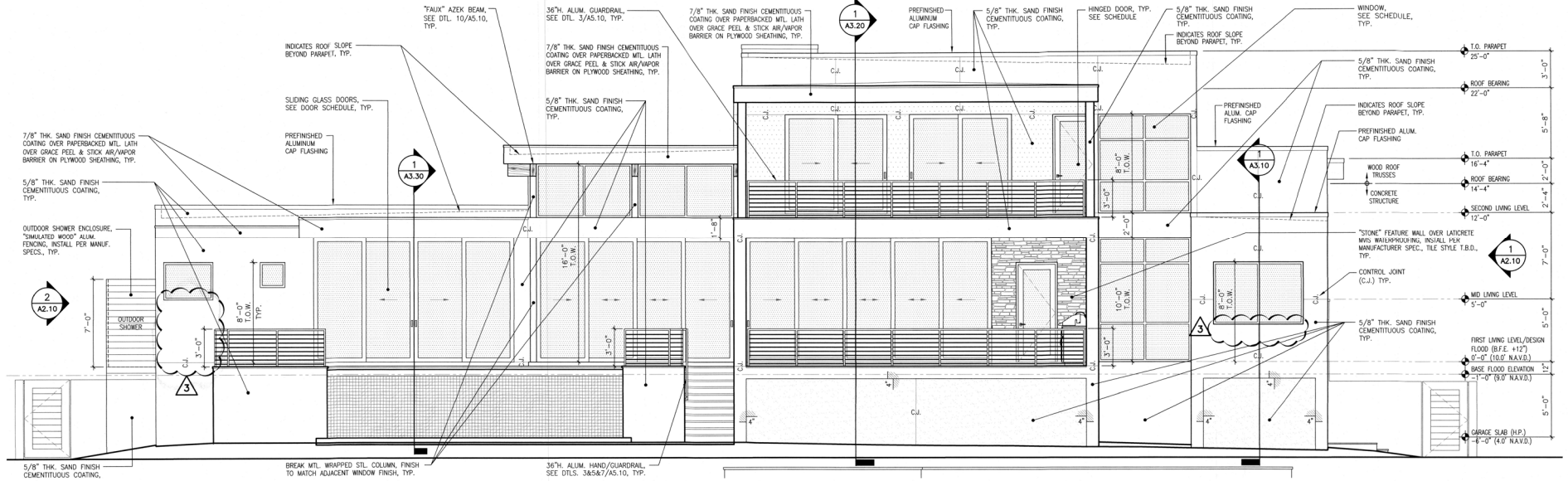
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BUILDING ELEVATIONS

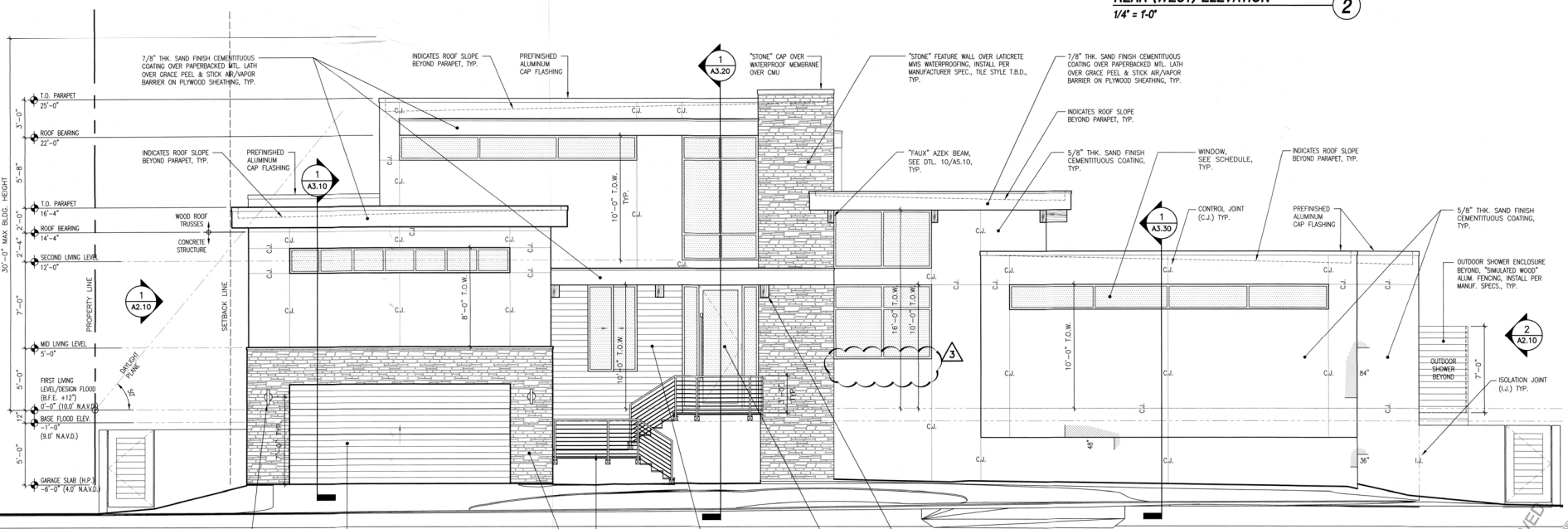
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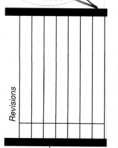
REAR (WEST) ELEVATION
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FRONT (EAST) ELEVATION
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 AIA #22826



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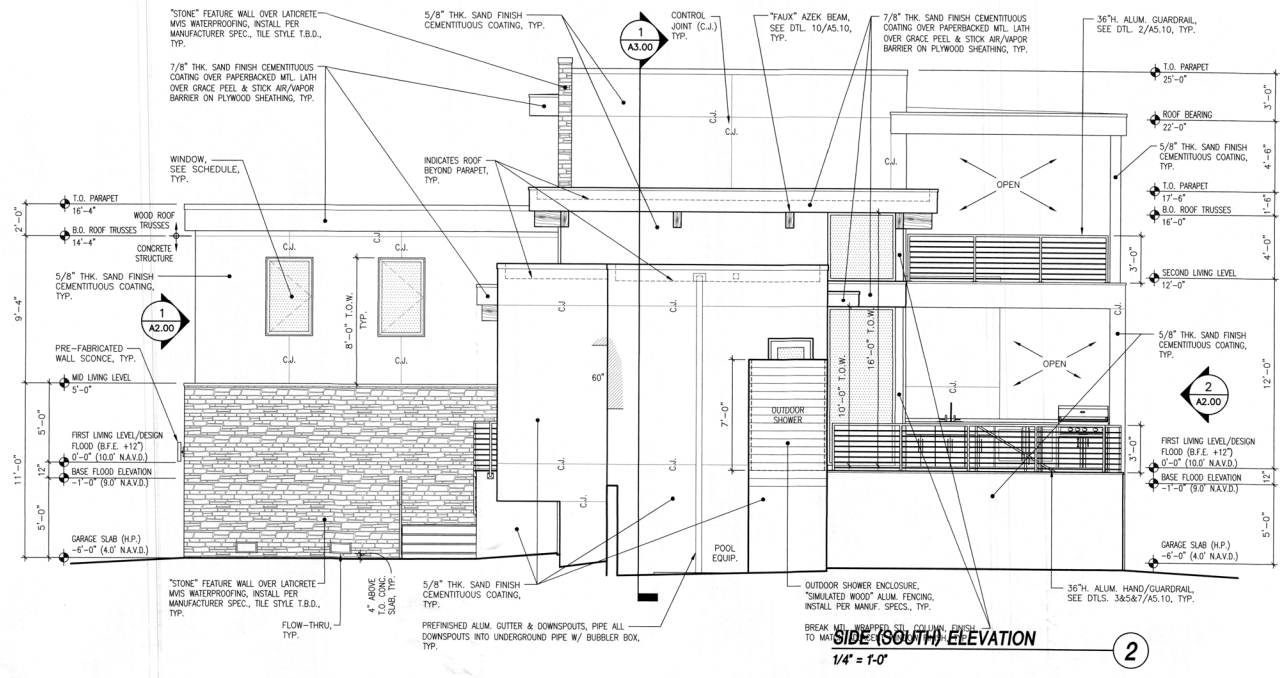
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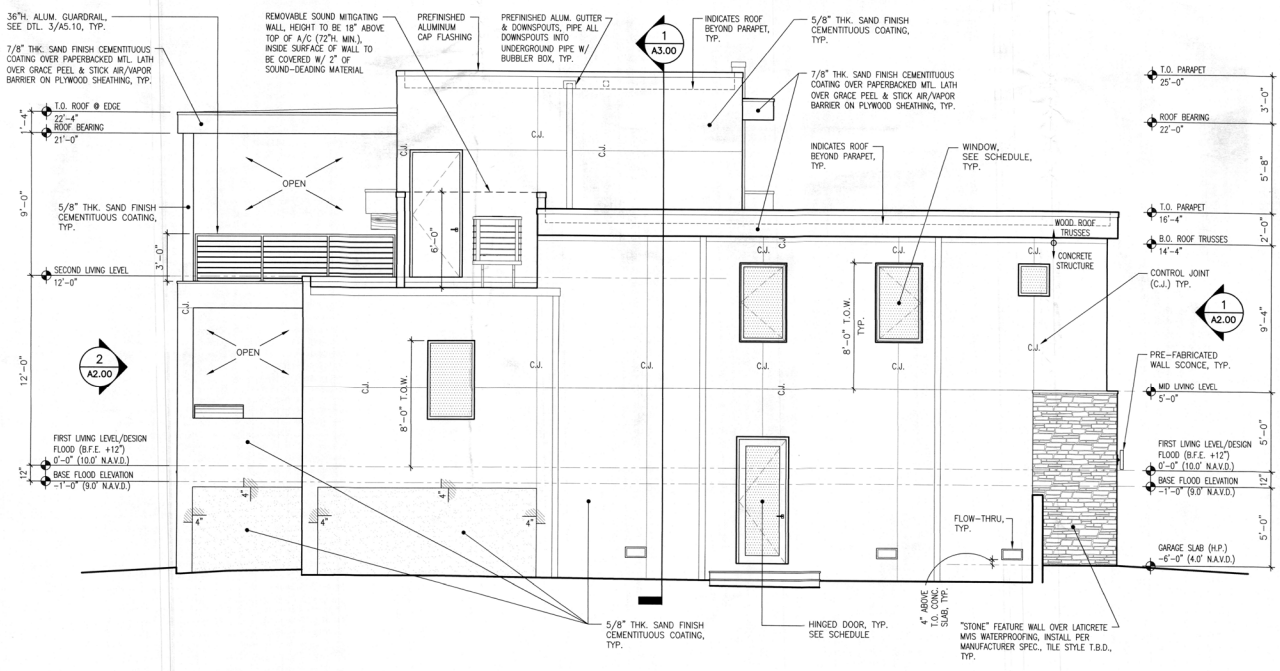
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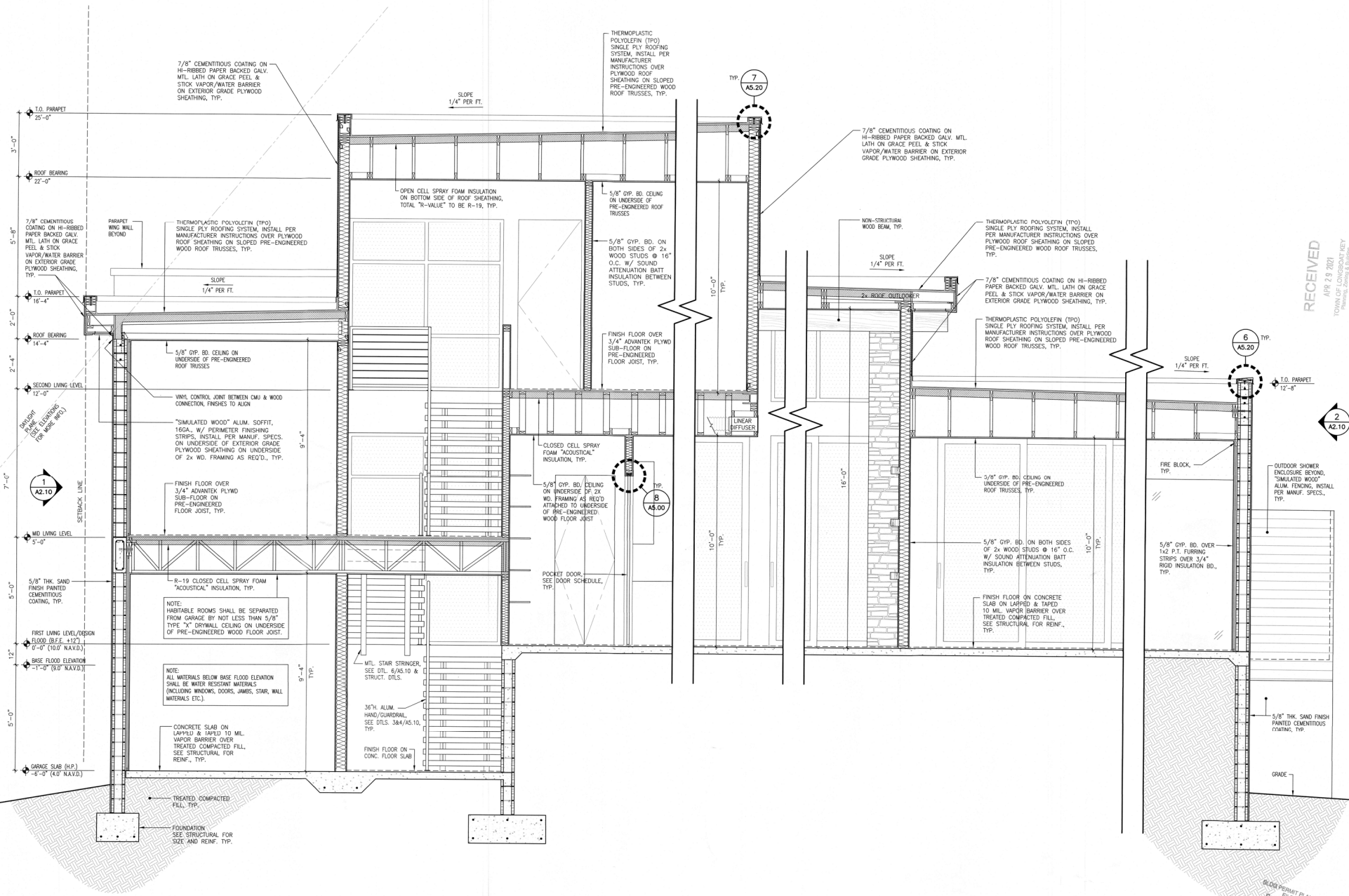
SIDE (SOUTH) ELEVATION
 1/4" = 1'-0"



SIDE (NORTH) ELEVATION
 1/4" = 1'-0"

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BUILDING SECTION
1/2" = 1'-0"

1

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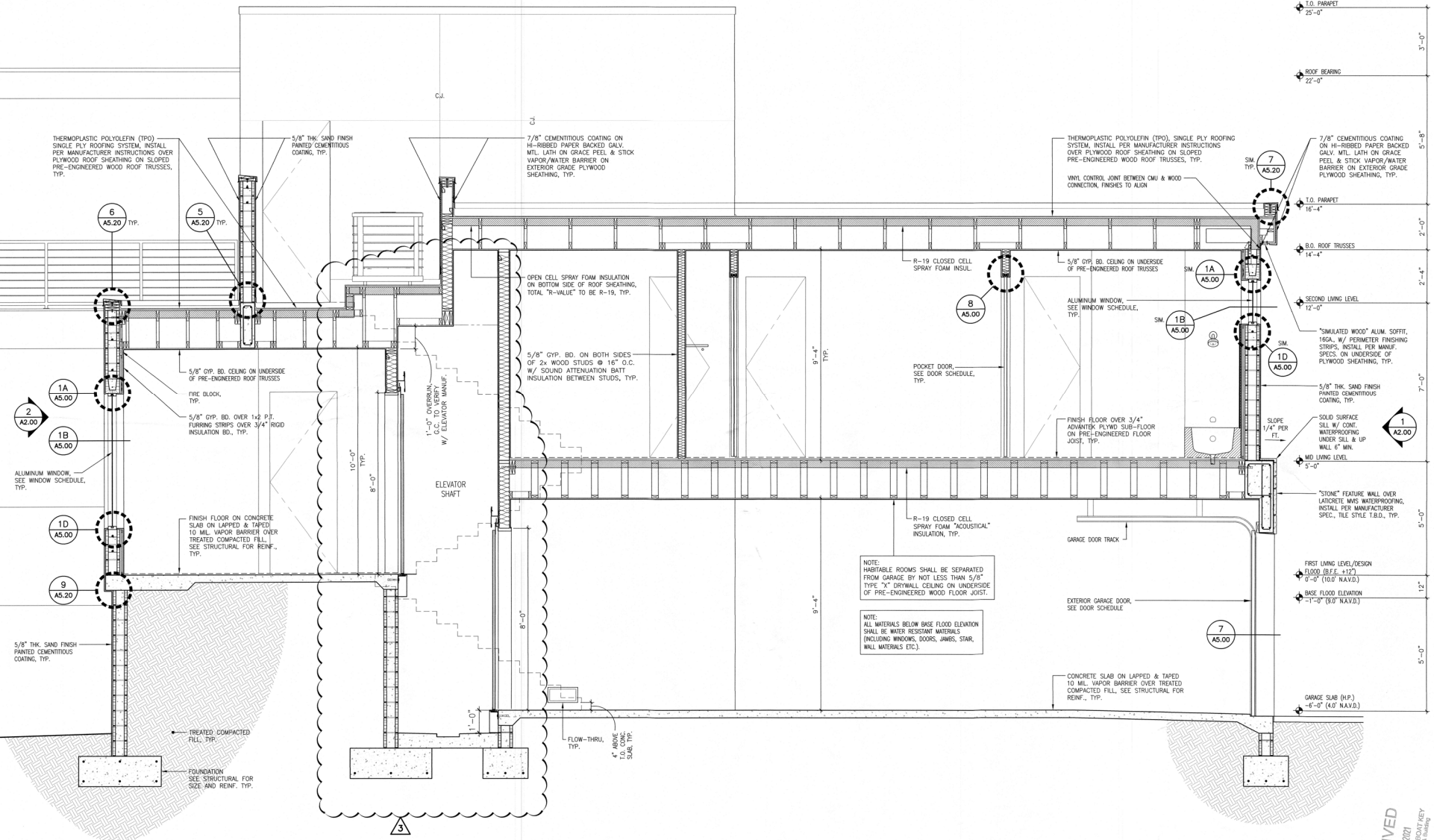
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BUILDING SECTIONS

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Date Issued: 4.19.2021

Sheet Number:

A3.10



NOTE:
HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 5/8\"/>

NOTE:
ALL MATERIALS BELOW BASE FLOOD ELEVATION SHALL BE WATER RESISTANT MATERIALS (INCLUDING WINDOWS, DOORS, JAMBS, STAIR, WALL MATERIALS, ETC.).

BUILDING SECTION
1/2" = 1'-0"

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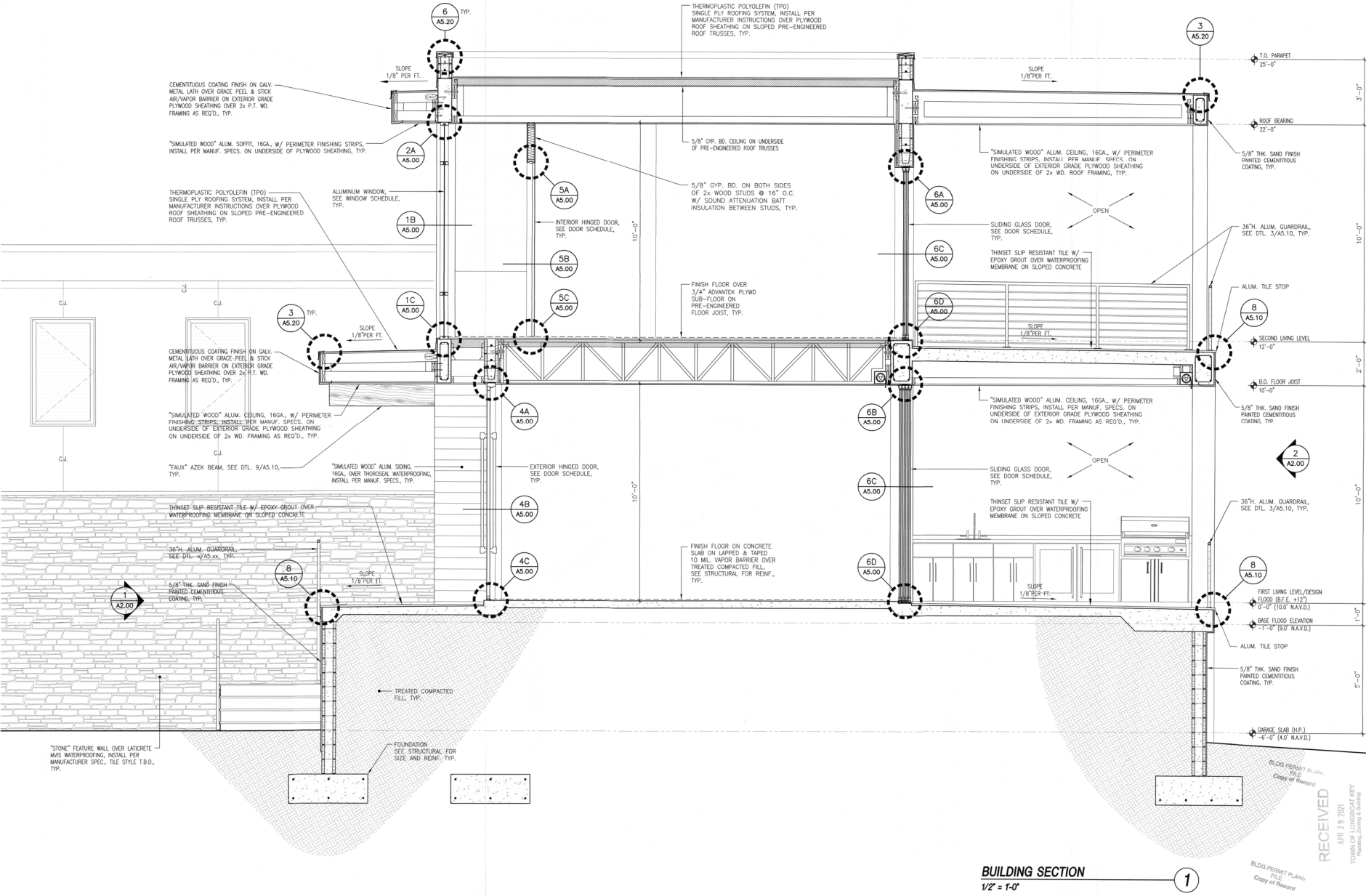


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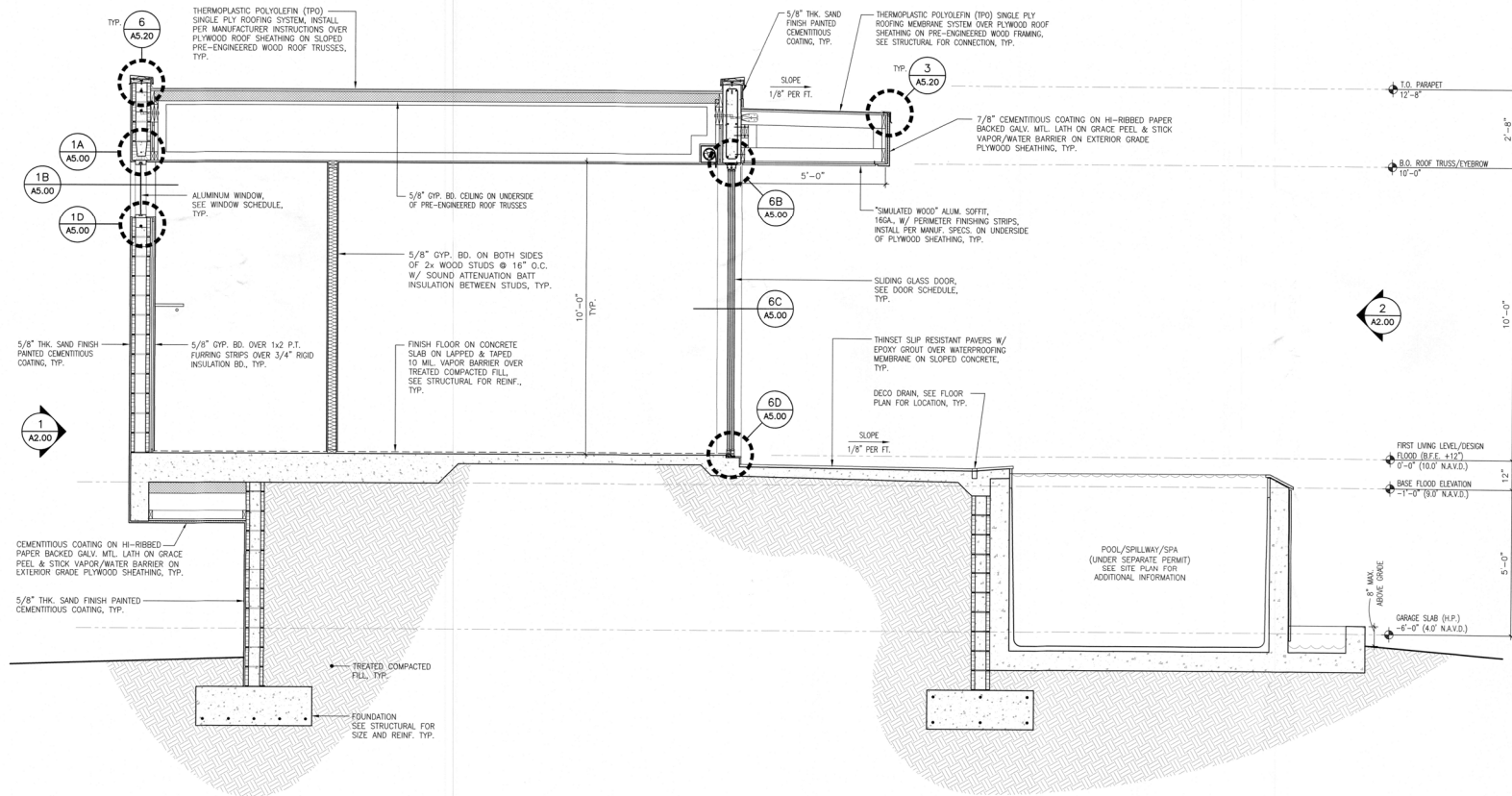
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A3.20



BUILDING SECTION
 1/2" = 1'-0"

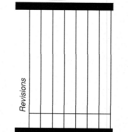
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BUILDING SECTION
1/2" = 1'-0"

1

APR 26 2021
Mark E. Schmitt, AIA
AIA #20387



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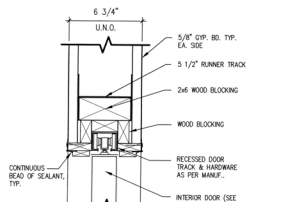
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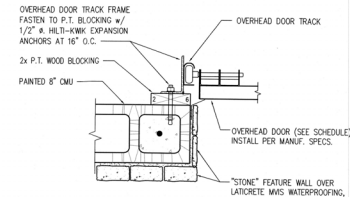
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Checked by: MESS
Date Issued: 4.14.2021

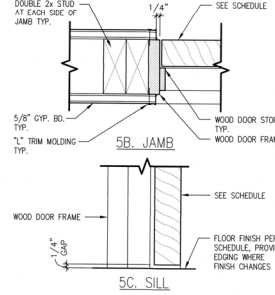
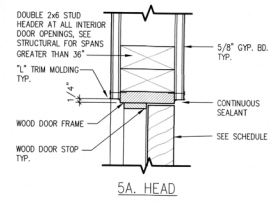
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A3.30



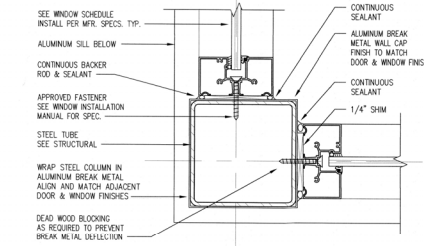
POCKET DOOR HEAD DETAIL
3" = 1'-0" (8)



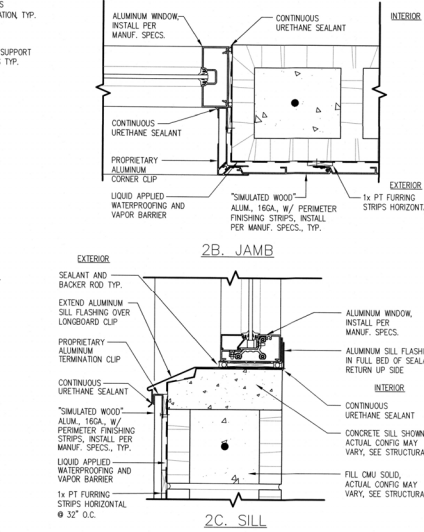
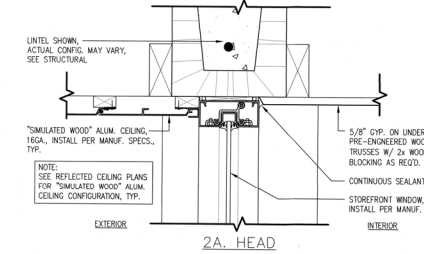
OVERHEAD GARAGE DOOR JAMB DETAIL
1 1/2" = 1'-0" (7)



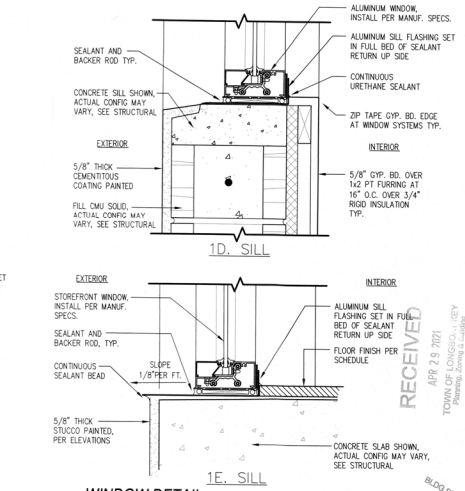
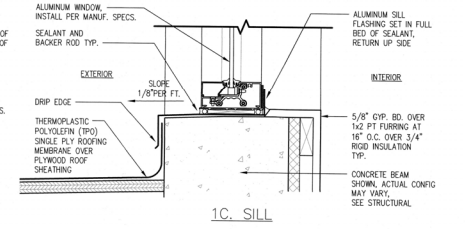
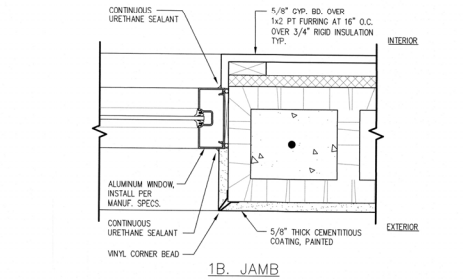
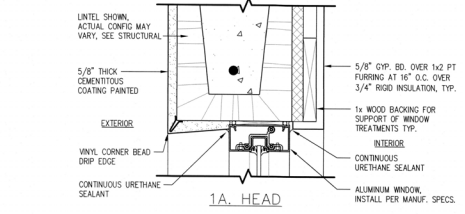
INTERIOR SWING DOOR DETAIL
3" = 1'-0" (5)



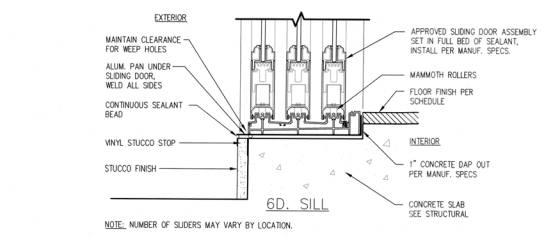
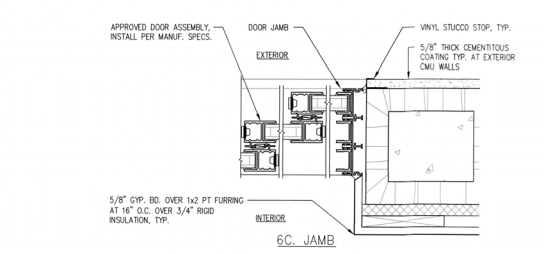
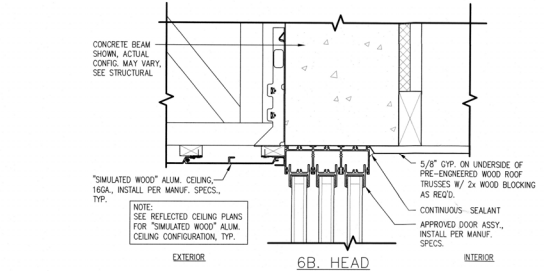
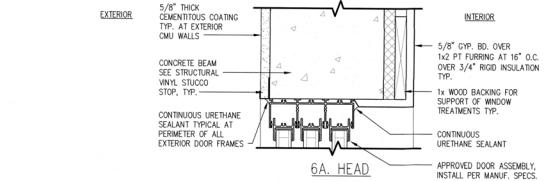
WINDOW STEEL COLUMN DETAIL
3" = 1'-0" (3)



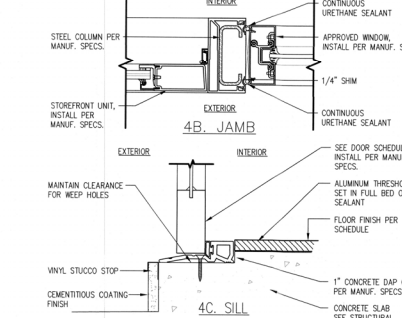
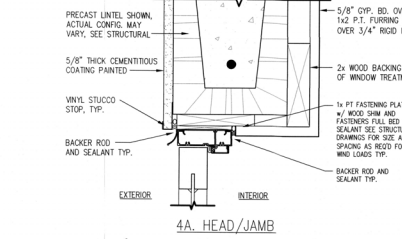
SIMULATED WOOD WINDOW DETAILS
3" = 1'-0" (2)



WINDOW DETAIL
3" = 1'-0" (1)



SLIDING DOORS DETAIL
3" = 1'-0" (6)



EXTERIOR DOOR DETAIL
3" = 1'-0" (4)

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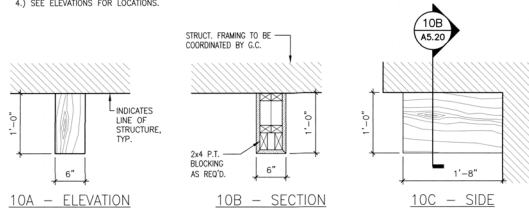
A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

EXTERIOR DOOR & WINDOW DETAILS
Project Ref: CDR
Checked by: MGS
Date Issued: 4.14.2021
Sheet Number:
BLDG PERMIT PLAN COPY TO RECORD

A5.00

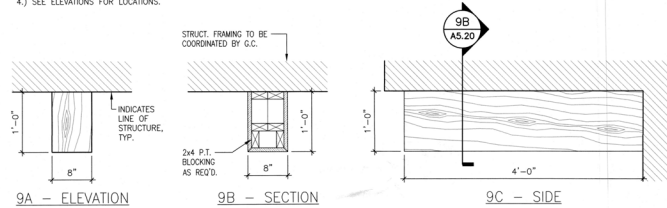
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- NOTES:
 1.) MATERIAL TO BE AZEK OR APPROVED EQUIVALENT.
 2.) PROVIDE MOUNTING HOLES/SCREW CAPS OR HIDDEN FASTENERS AS REQ'D.
 3.) G.C. TO VERIFY DIMENSIONS PRIOR TO FABRICATION.
 4.) SEE ELEVATIONS FOR LOCATIONS.

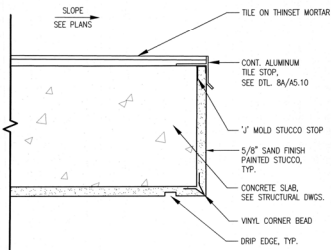
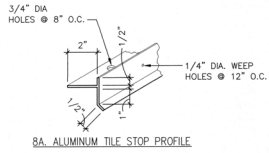


"FAUX" BEAM DETAILS
 1" = 1'-0" (10)

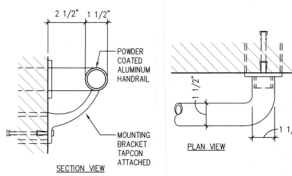
- NOTES:
 1.) MATERIAL TO BE AZEK OR APPROVED EQUIVALENT.
 2.) PROVIDE MOUNTING HOLES/SCREW CAPS OR HIDDEN FASTENERS AS REQ'D.
 3.) G.C. TO VERIFY DIMENSIONS PRIOR TO FABRICATION.
 4.) SEE ELEVATIONS FOR LOCATIONS.



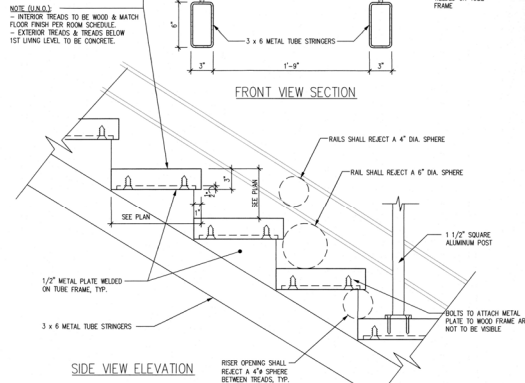
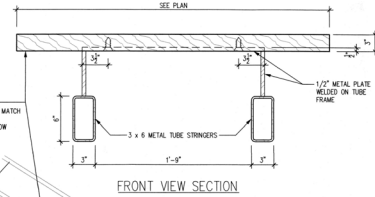
"FAUX" BEAM DETAILS
 1" = 1'-0" (9)



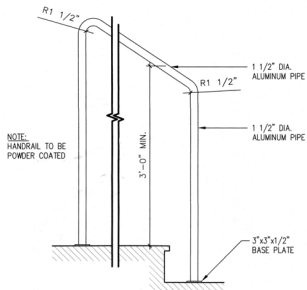
BALCONY EDGE DETAIL
 3" = 1'-0" (8)



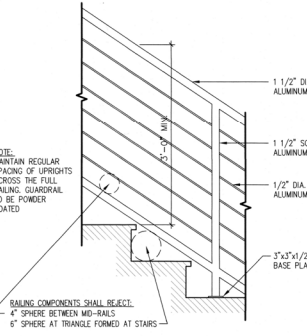
HANDRAIL DETAIL
 3" = 1'-0" (7)



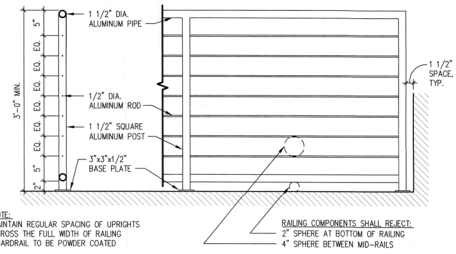
STAIR DETAILS
 1 1/2" = 1'-0" (6)



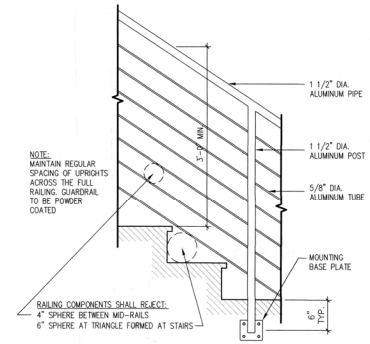
GRASPABLE HANDRAIL DETAIL
 1" = 1'-0" (5)



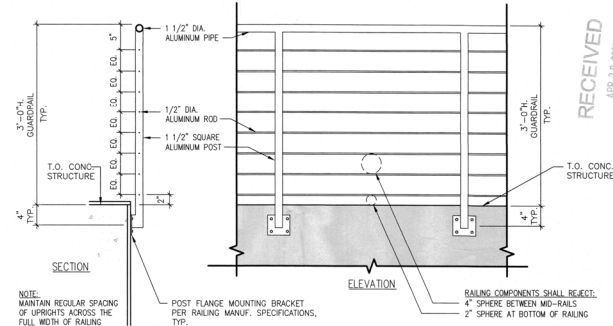
HAND/GUARDRAIL DETAIL
 1" = 1'-0" (4)



ALUMINUM GUARDRAIL DETAILS
 1" = 1'-0" (3)



GUARDRAIL DETAILS
 1" = 1'-0" (2)



ALUMINUM GUARDRAIL DETAILS
 1" = 1'-0" (1)

APR 26 2021
 MADE BY: [Signature]
 M. E. BURKE, AIA
 AIA 000087

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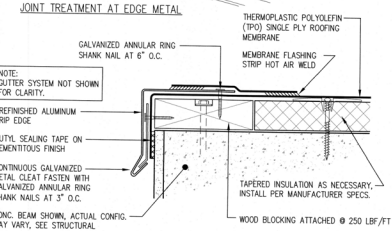
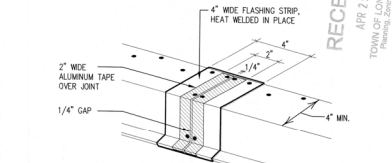
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 ARCHITECTURE
 PLANNING
 INTERIOR DESIGN
 CONSTRUCTION MANAGEMENT

LONGBOAT KEY, FLORIDA 34228
 639 BAYVIEW DRIVE

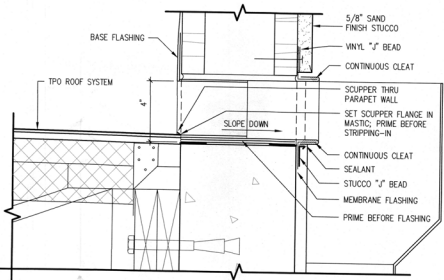
A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
 MISCELLANEOUS DETAILS

Project Ref:
 Drawn by: CGR
 Checked by: MES
 Date Issued: 4.14.2021
 Sheet Number:
A5.10

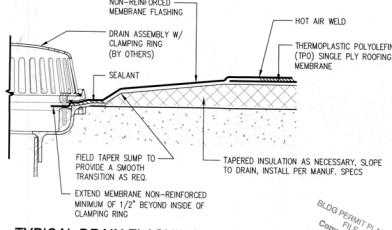
RECEIVED
 APR 29 2021
 TOWN OF LONGBOAT KEY
 Planning & Zoning Department



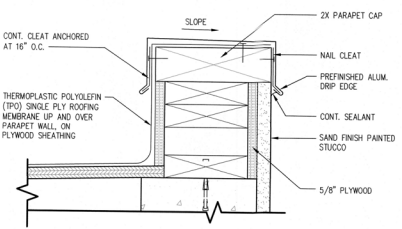
TYPICAL EDGE FLASHING
 N.T.S.



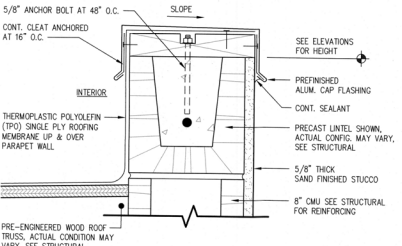
SCUPPER DETAIL
 SCALE: 3" = 1'-0"



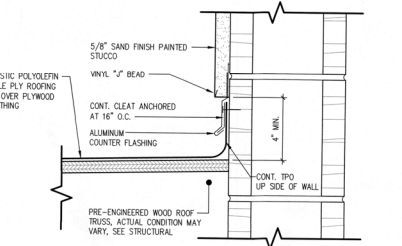
TYPICAL DRAIN FLASHING
 N.T.S.



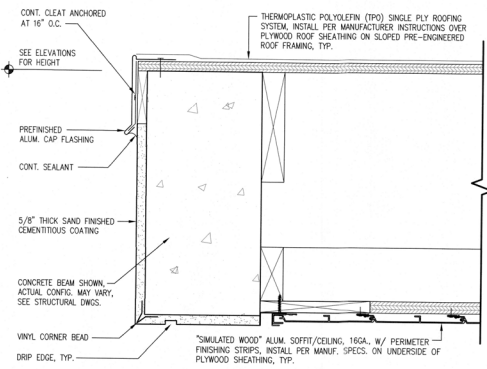
WOOD PARAPET CAP DETAIL
 3" = 1'-0"



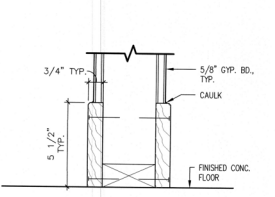
PARAPET CAP DETAIL
 SCALE: 3" = 1'-0"



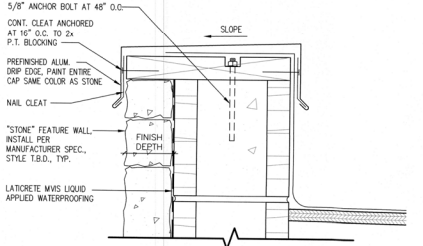
COUNTER FLASHING DETAIL
 3" = 1'-0"



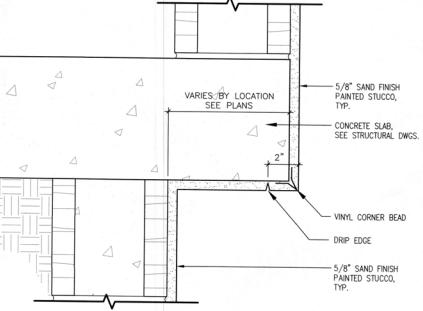
ROOF EDGE FLASHING DETAIL
 3" = 1'-0"



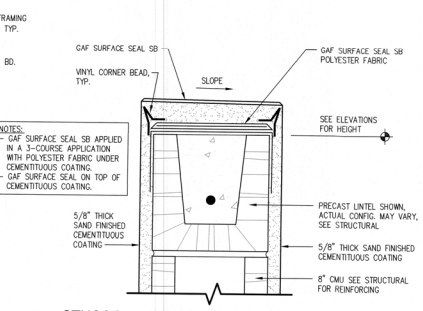
INTERIOR BASE DETAIL
 3" = 1'-0"



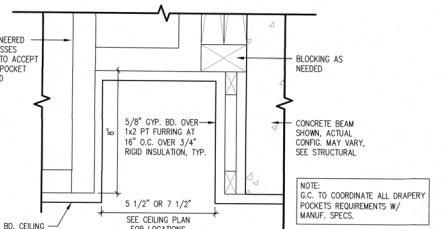
STONE WALL CAP FLASHING DTL.
 3" = 1'-0"



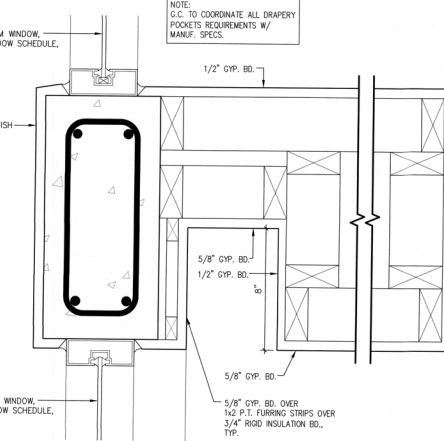
RECESSED STEMWALL DETAIL
 3" = 1'-0"



STUCCO PARAPET FLASHING DETAIL
 3" = 1'-0"



DRAPERY POCKET DETAIL
 3" = 1'-0"



DRAPERY POCKET DETAIL
 3" = 1'-0"

REVISION PER HVAC ENGINEER
COMMENTS DATED - 04/27/2021
REVISION PER OWNER CHANGES
DATED - 06/08/2021

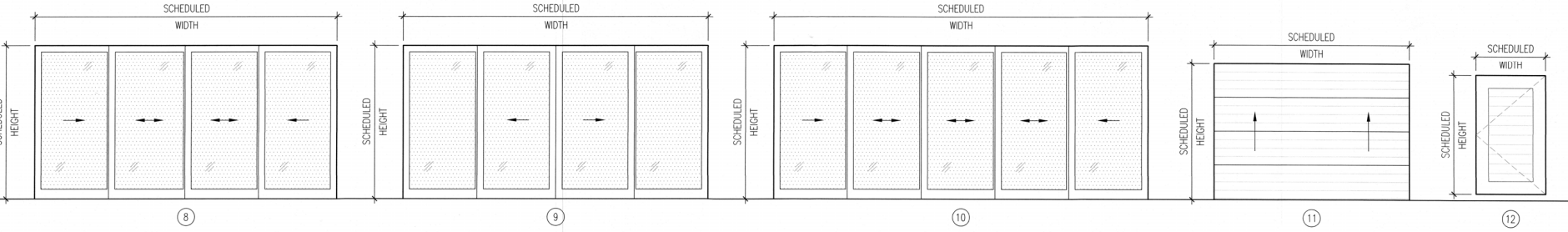
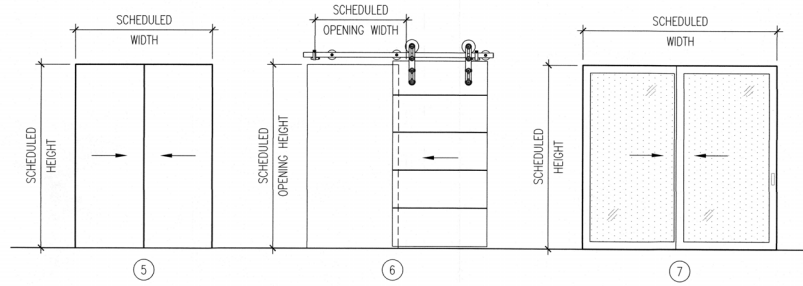
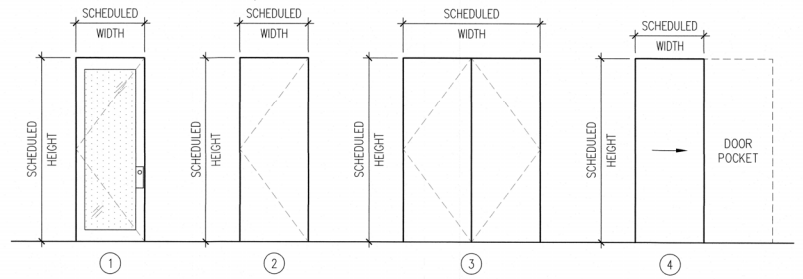
Rev. E. Subana, AIA
AIA 000891
JUN 21 2021
AIA 000891

DOOR AND FRAME SCHEDULE

DOOR NO.	TYPE	DOOR					FRAME			DETAILS		HARDWARE SET		STYLE	REMARKS	
		SIZE			MATERIAL	FINISH	HEAD	JAMB	SILL	MATERIAL	FINISH	SET				
		WD	HGT	THK												
001A	12	4'-0"	6'-0"	---	AL	PF	---	---	---	AL	PF	---	---	---	SWING GATE - SINGLE	"FAUX" WOOD INSERT
001B	12	4'-0"	6'-0"	---	AL	PF	---	---	---	AL	PF	---	---	---	SWING GATE - SINGLE	"FAUX" WOOD INSERT
100A	2	3'-6"	10'-0"	---	SCWD	ST	4A/AS.00 SIM.	4B/AS.00	4C/AS.00	WD	PNT	DEARBOLT	---	---	HINGED - SINGLE - EXTERIOR	CUSTOM WOOD ENTRY DOOR
104A	2	2'-4"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	---	---	HINGED - SINGLE	PRE-HUNG
105A	2	3'-0"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	---	---	HINGED - SINGLE	PRE-HUNG
105B	9	16'-0"	8'-0"	---	AL/GL	PF	6B/AS.00	6C/AS.00	6D/AS.00	AL	PF	LOOK	SLIDING - QUADRUPLE BI-PARTING - FULL LITE	---	---	IMPACT INSULATED
106A	4	3'-0"	8'-0"	1-3/8"	SCWD	PNT	8/AS.00	---	---	WD	PNT	PRIVACY	POCKET - SINGLE	---	---	---
106B	2	2'-6"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
106C	1	2'-6"	8'-0"	1-3/4"	AL/GL	PF	4A/AS.00	4A/AS.00	4C/AS.00	AL	PF	LOOK	HINGED - SINGLE - EXTERIOR FULL LITE	---	---	IMPACT INSULATED
107A	2	2'-8"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
109A	4	3'-0"	8'-0"	1-3/8"	SCWD	PNT	8/AS.00	---	---	WD	PNT	---	POCKET - SINGLE	---	---	---
109B	3	2'-10"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	HINGED - DOUBLE	---	---	PRE-HUNG
110A	2	3'-0"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
112A	2	3'-0"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	HINGED - SINGLE	---	---	PRE-HUNG
112B	2	3'-0"	8'-0"	1-3/4"	WD	PT	---	---	---	WD	PT	---	HINGED - SINGLE	---	---	C.C. TO COORDINATE W/ ELEVATOR MANUFACTURER
114A	2	3'-0"	8'-0"	1-3/4"	FG	PNT	4A/AS.00 SIM.	4A/AS.00 SIM.	4C/AS.00 SIM.	COMPOSITE	PNT	LOOK	HINGED - SINGLE	---	---	20 MINUTE FIRE RATED W/ CLOSER
114B	11	18'-0"	8'-0"	1-3/4"	AL	PF	---	7/AS.00	---	STEEL	GALVANIZED	LOOK	OVERHEAD - SECTIONAL	---	---	"FAUX" WOOD FINISH
114C	1	3'-0"	8'-0"	1-3/4"	AL/GL	PF	4A/AS.00	4A/AS.00	4C/AS.00	AL	PF	LOOK	HINGED - SINGLE - EXTERIOR FULL LITE	---	---	IMPACT INSULATED
115A	2	3'-0"	8'-0"	1-3/4"	WD	PT	---	---	---	WD	PT	---	HINGED - SINGLE	---	---	C.C. TO COORDINATE W/ ELEVATOR MANUFACTURER
116A	11	3'-0"	8'-0"	1-3/4"	AL/GL	PF	4A/AS.00 SIM.	4A/AS.00 SIM.	4C/AS.00	AL	PF	LOOK	HINGED - SINGLE - EXTERIOR FULL LITE	---	---	IMPACT INSULATED
116B	10	20'-0"	10'-0"	---	AL/GL	PF	6B/AS.00	6C/AS.00	6D/AS.00	AL	PF	LOOK	SLIDING - QUINTUPLE - FULL LITE	---	---	IMPACT INSULATED
116C	9	16'-0"	10'-0"	---	AL/GL	PF	6A/AS.00	6C/AS.00	6D/AS.00	AL	PF	LOOK	SLIDING - QUADRUPLE - FULL LITE	---	---	IMPACT INSULATED
201A	2	3'-0"	8'-0"	1-3/4"	AL	PF	4A/AS.00 SIM.	4A/AS.00 SIM.	4C/AS.00 SIM.	AL	PF	LOOK	HINGED - SINGLE - EXTERIOR	---	---	---
202A	2	2'-6"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
202B	2	3'-0"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	HINGED - SINGLE	---	---	PRE-HUNG
202C	7	8'-0"	8'-0"	1-3/4"	AL/GL	PF	6A/AS.00	6C/AS.00	6D/AS.00	AL	PF	LOOK	SLIDING - DOUBLE - FULL LITE	---	---	IMPACT INSULATED
203A	4	2'-4"	8'-0"	1-3/8"	SCWD	PNT	8/AS.00	---	---	WD	PNT	PRIVACY	POCKET - SINGLE	---	---	---
204A	2	2'-6"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
204B	5	5'-0"	8'-0"	1-3/4"	SCWD	PNT	8/AS.00 SIM.	---	---	WD	PNT	---	BI-PASS - DOUBLE	---	---	---
204C	7	8'-0"	8'-0"	1-3/4"	AL/GL	PF	6A/AS.00	6C/AS.00	6D/AS.00	AL	PF	LOOK	SLIDING - DOUBLE - FULL LITE	---	---	IMPACT INSULATED
205A	2	2'-6"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
206A	2	3'-0"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	HINGED - SINGLE	---	---	PRE-HUNG
207A	6	3'-6"	8'-0"	1-3/4"	SCWD	PNT	---	---	---	STEEL	GALVANIZED	PRIVACY	BARRE - SINGLE	---	---	---
208A	4	2'-8"	8'-0"	1-3/8"	SCWD	PNT	8/AS.00	---	---	WD	PNT	PRIVACY	POCKET - SINGLE	---	---	---
208B	5	6'-0"	8'-0"	1-3/4"	SCWD	PNT	8/AS.00 SIM.	---	---	WD	PNT	---	BI-PASS - DOUBLE	---	---	---
209A	2	2'-6"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
209B	4	3'-0"	8'-0"	1-3/8"	SCWD	PNT	8/AS.00	---	---	WD	PNT	PRIVACY	POCKET - SINGLE	---	---	---
210A	2	2'-8"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	PRIVACY	HINGED - SINGLE	---	---	PRE-HUNG
210B	5	5'-0"	8'-0"	1-3/4"	SCWD	PNT	8/AS.00 SIM.	---	---	WD	PNT	---	BI-PASS - DOUBLE	---	---	---
211A	2	2'-8"	8'-0"	1-3/4"	SCWD	PNT	5A/AS.00	5B/AS.00	5C/AS.00	WD	PNT	---	HINGED - SINGLE	---	---	PRE-HUNG
212A	1	3'-0"	8'-0"	1-3/4"	AL/GL	PF	4A/AS.00	4A&4B/AS.00	4C/AS.00	AL	PF	LOOK	HINGED - SINGLE - EXTERIOR FULL LITE	---	---	IMPACT INSULATED

- DOOR NOTES:
- G.C. TO VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING.
 - G.C. TO PROVIDE SHOP DRAWINGS FOR ALL DOORS TO ARCHITECT BEFORE ORDERING.
 - DOOR MANUFACTURER TO MEET ALL DESIGN PRESSURES NOTED ON STRUCTURAL DRAWINGS - REFER TO ATTACHED PRODUCT CONTROL NOTICE OF ACCEPTANCE.
 - REFER TO EXTERIOR ELEVATIONS FOR MUNTIN PATTERNS.
 - GLASS FOR ALL EXTERIOR DOORS TO BE SOLARBROWN TINT, LOW-E IMPACT INSULATED CLEAR GLASS OR EQUAL W/ SEMITRANSGLASS PLUS INTERLAYER (SP3).
 - ALL SLIDING GLASS DOORS TO HAVE FLUSH PULLS AND LOCKS.
 - DOORS WITH WINDOWS LISTED AS UPRAISE TO BE MADE WITH A TRANSLUCENT WHITE PVB INNER LAYER - "ARCTIC SNOW" IN COLOR.

- ABBREVIATIONS:
- PNT - PAINTED
 - WD - WOOD
 - FG - FIBERGLASS
 - AL - ALUMINUM
 - PH - PRE-HUNG
 - SCWD - SOLID CORE WOOD DOOR
 - ST - STAIN
 - PF - PREFINISHED
 - MFG - MANUFACTURER
 - GL - GLASS
 - COM - COMPOSITE
 - WC - WOOD INSIDE
 - ALUM CLAD - OUTSIDE



SCHEDULES
N.T.S.

1

Revisions
A 05/12/2021
B 06/17/2021

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639 BAYVIEW DRIVE

DOOR SCHEDULE

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

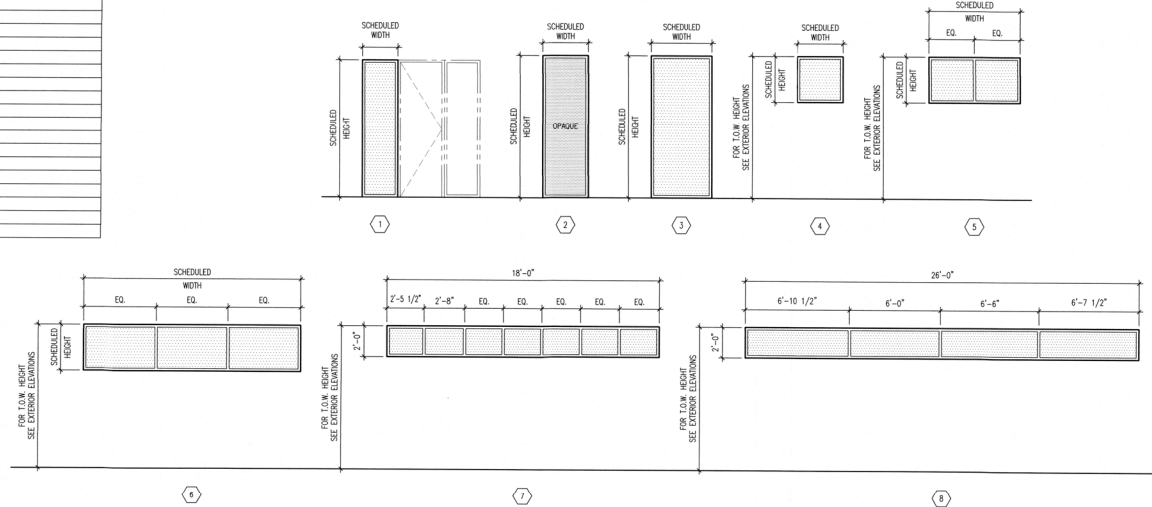
Project Ref:
Drawn by: CGR
Checked by: MES
Date Issued: 4.19.2021

Sheet Number:
A6.00

Mr. [Signature]
JUN 24 2021
Mark E. Sullivan, AIA
AIA 000861

WINDOW NO.	TYPE	WINDOW		MATERIAL	GLAZING	FRAME			MATERIAL	FINISH	STYLE	REMARKS
		SIZE				DETAILS						
		WD.	HGT.			HEAD	JAMB	SILL				
W101	9	8'-0"	6'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W102	1	1'-3"	10'-0"	AL/GL	PF/CLEAR	2A/AS.00	1B/AS.00 SIM	12/AS.00	AL	PF	FIXED	IMPACT INSULATED
W103	1	1'-3"	10'-0"	AL/GL	PF/CLEAR	2A/AS.00	1B/AS.00 SIM	12/AS.00	AL	PF	FIXED	IMPACT INSULATED
W104	14	4'-0"	7'-0"	AL/GL	PF/CLEAR	2A/AS.00 SIM	2B/AS.00 SIM	20/AS.00 SIM	AL	PF	GLIDER	IMPACT INSULATED
W105	4	3'-0"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED	IMPACT INSULATED
W106	5	7'-4"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W107	11	7'-6"	10'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	12/AS.00	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W108	3	4'-4"	10'-0"	AL/GL	PF/CLEAR	2A/AS.00 SIM	3/AS.00	10/AS.00	AL	PF	FIXED	IMPACT INSULATED
W109	4	2'-0"	2'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED	IMPACT INSULATED
W110	4	4'-0"	3'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	12/AS.00	AL	PF	FIXED	IMPACT INSULATED
W111	8	26'-0"	2'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED - QUADRUPLE	IMPACT INSULATED
W201	5	8'-0"	4'-8"	AL/GL	PF/CLEAR	2A/AS.00 SIM	1B/AS.00	10/AS.00 SIM	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W202	10	6'-0"	10'-0"	AL/GL	PF/CLEAR	2A/AS.00	1B/AS.00	10/AS.00 SIM	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W203	13	3'-0"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00 SIM	1B/AS.00 SIM	10/AS.00 SIM	AL	PF	CASEMENT	IMPACT INSULATED - EGRESS
W204	13	3'-0"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00 SIM	1B/AS.00 SIM	10/AS.00 SIM	AL	PF	CASEMENT	IMPACT INSULATED - EGRESS
W205	7	18'-0"	2'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED - QUADRUPLE	IMPACT INSULATED
W206	4	2'-0"	2'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED	IMPACT INSULATED
W207	13	3'-0"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00 SIM	1B/AS.00 SIM	10/AS.00 SIM	AL	PF	CASEMENT	IMPACT INSULATED - EGRESS
W208	13	3'-0"	5'-0"	AL/GL	PF/CLEAR	1A/AS.00 SIM	1B/AS.00 SIM	10/AS.00 SIM	AL	PF	CASEMENT	IMPACT INSULATED - EGRESS
W209	12	7'-6"	8'-0"	AL/GL	PF/CLEAR	1A/AS.00	1B/AS.00	12/AS.00	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W210	5	7'-9"	4'-4"	AL/GL	PF/CLEAR	2A/AS.00 SIM	3/AS.00	10/AS.00	AL	PF	FIXED - DOUBLE	IMPACT INSULATED
W212	4	4'-4"	4'-4"	AL/GL	PF/CLEAR	2A/AS.00 SIM	3/AS.00	10/AS.00	AL	PF	FIXED	IMPACT INSULATED
W301	6	19'-4"	8'-0"	AL/GL	PF/CLEAR	2A/AS.00	1B/AS.00	10/AS.00	AL	PF	FIXED - TRIPLE	---

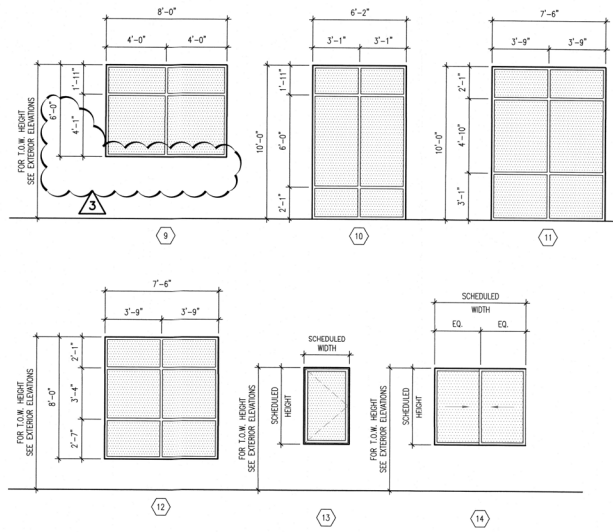
- WINDOW NOTES:**
- G.C. TO VERIFY ALL WINDOW ROUGH OPENINGS BEFORE ORDERING.
 - EXACT WINDOW SIZES SHALL BE VERIFIED BY G.C. AND WINDOW MANUFACTURER.
 - WINDOW MANUFACTURER TO MEET ALL DESIGN PRESSURES NOTED ON STRUCTURAL DRAWINGS - REFER TO ATTACHED PRODUCT CONTROL NOTICE OF ACCEPTANCE.
 - REFER TO EXTERIOR ELEVATIONS FOR MOUNTING PATTERNS.
 - GLASS FOR ALL EXTERIOR WINDOWS TO BE SOLARBAN 70XL LOW-E IMPACT INSULATED CLEAR GLASS OR EQUAL W/ SENTIRYS PLUS INTERLAYER (SPL).
 - WATER PROOFING AT EXTERIOR WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH FMA/WMA 250-10.
 - WINDOWS LISTED AS OPERABLE TO BE MADE WITH A TRANSPARENT WHITE PVB INNER LAYER - "ARCTIC SNOW" IN COLOR.
 - WINDOWS LABELLED AS EGRESS SHALL MEET IRC-R310 REQUIREMENTS.
 - FRAME FINISH TO BE SILVER ANODIZED.



ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	FINISH	HEIGHT	
				---	SIMULATED WOOD	---	---	---	---	
100	ENTRY	TD	---	TILE	---	---	---	SIMULATED WOOD	10'-0"	---
101	KITCHEN	WD	WD	---	PTSF	PTSF	PTSF	PTSF	10'-0"	---
102	DINING ROOM	WD	WD	---	---	PTSF	PTSF	PTSF	10'-0"	---
103	LIVING ROOM	WD	WD	PTSF	---	PTSF	PTSF	SIMULATED WOOD	VARIES	---
104	VESTIBULE	WD	WD	PTSF	---	PTSF	PTSF	PTSF	10'-0"	---
105	MASTER BEDROOM	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
106	MASTER BATH	TL	TL	PTSF/TL	PTSF/TL	PTSF/TL	PTSF/TL	PTSF	10'-0"	TILED SHOWER ENCLOSURE TO CEILING
107	HIS WIC	WD	WD	PTSF	---	PTSF	PTSF	PTSF	10'-0"	---
108	HER WIC	WD	WD	---	PTSF	PTSF	PTSF	PTSF	10'-0"	---
109	PANTRY	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
110	POWDER	TL	WD	PTSF	PTSF	PTSF	PTSF	PTSF	8'-4"	---
111	STAIR HALLWAY	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
112	LAUNDRY	TL	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
113	GARAGE ENTRY	TL	---	PTSF	PTSF	---	---	PTSF	9'-4"	---
114	GARAGE	SL	---	PAINTED BLOCK	PAINTED BLOCK	PAINTED BLOCK	PAINTED BLOCK	PTSF	9'-4"	---
115	GARAGE STORAGE	SL	---	PTSF	PAINTED BLOCK	PAINTED BLOCK	PTSF	PTSF	9'-4"	---
116	OUTDOOR LIVING	TL	---	---	---	---	---	STUCCO	---	SIMULATED WOOD
201	STAIR HALLWAY	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
202	BEDROOM 2	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
203	BATH 2	TL	WD	PTSF/TL	PTSF	PTSF/TL	PTSF/TL	PTSF	10'-0"	TILED SHOWER ENCLOSURE TO CEILING
204	BEDROOM 3	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
205	BATH 3	TL	WD	PTSF/TL	PTSF/TL	PTSF/TL	PTSF/TL	PTSF	10'-0"	TILED SHOWER ENCLOSURE TO CEILING
206	HALLWAY	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	10'-0"	---
207	DEAN	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	9'-4"	---
208	BEDROOM 4	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	9'-4"	---
209	SHARED BATH	TL	WD	PTSF/TL	PTSF/TL	PTSF/TL	PTSF/TL	PTSF	9'-4"	TILED SHOWER ENCLOSURE TO CEILING
210	BEDROOM 5	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	9'-4"	---
211	STORAGE	WD	WD	PTSF	PTSF	PTSF	PTSF	PTSF	9'-4"	---
212	UPPER DECK	TL	---	---	STUCCO	STUCCO	STUCCO	SIMULATED WOOD	9'-8"	---

- FINISH NOTES:**
- ALL SPECIFIC FINISHES TO BE DETERMINED AND COORDINATED BY ARCHITECT AND OWNERS.
 - ALL CONSTRUCTION LOCATED BELOW BASE FLOOD ELEVATION SHALL BE OF WATER RESISTANT MATERIALS.

- ABBREVIATIONS:**
- CP - CARPET
 - CY - CYPRESS WOOD
 - PTSF - PAINT/SMOOTH FINISH
 - RB - RUBBER
 - SL - SEALED CONCRETE
 - TL - TILE
 - WD - HARD WOOD



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639 BAYVIEW DRIVE

WINDOW & FINISH SCHEDULES

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JUN 28 2021
TOWN OF LONGBOAT KEY
Planning & Zoning
Project Ref:
Drawn by: CGR
Checked by: MES
Date Issued: 4.19.2021
Sheet Number:
A6.10



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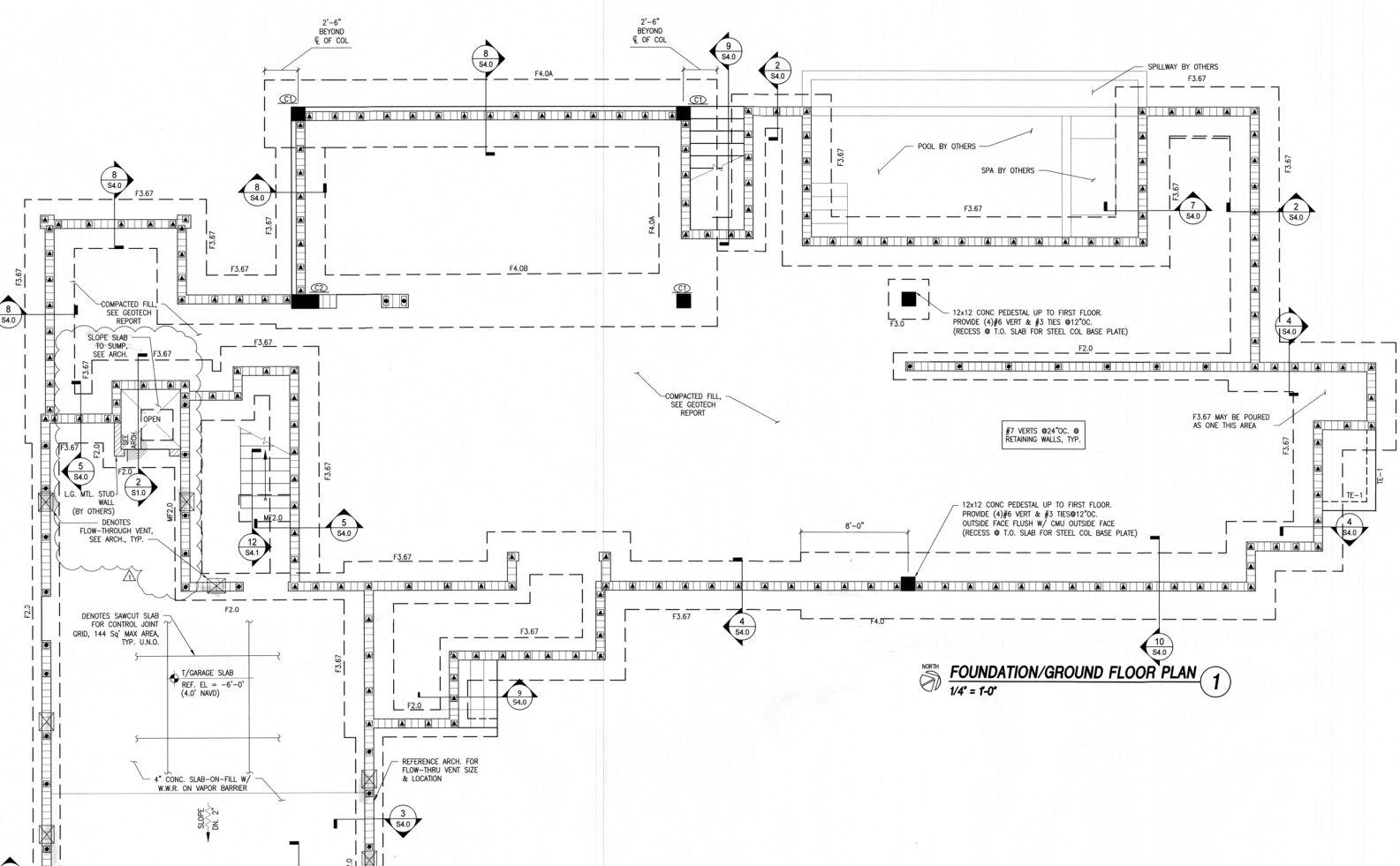
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LONGBOAT KEY, FLORIDA 34228

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Jerome A. Odom, P.E.
FL. Registration # 14444

FND/GROUND FLOOR PLAN
Project: Phil & Kelly Burke
Drawn by: PHB
Checked by: JD
Date Issued: 6/24/2021
Sheet Number:
S1.0

- FOUNDATION NOTES:**
- SEE SHEET S0.1 FOR GENERAL STRUCTURAL NOTES.
 - SEE ARCHITECTURAL, CML AND MEP DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING.
 - SLAB-ON-GRADE SHALL BE MIN. 4" 3000 PSI MINIMUM CONCRETE WITH W14 X W14 6#6 WELDED WIRE REINFORCEMENT ON VAPOR BARRIER OVER COMPACTED FILL, U.N.O.
 - PROVIDE 1/2" CONTROL JOINTS IN CONCRETE SLAB. JOINT PATTERN SHALL BE APPROXIMATELY SQUARE WITH MAXIMUM PANEL AREA OF 144 SQUARE FEET MAXIMUM. CONTROL JOINTS SHALL BE TOOLED OR SAW CUT AS SOON AS POSSIBLE FOLLOWING INITIAL SET.
 - TOP OF FOUNDATIONS MARKED RF, WF AND CF SHALL BE MINIMUM 1'-6" BELOW GRADE, U.N.O. TOP OF FOUNDATION TE AND MF SHALL BE TOP OF SLAB, U.N.O.
 - DENOTES REIN. 8" 1/2" MASONRY WALL WITH REINFORCING IN GROUT FILLED CELLS AT 48" O.C., U.N.O. AND AT CORNERS, ENDS, INTERSECTIONS, UNDER POINT LOADS FROM FOUNDATION TO SLAB ON GRADE, AND AS SHOWN ON PLAN PER NOTES 8-10. 1g = 2500 PSI GROUT TYPE M OR S, U.N.O. PROVIDE #7 VERTICAL REINFORCING IN GROUT FILLED CELLS AT 24" O.C. MAX. # RETAINING WALLS SCHEDULED WITH RETAINING FOOTINGS (RF), U.N.O. ON PLAN OR IN DETAILS.
 - DENOTES 2x WOOD BEARING AND/OR SHEAR WALL WITH STUDS @ 16" O.C. MAX. w/ DOUBLE TOP PLATE & SINGLE P.T. BOTTOM PLATE. PROVIDE BLOCKING @ ONE THIRD POINTS OF VERTICAL STUD. W/ 1/2" WEDGE ANCHOR @ 32" O.C. MAX. W/ 4" EMBED INTO SLAB.
 - DENOTES GROUT FILLED CELL. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - ★ DENOTES #5 VERTICAL REINFORCING IN GROUT FILLED CELLS. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - ★ DENOTES #7 VERTICAL REINFORCING BAR IN GROUT FILLED CELL. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - DENOTES CONCRETE COLUMN. SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - DENOTES CONCRETE COLUMN BELOW. SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - DENOTES STEEL COLUMN. SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - CENTERLINES OF COLUMNS, WALLS & BEAMS SHALL COINCIDE WITH FOUNDATION CENTERLINES, U.N.O.
 - SEE ARCH. FOR LOCATION AND DIMENSIONS OF WINDOW / DOOR OPENINGS.
 - BALCONY GUARDRAIL AND STAIR HANDRAILS BY MANUFACTURER'S SPECIALTY ENGINEER. COORDINATE BLOCK-OUTS AND EMBEDS WITH STRUCTURAL ENGINEER AS SPECIFIED HEREIN. SEE ARCH DRAWINGS FOR LOCATIONS.

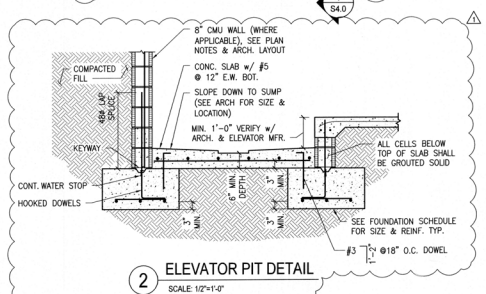


MARK	TYPE	SIZE WxL	DEPTH	REINF.	NOTES
MF2.0	MONOLITHIC	2'-0" x CONT.	12"	2-#5 CONT BOT	#5 @ 18" O.C. TRANSVERSE BOT.
F.2	WALL FOOTING	2'-0" x CONT.	16"	3-#5 CONT BOT	#5 @ 18" O.C. TRANSVERSE BOT.
MF1.0	MONOLITHIC	1'-0" x CONT.	12"	2-#5 CONT BOT	---
F3.0	MONOLITHIC	3'-0" x CONT.	16"	4-#5 EW BOT.	---
F3.67	WALL FOOTING	3'-8" x CONT.	16"	3-#5 CONT TAB	#5 @ 18" O.C. TRANSVERSE TAB
F4.0	WALL FOOTING	4'-0" x CONT.	16"	5-#5 CONT TAB	#5 @ 18" O.C. TRANSVERSE TAB
F4.0A	WALL FOOTING	4'-0" x CONT.	16"	4-#5 CONT TAB	#5 @ 12" O.C. TRANSVERSE TAB
F4.0B	WALL FOOTING	4'-0" x CONT.	16"	4-#7 CONT TAB.	#5 @ 12" O.C. TRANSVERSE TAB
TE-1	THICKENED EDGE	1'-0" x CONT.	18"	2-#5 CONT BOT.	#5 @ 18" O.C. TRANSVERSE BOT.

- ① BOT OF TE TO BE 1'-0" MIN BELOW FINISHED GRADE. ADJUST THICKNESS AS REQUIRED.
 ② CONTINUOUS WALL FOOTING SHALL EXTEND 1/2 FOOTING WIDTH BEYOND END OF SUPPORTED WALLS WHERE THERE IS NO RETURN WALL.

MARK	TYPE	SIZE WxL	REINF.	TIES:	NOTES
C1	CONCRETE	12" x 12"	12-#6	#3 @ 4" O.C.	---
C2	CONCRETE	12" x 24"	8-#7	#3 @ 10" O.C.	PROVIDE CROSS TIES FOR INTERIOR REINF.
C3	STEEL	HSS6x6x3/8	---	---	---
C4	STEEL	HSS4x6x3/8	---	---	---
C5	STEEL	HSS6x6x3/8	---	---	---
C6	CONCRETE	6" x 8"	4-#5	#3 @ 6" O.C.	---
C7	STEEL	HSS4x6x3/8	---	---	---
C8	CONCRETE	8" x 8"	4-#6	#3 @ 4" O.C.	PROVIDE CROSS TIES FOR INTERIOR REINF.

- NOTE: REFER TO CONCRETE COLUMN DETAIL 8/S4.1

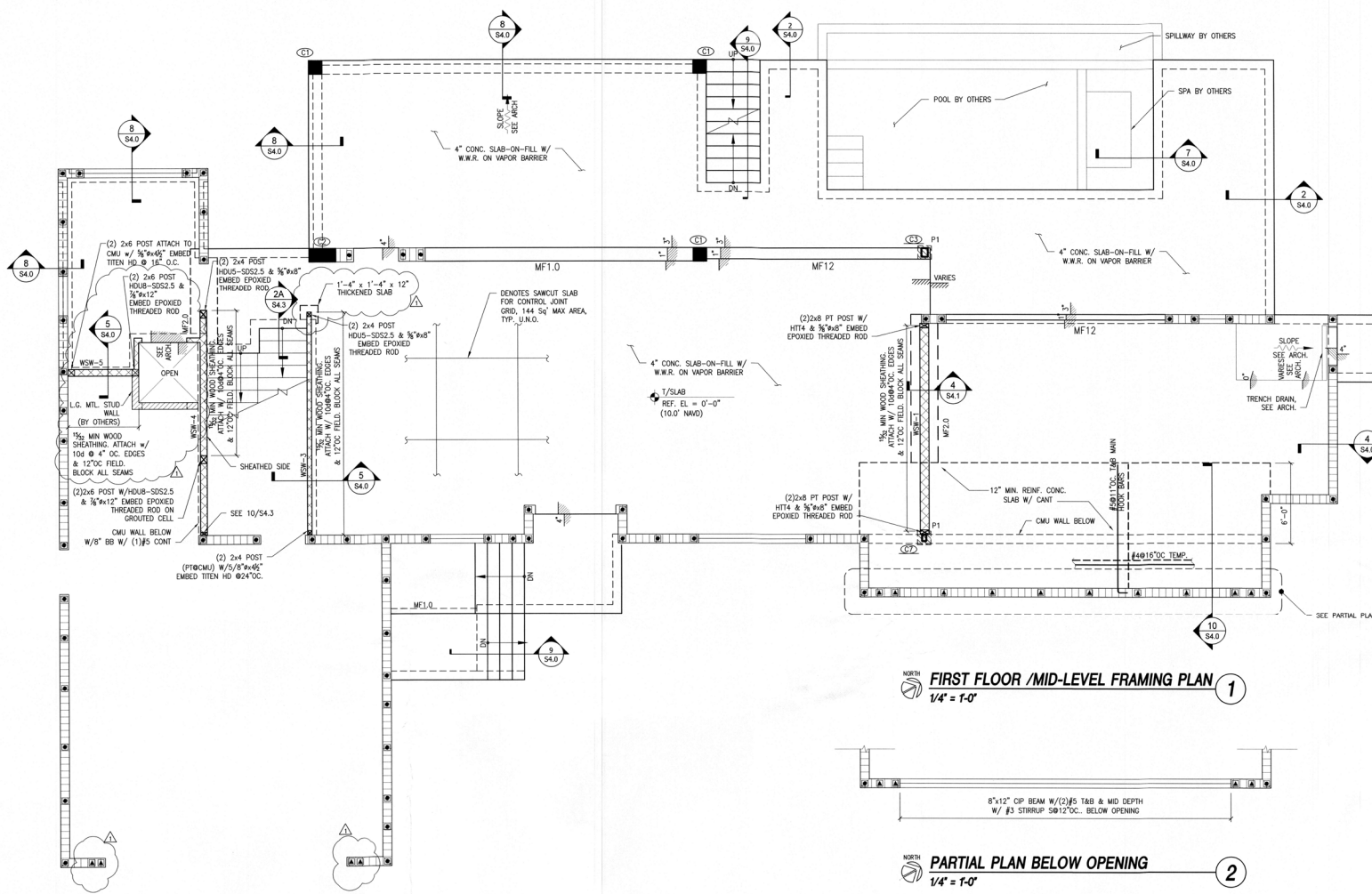


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NOTE: DO NOT USE STRUCTURAL DRAWINGS ALONE FOR BUILDING LAYOUT. DO NOT SCALE THESE DRAWINGS MANUALLY OR ELECTRONICALLY. COORDINATE LOCATIONS OF ALL STRUCTURAL ELEMENTS, INCLUDING COLUMNS, WALLS, SLAB EDGES, DEPRESSIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY CONFLICTS PRIOR TO BUILDING LAYOUT. A REGISTERED SURVEYOR SHALL PERFORM BUILDING LAYOUT AND LOCATION OF ALL STRUCTURAL ELEMENTS AT ALL LEVELS.

COLUMN SYMBOLS

- COLUMN NO. (SEE SCHEDULE)
- INDICATES COLUMN ABOVE
- INDICATES COLUMN THROUGH
- INDICATES COLUMN BELOW



FIRST FLOOR /MID-LEVEL FRAMING PLAN
1/4" = 1'-0"

PARTIAL PLAN BELOW OPENING
1/4" = 1'-0"

- FOUNDATION NOTES:**
- SEE SHEET S0.1 FOR GENERAL STRUCTURAL NOTES.
 - SEE ARCHITECTURAL, CIVIL AND MEP DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING.
 - SLAB-ON-GRADE SHALL BE MIN. 4" 3000 PSI MINIMUM CONCRETE WITH W1.4 X W1.4 6x6 WELDED WIRE REINFORCEMENT ON VAPOR BARRIER OVER COMPACTED FILL. U.N.O.
 - PROVIDE 3" CONTROL JOINTS IN CONCRETE SLAB. JOINT PATTERN SHALL BE APPROXIMATELY SQUARE WITH MAXIMUM PANEL AREA OF 144 SQUARE FEET MAXIMUM. CONTROL JOINTS SHALL BE TOOLED OR SAW CUT AS SOON AS POSSIBLE FOLLOWING INITIAL SET.
 - TOP OF FOUNDATIONS MARKED RF, WF AND CF SHALL BE MINIMUM 1'-4" BELOW GRADE, U.N.O. TOP OF FOUNDATION TE AND MF SHALL BE TOP OF SLAB, U.N.O.
 - DENOTES REINF. 8"/12" MASONRY WALL WITH REINFORCING IN GROUT FILLED CELLS AT 48" O.C. U.N.O. AND AT CORNERS, ENDS, INTERSECTIONS, UNDER POINT LOADS FROM FOUNDATION TO SLAB ON GRADE, AND AS SHOWN ON PLAN PER NOTES 6-10. (Fg) = 2500 PSI GROUT TYPE M OR S, U.N.O. PROVIDE #7 VERTICAL REINFORCING IN GROUT FILLED CELLS AT 24" O.C. MAX. Ø RETAINING WALLS SCHEDULED WITH RETAINING FOOTINGS (RF), U.N.O. ON PLAN OR IN DETAILS.
 - DENOTES 2x WOOD BEARING AND/OR SHEAR WALL WITH STUDS @ 16" O.C. MAX. w/ DOUBLE TOP PLATE @ SINGLE P.I. BOTTOM PLATE PROVIDE BLOCKING @ ONE THIRD POINTS OF VERTICAL STUD. W/ 3/8" WEDGE ANCHOR @ 32" O.C. MAX. W/ 4" EMBED INTO SLAB.
 - DENOTES GROUT FILLED CELL. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - ⊗ DENOTES #5 VERTICAL REINFORCING IN GROUT FILLED CELLS. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - ⊗ DENOTES #7 VERTICAL REINFORCING BAR IN GROUT FILLED CELL. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - DENOTES CONCRETE COLUMN, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - DENOTES CONCRETE COLUMN BELOW, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - DENOTES STEEL COLUMN, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - CENTERLINES OF COLUMNS, WALLS & BEAMS SHALL COINCIDE WITH FOUNDATION CENTERLINES, U.N.O.
 - SEE ARCH. FOR LOCATION AND DIMENSIONS OF WINDOW / DOOR OPENINGS.
 - BALCONY GUARDRAIL AND STAIR HANDRAILS BY MANUFACTURER'S SPECIALTY ENGINEER. CENTERLINES OF COLUMNS, WALLS & BEAMS WITH STRUCTURAL ENGINEER AS SPECIFIED HEREIN. SEE ARCH DRAWINGS FOR LOCATIONS.

NOTE:
DO NOT USE STRUCTURAL DRAWINGS ALONE FOR BUILDING LAYOUT. DO NOT SCALE THESE DRAWINGS MANUALLY OR ELECTRONICALLY. COORDINATE LOCATIONS OF ALL STRUCTURAL ELEMENTS, INCLUDING COLUMNS, WALLS, SLAB EDGES, DEPRESSIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY CONFLICTS PRIOR TO BUILDING LAYOUT. A REGISTERED SURVEYOR SHALL PERFORM BUILDING LAYOUT AND LOCATION OF ALL STRUCTURAL ELEMENTS AT ALL LEVELS.

COLUMN SYMBOLS

□	COLUMN NO. (SEE SCHEDULE)
⊗	INDICATES COLUMN ABOVE
⊗	INDICATES COLUMN THROUGH
⊗	INDICATES COLUMN BELOW

21DS-0213

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DATE: 06/21/2021
PROJECT: 21DS-0213
DATE: 06/21/2021



Revisions:
1. 06/21/21-06-24

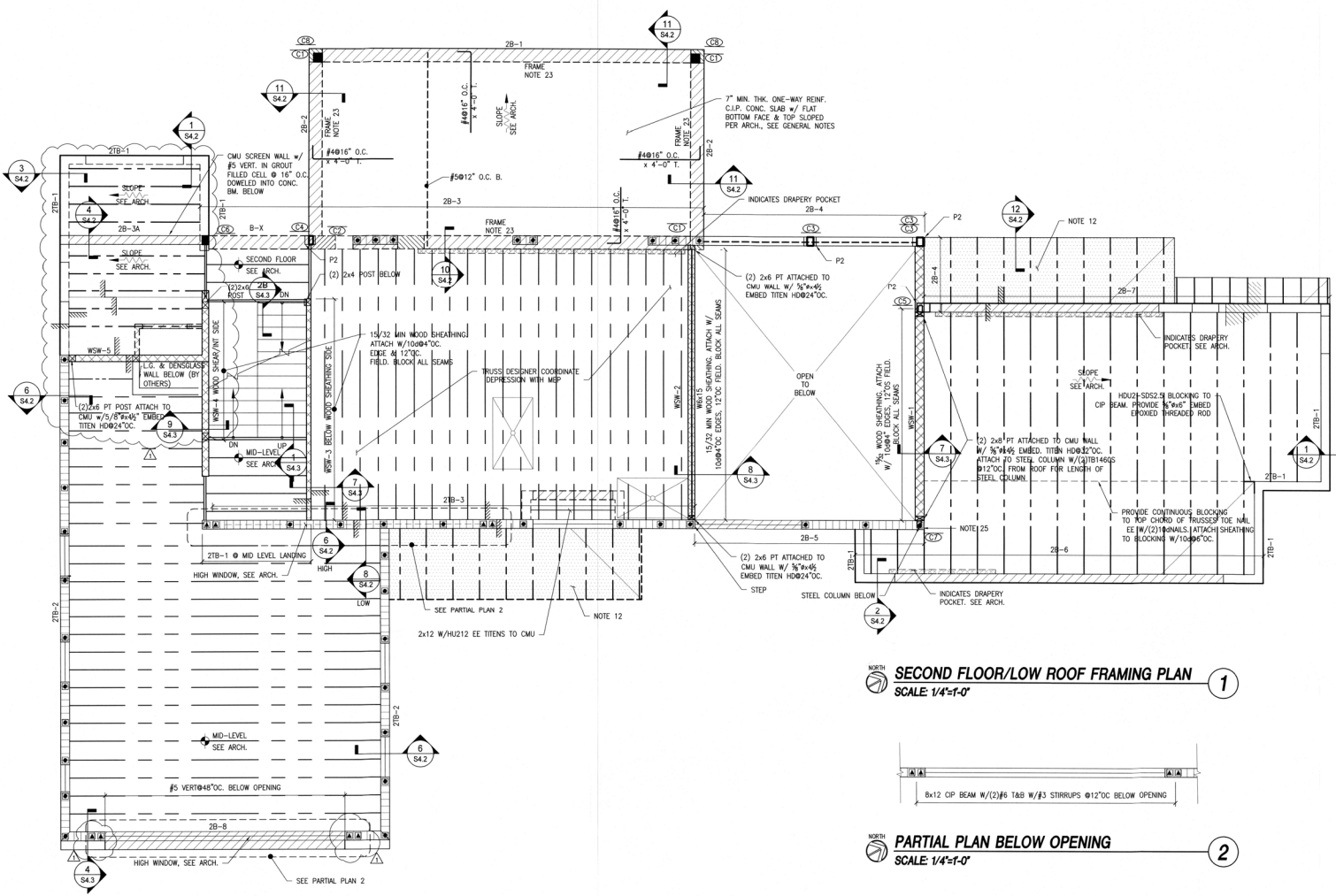
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ARCHITECTURE
PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

A NEW RESIDENCE FOR:
LONGBOAT KEY, FLORIDA 34228

639 BAYVIEW DRIVE
FIRST FLOOR PLAN
Project File: Burke
Drawn by: PFB
Checked by: JD
Date Issued: 6/24/2021
Sheet Number:
S1.5

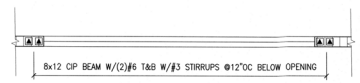


SECOND FLOOR/LOW ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

PARTIAL PLAN BELOW OPENING
SCALE: 1/4"=1'-0"

- SECOND FLOOR/LOW ROOF FRAMING PLAN NOTES:**
- SEE SHEET S0.1 FOR GENERAL STRUCTURAL NOTES.
 - FLOOR FRAMING SHALL CONSIST OF MIN. 20'x24" DEEP PRE-ENGINEERED FLOOR TRUSSES SPACED AS REQUIRED FOR SPECIFIED LOADING AND @ 16" O.C. MAXIMUM, U.N.O.
 - FLOOR SHALL BE 3/4" TAG APA RATED SHEATHING W/ 40' / 20' SPAN RATING GULLED AND ATTACHED W/ 100 @ 6" O.C. EDGES AND 12" O.C. FIELD.
 - INDICATES REINFORCING: 8" MASONRY WALL WITH REINFORCING IN GROUT FILLED CELLS AT 48" O.C., U.N.O. AND AT CORNERS, ENDS, INTERSECTIONS, UNDER POINT LOADS. (fg = 2000 PSI GROUT TYPE M OR S, U.N.O.)
 - INDICATES #5 VERTICAL REINFORCING IN GROUT FILLED CELL, U.N.O. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - INDICATES #7 VERTICAL REINFORCING BAR IN GROUT FILLED CELL. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - INDICATES CONCRETE COLUMN, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - INDICATES CONCRETE COLUMN BELOW, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - INDICATES STEEL COLUMN BELOW, SEE COLUMN SCHEDULE ON S1.0 FOR DETAILS.
 - INDICATES BEAM BELOW, SEE BEAM SCHEDULE.
 - INDICATES 2x WOOD BEARING AND/OR SHEAR WALL WITH STUDS @ 16" O.C. MAX. W/ DOUBLE TOP PLATE & SINGLE P.T. BOTTOM PLATE. PROVIDE BLOCKING @ ONE THIRD POINTS OF VERTICAL STUD. W/ 3/4" WEDGE ANCHOR @ 32" O.C. MAX. W/ 4" EMBED INTO S4.0.
 - HATCH DENOTES MEMRS OPEN STRUCTURE TO BE DESIGNED FOR +20/-43 PSF (ALLOWABLE).
 - WHERE LINTELS OVER OPENINGS ARE NOT SPECIFIED, REFER TO GENERAL NOTES. LINTELS SHALL BE PROVIDED IN ADDITION TO THE BEAM. U.N.O.
 - SPECIALTY ENGINEER REFER TO ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
 - CONTRACTOR SHALL VERIFY ALL CONNECTOR SIZES AND QUANTITIES WITH SPECIALTY ENGINEER TRUSS DRAWINGS.
 - BALCONY GUARDRAIL AND STAIR HANDRAILS BY MANUFACTURER'S SPECIALTY ENGINEER. COORDINATE BLOCK-OUTS AND EMBEDS WITH STRUCTURAL ENGINEER AS SPECIFIED HEREIN. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
 - LOW ROOF SHALL CONSIST OF PRE-ENGINEERED WOOD TRUSSES SPACED AS REQUIRED FOR SPECIFIED LOADING AND @ 24" O.C. MAXIMUM, U.N.O. TOP CHORD SHALL BE MIN. 2x4. SEE ARCHITECTURAL DRAWINGS FOR SLOPING AND TRUSS PROFILES.
 - ROOF DIAPHRAGMS SHALL CONSIST OF 3/4" CDX APA RATED SHEATHING WITH 32/16 SPAN RATING WITH 100 RING SHANK NAILS @ 6" PANEL EDGES AND INTERMEDIATE AND 4" @ CORNERS. 2x BLOCKING SHALL BE INSTALLED ON EDGE AND WITHIN 6" OF BEARING POINT, BETWEEN TRUSSES BEARING ON ALL WALLS.
 - PROVIDE 3/4" CDX APA RATED SHEATHING ON UNDERSIDE OF FRAMING EXPOSED TO WIND. FASTEN WITH 10d RING SHANK NAILS @ 6" O.C.
 - PROVIDE CONTINUOUS 2x4 BOTTOM CHORD BRACING @ 10'-0" O.C. PERPENDICULAR TO SPAN OF TRUSS.
 - ALL CMU WALL REINFORCEMENT SHALL BE CONTINUOUS UP TO PARAPET THE BEAM, U.N.O.
 - CONTRACTOR REFER TO ARCHITECTURE FOR ALL ELEVATIONS AND DIMENSIONS.
 - SEE 9/S4.1 FOR REBAR DETAILING @ CONNECTION @ CONCRETE FRAMES
 - EXTERIOR WALL/TRUSS SHEATHING SHALL CONSIST OF 3/4" CDX APA RATED PLYWOOD SHEATHING FASTENED WITH MIN. 10d NAILS AT 6/8 SPACING WITH ALL PANEL EDGES BLOCKED, U.N.O. BY SPECIALTY ENGINEER. SEE WOOD SHEAR WALL ON PLAN.
 - PROVIDE 3/4"x7/8" CAP PLATE W/(4) 3/8"x5" LONG HS W/ 2/5 EDGE DISTANCE FROM PLATE EDGE.

- R-# = GRAVITY LOADS > 5000 LB SHOWN, LBS (ALLOWABLE), U.N.O.
- U-# = UPLIFT LOADS > 1000 LB SHOWN, LBS (ALLOWABLE), U.N.O.



BEAM SCHEDULE							
MARK	TYPE	SIZE WxD (IN)	REINFORCEMENT			STIRRUPS	NOTES
			TOP	MIDDLE	BOTTOM		
2TB-1	CMU	8" x 16"	(1) #5	-	(1) #5	-	DOUBLE KNOCK-OUT BLOCK, USE U.N.O.
2TB-2	CONC.	8" x 16"	(2) #5	-	(2) #5	#3012" O.C.	
2TB-3	CONC.	8" x 24"	(2) #5	-	(2) #5	#3016" O.C.	C.I.P. THE BEAM
2B-1	CONC.	12" x 18"	(3) #8	-	(3) #8	#307" O.C.	
2B-2	CONC.	12" x 18"	(3) #7	-	(3) #7	#307" O.C.	
2B-3	CONC.	12" x 22"	(3) #7	-	(3) #7	#307" O.C.	
2B-3A	CONC.	8" x 24"	(2) #5	(2) #5	(2) #5	#3011" O.C.	
2B-4	CONC.	8" x 20"	(2) #6	(2) #6	(2) #6	#307" O.C.	
2B-5	CONC.	8" x 16"	(2) #6	(2) #6	(2) #6	#307" O.C.	
2B-6	CONC.	8" x 24"	(2) #6	(2) #6	(2) #6	#3011" O.C.	
2B-7	CONC.	8" x 28"	(2) #5	(2) #5	(2) #5	#3011" O.C.	
2B-8	CONC.	16" x 20"	(3) #5	(2) #5	(3) #5	#3016" O.C.	SEE PLAN FOR ADDITIONAL INFO.

NOTES:
① DEPTH MINIMUM. DEPTH OF BEAM MAY BE DEEPENED TO MEET ARCH REQUIREMENTS

TRUSS PLACEMENT IS GENERALLY DIAGRAMMATIC WITH SPACING GOVERNED BY THE PLAN NOTES. IN SOME CASES THE TRUSSES ARE SHOWN BASED ON ARCH FEATURES. CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL TRUSSES WITH ARCH. DWGS.

NOTE:
DO NOT USE STRUCTURAL DRAWINGS ALONE FOR BUILDING LAYOUT. DO NOT SCALE THESE DRAWINGS MANUALLY OR ELECTRONICALLY. COORDINATE LOCATIONS OF ALL STRUCTURAL ELEMENTS, INCLUDING COLUMNS, WALLS, SLAB EDGES, DEPRESSIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY CONFLICTS PRIOR TO BUILDING LAYOUT. A REGISTERED SURVEYOR SHALL PERFORM BUILDING LAYOUT AND LOCATION OF ALL STRUCTURAL ELEMENTS AT ALL LEVELS.

- COLUMN SYMBOLS**
- INDICATES COLUMN NO. (SEE SCHEDULE)
 - INDICATES COLUMN ABOVE
 - INDICATES COLUMN THROUGH
 - INDICATES COLUMN BELOW



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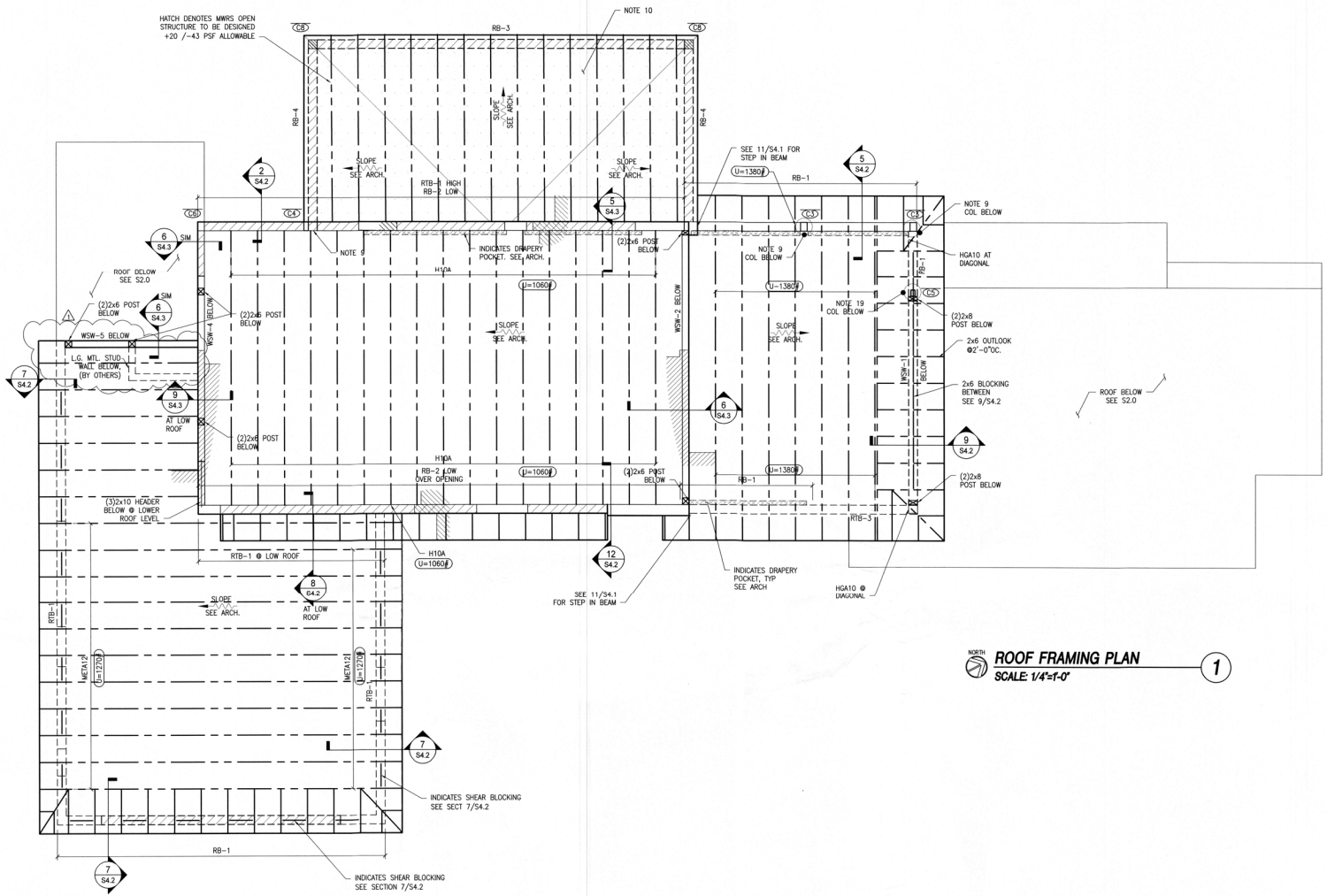


A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

21DS-0213

KARINS
Professional Engineer
No. 54568
State of Florida
Expires 12/31/2021

Project: Phil Burke
Drawn by: FBK
Checked by: JD
Date Issued: 6/24/2021
Sheet Number:
S2.0



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

- ROOF PLAN NOTES**
- SEE SHEET S0.1 FOR GENERAL STRUCTURAL NOTES.
 - SEE ARCHITECTURAL, CIVIL AND MEP DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING.
 - ▭ DENOTES BEAM BELOW, SEE BEAM SCHEDULE.
 - ▭ DENOTES COLUMN BELOW, SEE COLUMN SCHEDULE ON SHEET S1.0.
 - ALL CMU WALL REINFORCEMENT SHALL BE CONTINUOUS UP TO PARAPET THE BEAM, U.N.O.
 - WHERE LINTELS OVER OPENINGS ARE NOT SPECIFIED, REFER TO GENERAL NOTES. LINTELS SHALL BE PROVIDED IN ADDITION TO THE BEAM U.N.O.
 - ROOF SHALL CONSIST OF PRE-ENGINEERED WOOD TRUSSES SPACED AS REQUIRED FOR SPECIFIED LOADING AND @ 24" O.C. MAXIMUM, U.N.O. TRUSS TOP CHORD SHALL BE MIN. 2x6 U.N.O. SEE ARCHITECTURAL DRAWINGS FOR SLOPING AND TRUSS PROFILES.
 - ROOF DIAPHRAGMS SHALL CONSIST OF 1/2" CDX APA RATED SHEATHING W/ 3/2" SPAN RATING WITH 10d RING SHANK NAILS @ 6" O.C. PANEL EDGES AND INTERMEDIATE AND 4" O.C. @ CORNERS U.N.O. 2x BLOCKING SHALL BE INSTALLED ON EDGE AND WITHIN 6" OF BEARING POINT, BETWEEN TRUSSES BEARING ON ALL WALLS.
 - PROVIDE 1/2" X 7/8" CAP PLATE W/ (4) 3/8" X 5" LONG HS W/ 2/5" EDGE DISTANCE FROM PLATE EDGE.
NOTE: PLATE MAY BE OFFSET W/ RESPECT TO 6" DIMENSION TO AVOID CONFLICT W/ FINISHES. COORDINATE W/ ARCH PLANS.
 - HATCH DENOTES MWFRS OPEN STRUCTURE TO BE DESIGNED FOR +20/-43 PSF (ALLOWABLE).
 - PROVIDE 1/2" CDX APA RATED SHEATHING ON UNDERSIDE OF TRUSSES EXPOSED TO WIND. FASTEN WITH 8d RING SHANK NAILS @ 6" O.C.
 - EXTERIOR WALL/TRUSS SHEATHING SHALL CONSIST OF 1/2" CDX APA RATED PLYWOOD SHEATHING FASTENED WITH MIN. 10d NAILS AT 6/8" SPACING WITH ALL PANEL EDGES BLOCKED, U.N.O. BY SPECIALTY ENGINEER. SEE WOOD SHEAR WALL (WSW) ON PLAN.
 - PROVIDE CONTINUOUS 2x4 TRUSS BOTTOM CHORD BRACING @ 10'-0" O.C. PERPENDICULAR TO SPAN OF TRUSS.
 - SPECIALTY ENGINEER REFER ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
 - CONTRACTOR SHALL VERIFY ALL CONNECTOR SIZES AND QUANTITIES WITH SPECIALTY ENGINEER TRUSS DRAWINGS.
 - CONTRACTOR REFER TO ARCHITECTURE FOR ALL ELEVATIONS AND DIMENSIONS.
 - SEE 9/54.1 FOR REBAR DETAILING AT CONNECTION @ CONCRETE FRAMES.
- R-# # = GRAVITY LOADS > 5000 LB SHOWN, LBS (ALLOWABLE), U.N.O.
 U-# # = UPLIFT LOADS > 1000 LB SHOWN, LBS (ALLOWABLE), U.N.O.

BEAM SCHEDULE						
MARK	TYPE	SIZE WVD. (IN)	REINFORCEMENT			NOTES
			TOP	MIDDLE	BOTTOM	
RTB-1	CMU	8" x 16"	(1) #5	-	(1) #5	-
RTB-2	CMU	8" x 32"	(1) #5	-	(1) #5	-
RTB-3	CONC.	8" x 12"	(2) #5	-	(2) #5	-
RB-1	CONC.	8" x 12"	(2) #5	-	(2) #5	#305" O.C.
RB-2	CONC.	8" x 32"	(2) #6	(2) #6	(2) #6	#312" O.C.
RB-3	CONC.	8" x 16"	(2) #8	-	(2) #8	#307" O.C.
RB-4	CONC.	8" x 16"	(2) #5	-	(2) #5	#307" O.C.

NOTES:
 ① DEPTH IS MINIMUM. DEPTH OF BEAM MAY BE DEEPENED TO MEET ARCHITECTURAL REQUIREMENTS.

TRUSS PLACEMENT IS GENERALLY DIAGNOSTIC WITH SPACING COVERED BY THE PLAN NOTES. IN SOME CASES THE TRUSSES ARE SHOWN BASED ON ARCH FEATURES. CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL TRUSSES WITH ARCH. DWGS.

NOTE:
 DO NOT USE STRUCTURAL DRAWINGS ALONE FOR BUILDING LAYOUT. DO NOT SCALE THESE DRAWINGS MANUALLY OR ELECTRONICALLY. COORDINATE LOCATIONS OF ALL STRUCTURAL ELEMENTS, INCLUDING COLUMNS, WALLS, SLAB EDGES, DEPRESSIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY CONFLICTS PRIOR TO BUILDING LAYOUT. A REGISTERED SURVEYOR SHALL PERFORM BUILDING LAYOUT AND LOCATION OF ALL STRUCTURAL ELEMENTS AT ALL LEVELS.

COLUMN SYMBOLS

▭ COLUMN NO. (SEE SCHEDULE)
 ○ INDICATES COLUMN ABOVE
 ○ INDICATES COLUMN THROUGH
 ○ INDICATES COLUMN BELOW

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21DS-0213

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A NEW RESIDENCE FOR:
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 LONGBOAT KEY, FLORIDA 34228

ROOF FRAMING PLAN

Project: Phil Burke
 Drawn by: Phil
 Checked by: JD
 Date Issued: 6/24/2021

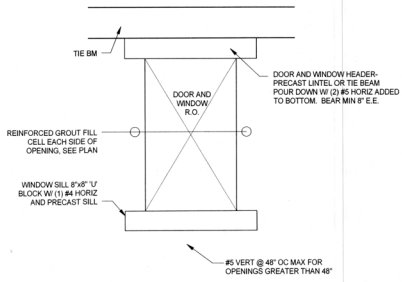
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Revisions
 1. 10/21/2021
 2. 10/21/2021

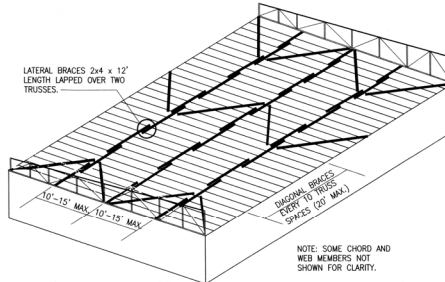
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 FL REG. INTERIOR DESIGNER # 12408
 FL REG. CONSTRUCTION MGMT # 12408



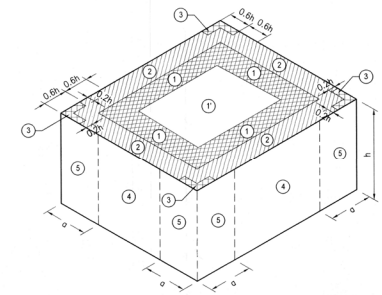
3 MASONRY OPENING FRAMING DETAIL
SCALE 3/4"=1'-0"



2 BOTTOM CHORD BRACING
SCALE N.T.S.

COMPONENT & CLADDING ULTIMATE WIND PRESSURES (PER ASCE 7-16)								
ULTIMATE WIND SPEED, V _{ult} =	160 mph	NOMINAL WIND SPEED, V _{ref} =	123 mph	HEIGHT, h =	31 ft			
EXPOSURE CATEGORY	D	RISK CATEGORY	II	PARAPET HEIGHT =	0.0			
ENCLOSED BUILDING, C _{pe} =	+/- 0.18	DIRECTIONALITY FACTOR, K _d =	1.00	ROOF SLOPE =	0.25(1:2)			
COMPONENT LOCATION	POSITIVE PRESSURES (psf)			NEGATIVE PRESSURES (psf)				
EFFECTIVE AREA, A _e	10 ft ²	20 ft ²	50 ft ²	100 ft ²	10 ft ²	20 ft ²	50 ft ²	100 ft ²
ROOFS								
ZONE 1- FIRST INTERIOR FROM EDGES	36.8	34.5	31.4	29.1	-144.0	-134.5	-122.0	-112.5
ZONE 1'- SECOND INTERIOR FROM EDGES	36.8	34.5	31.4	29.1	-82.7	-82.7	-82.7	-82.7
ZONE 2- WITHIN 0.6h' DISTANCE FROM EDGES	36.8	34.5	31.4	29.1	-190.0	-177.8	-161.6	-149.4
ZONE 3- WITHIN 0.2h' DISTANCE FROM EDGES AT CORNERS	36.8	34.5	31.4	29.1	-258.9	-234.5	-202.2	-177.8
ZONE 3- AT OVERHANGS	N/A	N/A	N/A	N/A	-176.2	-159.9	-138.4	-122.1
ZONE 4- AT OVERHANGS	N/A	N/A	N/A	N/A	-245.1	-216.6	-178.9	-150.4
WALLS								
ZONE 4- INTERIOR	82.7	79.1	74.2	70.6	-89.6	-86.0	-81.1	-77.4
ZONE 5- CORNER	82.7	79.1	74.2	70.6	-110.3	-103.0	-93.3	-86.0
PARAPETS								
	CASE A	1	CASE B		CASE A		CASE B	
ZONE 2- EDGE	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
ZONE 3- CORNER	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

NOTES:
 1) "A_e" INDICATES EFFECTIVE AREA AS DEFINED BY SECTION 26.2 OF ASCE 7.
 2) PRESSURE VALUES IN ABOVE TABLE ARE BASED ON THE PARAMETERS LISTED AT THE TOP OF THE TABLE.
 3) GLAZED OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 26.10.3 OF ASCE 7.
 4) PRESSURES IN ABOVE TABLE ARE ULTIMATE VALUES. FOR ALLOWABLE STRESS DESIGN, OR FOR TESTING BASED ON NOMINAL PRESSURES, TABLE VALUES ARE PERMITTED TO BE MULTIPLIED BY 0.68.
 5) WHERE WIND LOADS ARE COMBINED WITH OTHER LOADS PER ASCE 7 LOAD COMBINATIONS, PRESSURES IN ABOVE TABLE ARE PERMITTED TO BE MULTIPLIED BY 0.88.



1 PRESSURE ZONE DIAGRAM
SCALE N.T.S.

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21DS-0213

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 Checked by: JD
 Date Issued: 4-28-2021

Sheet Number:
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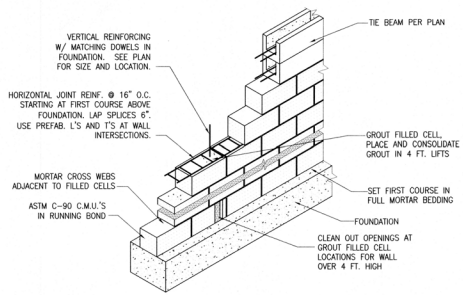
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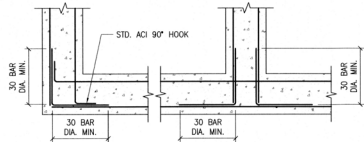
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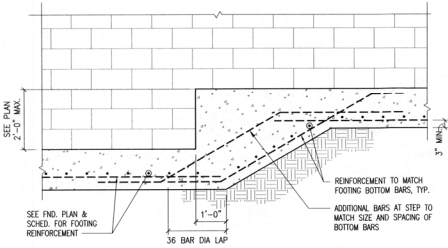
WIND PRESSURE



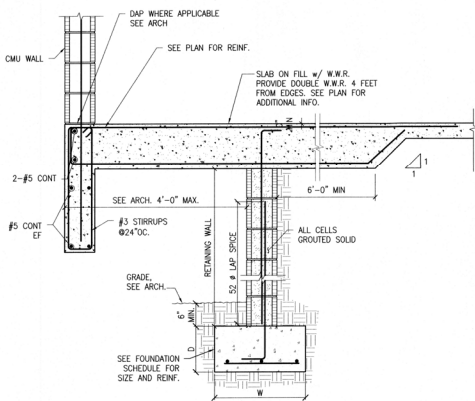
13 TYPICAL MASONRY WALL CONSTRUCTION WITH MASONRY TIE BEAM
SCALE: N.T.S.



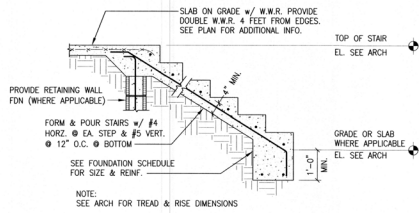
12 CONC. INTERSECTION DOWELS
SCALE: N.T.S.



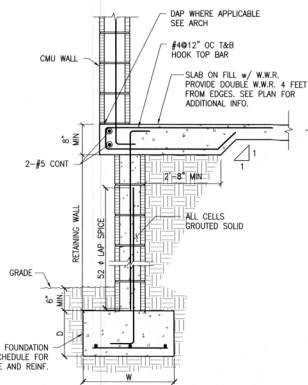
11 WALL FOOTING STEP
SCALE: 1/2\"/>



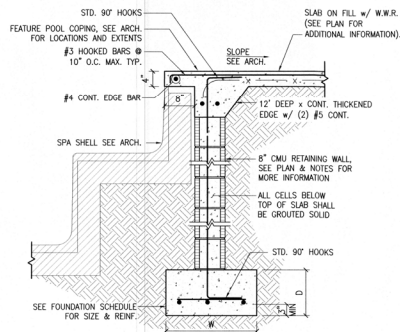
10 SECTION
SCALE: 3/4\"/>



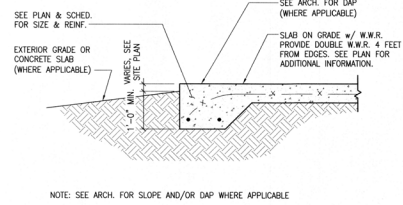
9 C.I.P. STAIRS ON GRADE
SCALE: 1/2\"/>



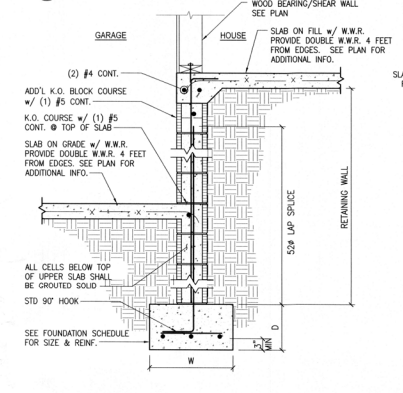
8 SECTION
SCALE: 3/4\"/>



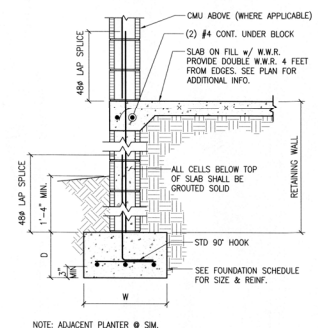
7 SECTION
SCALE: 3/4\"/>



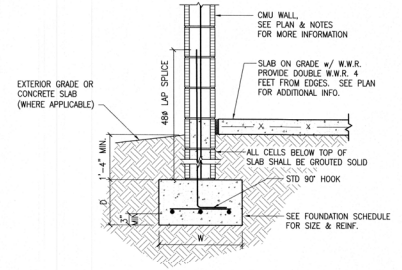
6 TYPICAL THICKENED EDGE FOUNDATION DETAIL
SCALE: 3/4\"/>



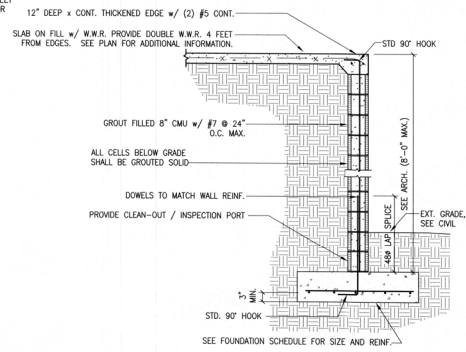
5 TYPICAL SPREAD / RETAINING WALL DETAIL @ INTERIOR MASONRY WALL
SCALE: 3/4\"/>



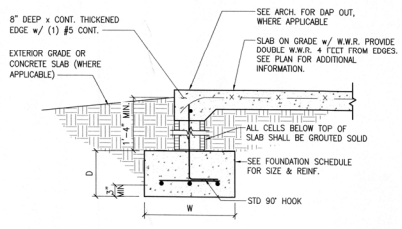
4 TYPICAL SPREAD / RETAINING WALL FOUNDATION @ EXTERIOR MASONRY WALL
SCALE: 3/4\"/>



3 TYPICAL SPREAD FOUNDATION DETAIL @ EXTERIOR MASONRY WALL
SCALE: 3/4\"/>



2 RETAINING WALL FOUNDATION
SCALE: N.T.S.



1 TYPICAL SPREAD FOUNDATION @ OPENING
SCALE: 3/4\"/>

Jerome J. DiMercurio
APR 2 5 2021
FL PE # 54446

21DS-0213

KARINS
ENGINEERING

FL Cert. of Auth. # 8321
High Pressure Business, Sales 400
Davenport, FL 34626
(813) 927-8029 Fax (841) 927-8075
Jerome J. DiMercurio, PE
FL Registration # 54446

APR 2 5 2021

Project: PHIL & KELLY BURKE
Drawn by: JDB
Checked by: JDB
Date Issued: 4-25-2021

Sheet Number:
S4.0



Revisions	DATE	BY	DESCRIPTION

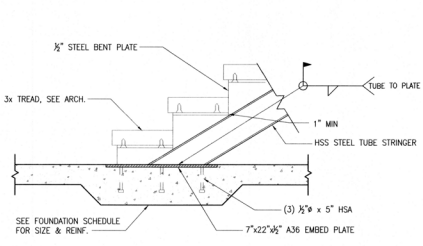
DSDG ARCHITECTS
ARCHITECTURE
1548 BAYVIEW DRIVE, SUITE 204
LONGBOAT KEY, FLORIDA 34608
Tel: (813) 952-5945
Fax: (813) 952-5946
www.dsdgarchitects.com



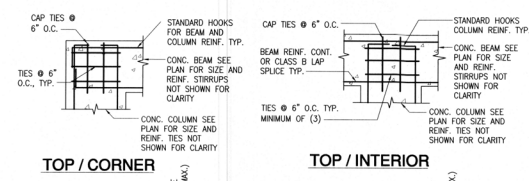
A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

RECEIVED
APR 2 5 2021
TOWN OF LONGBOAT KEY
Planning & Building

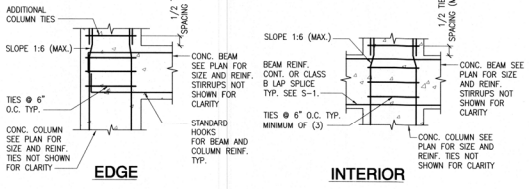
DETAILS



12 STAIR SECTION @ BASE
SCALE: 1/4"=1'-0"



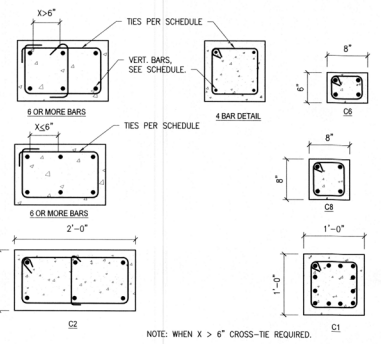
TOP / CORNER **TOP / INTERIOR**



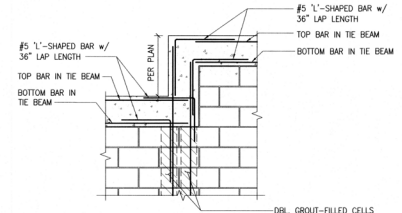
EDGE **INTERIOR**

NOTE: DETAILS SHOWN ARE JOINT CONNECTIONS ONLY. SEE DETAILS FOR TYPICAL BEAM TO COLUMN CONNECTIONS.

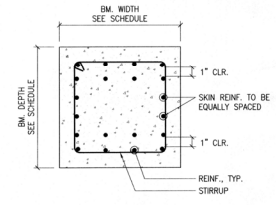
9 CONCRETE FRAME JOINT DETAILS
SCALE: N.T.S.



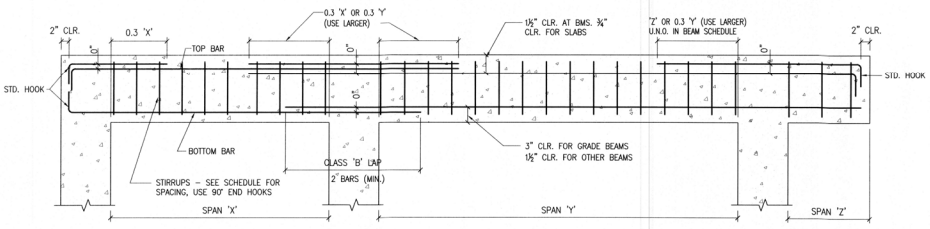
8 COLUMN TYPES - BAR ARRANGEMENT
SCALE: N.T.S.



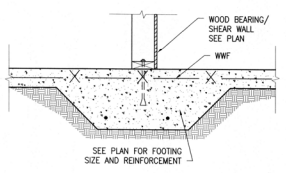
11 TYPICAL TIE BEAM STEP
SCALE: 1/2"=1'-0"



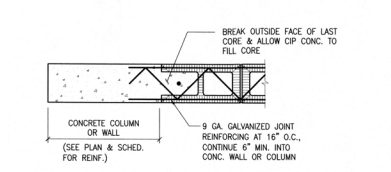
10 BEAMS w/ MULTIPLE ROWS OF REINFORCEMENT
SCALE: N.T.S.



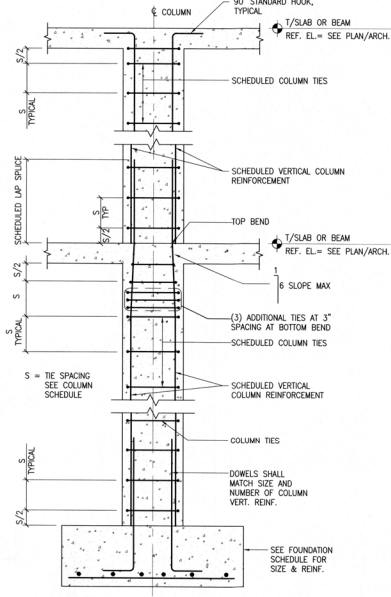
7 TYPICAL REINF. DETAIL FOR BEAMS & ONE WAY SLABS
SCALE: 3/4"=1'-0"



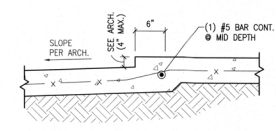
4 WALL FOUNDATION
SCALE: 3/4"=1'-0"



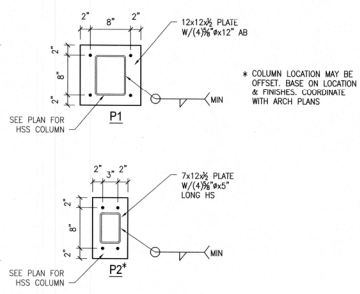
6 C.I.P. / CMU DETAIL
SCALE: 1/4"=1'-0"



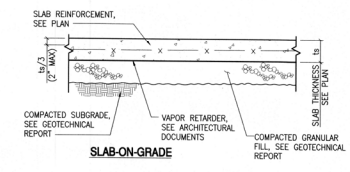
5 CONCRETE COLUMN DETAIL
SCALE: 1/2"=1'-0"



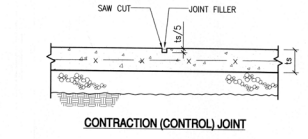
3 SLAB RECESS DETAIL
SCALE: 1/4"=1'-0"



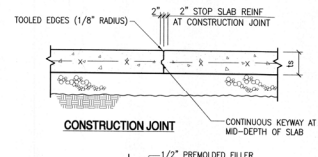
2 PLATE DETAILS
SCALE: 1/4"=1'-0"



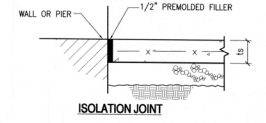
SLAB-ON-GRADE



CONTRACTION (CONTROL) JOINT



CONSTRUCTION JOINT



ISOLATION JOINT

1 TYPICAL SLAB ON GRADE WITH WELDED WIRE REINFORCEMENT
SCALE: 3/4"=1'-0"

Jerome J. DiMarteuro
APR 26 2021
FL PE # 54446

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Jerome J. DiMarteuro, P.E.
FL Registration # 54446

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TOWN OF SARASOTA, FL
Planning, Zoning & Building

2020 PROFESSIONAL ENGINEER
No. 54446
STATE OF FLORIDA
JEROME J. DIMARTEURO

Project: Surf Bar
Drawn by: FRH
Checked by: JD
Date Issued: 4-26-2021
Sheet Number:

S4.1



Revisions
2021-02-10
1548 FRUITVILLE ROAD, SUITE 204
SARASOTA, FLORIDA 34238
Tel: (941) 555-5945
Fax: (941) 555-5946
www.dsdgarchitects.com

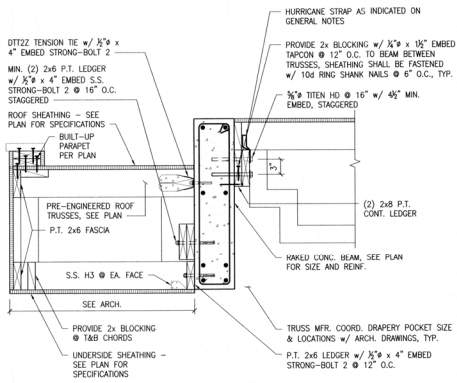
DSDG ARCHITECTS
ARCHITECTURE
PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT



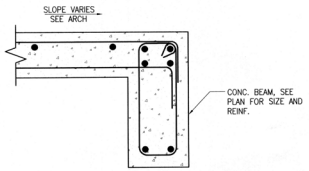
A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228

639 BAYVIEW DRIVE

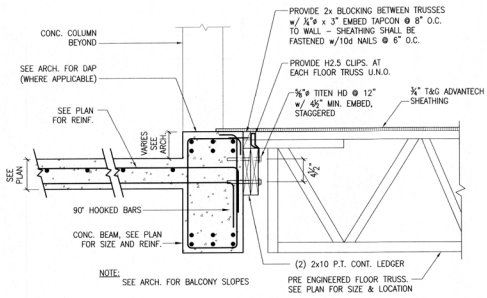
DETAILS



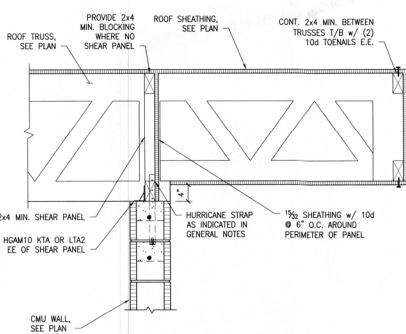
12 TRUSS OVERHANG DETAIL
SCALE: 1 1/4"



11 DETAIL
SCALE: 1 1/2" x 1-0"

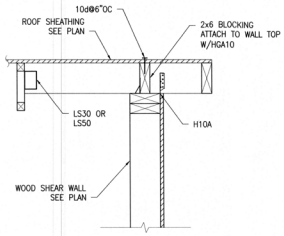


10 STEP AT C.I.P. DECK
SCALE: 1 1/4"

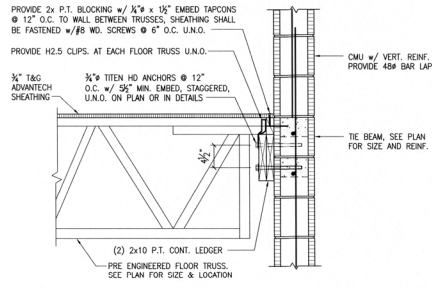


8 SECTION
SCALE: 1 1/4"

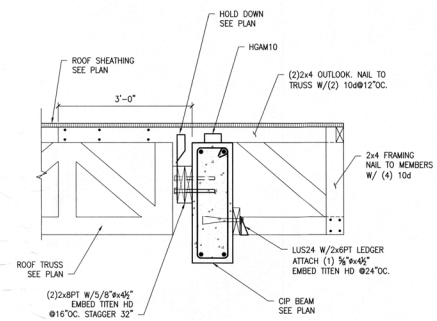
9 OUTLOOK @ WOOD WALL
SCALE: 1 1/4"



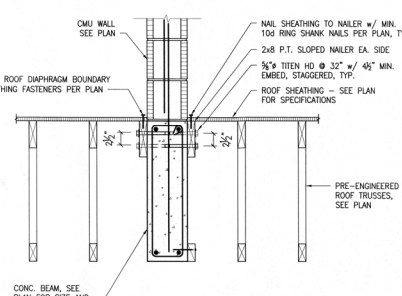
6 FLOOR TRUSSES PERP. TO WALL
SCALE: 1 1/4"



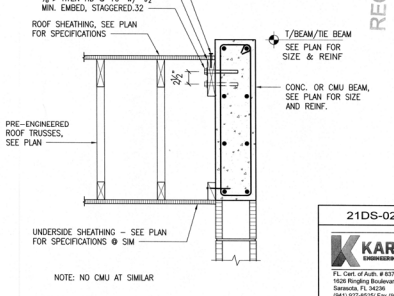
5 OUTLOOK @ CIP BEAM
SCALE: 1 1/4"



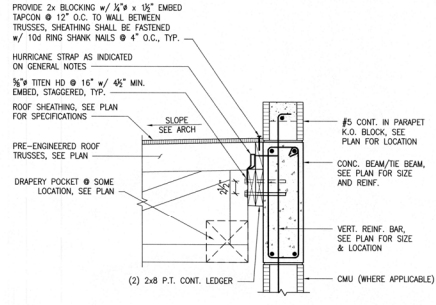
4 LOW SLOPE ROOF TRUSSES PARALLEL TO BEAM
SCALE: 1 1/4"



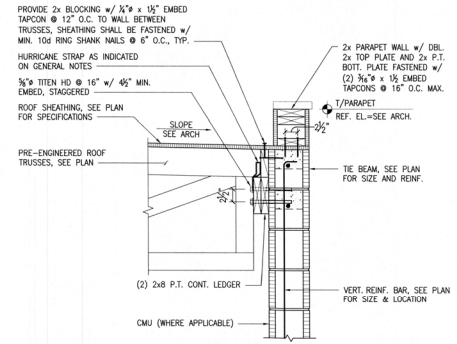
1 LOW SLOPE ROOF TRUSSES PARALLEL TO BEAM
SCALE: 1 1/4"



2 LOW SLOPE ROOF TRUSS PERP. TO WALL
SCALE: 1 1/4"



3 LOW SLOPE ROOF TRUSSES PERP. TO WALL
SCALE: 1 1/4"



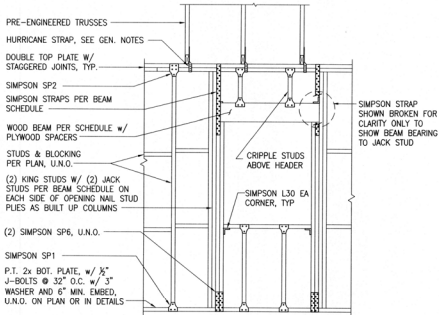
DSDG ARCHITECTS
 ARCHITECTURE
 1948 FRUITVILLE ROAD, SUITE 204
 FORT MYERS, FLORIDA 33906
 TEL: (813) 936-5446
 FAX: (813) 936-5447
 WWW.DSDGARCHITECTS.COM
 A4-000087

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 TOWN OF FORT MYERS
 Planning, Zoning & Code

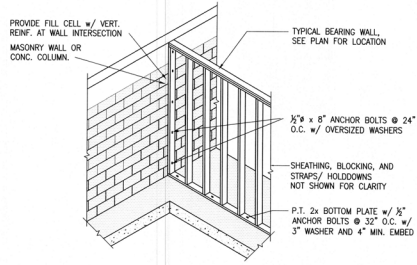
A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
 639 BAYVIEW DRIVE
 LONGBOAT KEY, FLORIDA 34228

21DS-0213
KARINS
 FL Cert. of Arch. # 8371
 1524 Ringling Boulevard, Suite 400
 Sarasota, FL 34238
 (941) 552-0022 Fax: (941) 552-0075
 www.karins.com
 Registration # 24476

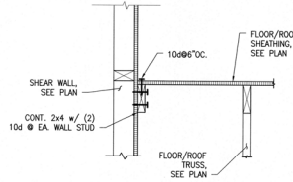
Project Ref: Burke
 Drawn by: JDB
 Checked by: JDB
 Date Issued: 4.26.2021
 Sheet Number:
S4.2



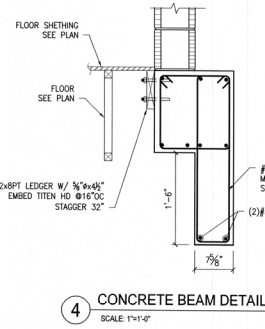
11 TYPICAL WOOD BEARING / SHEAR WALL FRAMING
SCALE: N.T.S.



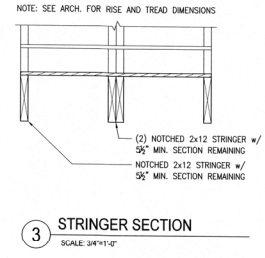
10 TYPICAL MASONRY / FRAME WALL CONNECTION (NON-SHEARWALL)
SCALE: N.T.S.



7 SECTION
SCALE: 1/4"=1'-0"

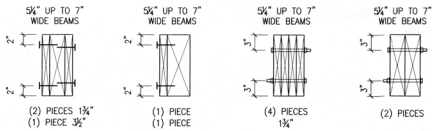
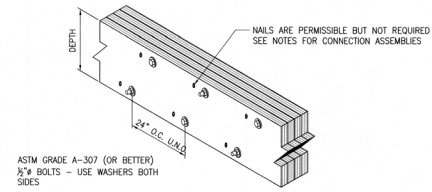


4 CONCRETE BEAM DETAIL
SCALE: 1/4"=1'-0"

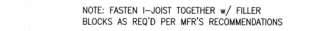
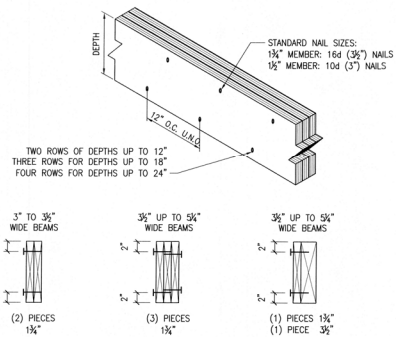


3 STRINGER SECTION
SCALE: 3/4"=1'-0"

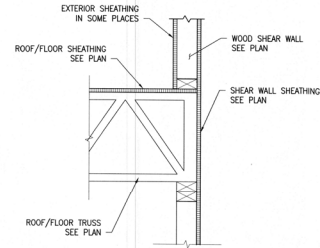
BEAM - BOLTED CONNECTION



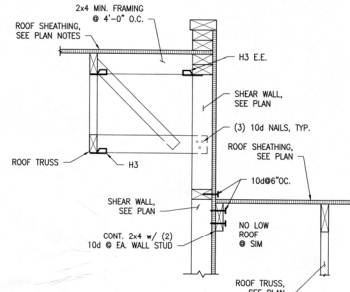
BEAM - NAILED CONNECTION



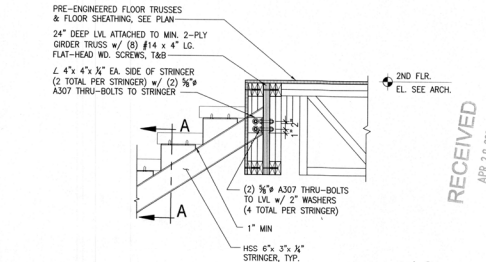
12 MULTIPLE BEAM CONNECTION
SCALE: 1/4"=1'-0"



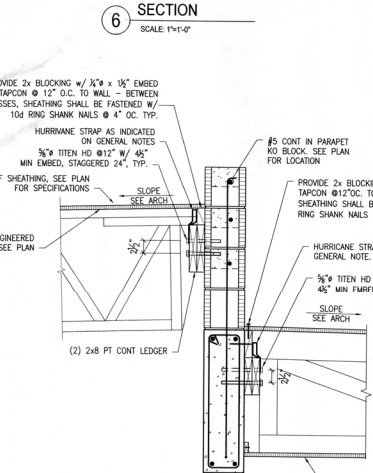
9 ROOF/FLOOR TRUSS BEARING ON WOOD SHEAR WALL
SCALE: 1/4"=1'-0"



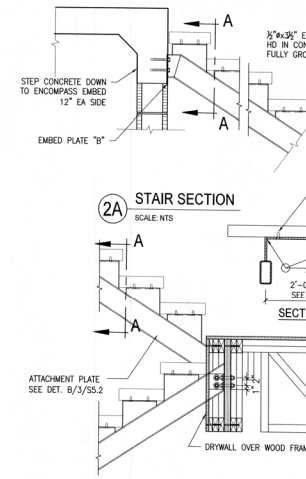
7 SECTION
SCALE: 1/4"=1'-0"



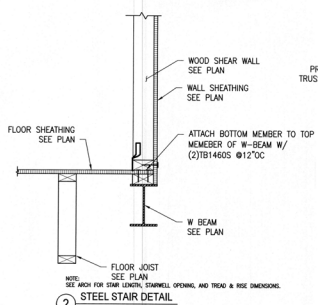
2B STAIR SECTION
SCALE: N.T.S.



6 SECTION
SCALE: 1/4"=1'-0"



1 STAIR SECTION
SCALE: 3/4"=1'-0"



2 STEEL STAIR DETAIL
SCALE: N.T.S.

8 WOOD WALL ON W-BEAM
SCALE: 1/4"=1'-0"

5 LOW SLOPE ROOF TRUSS
SCALE: 1/4"=1'-0"

21DS-0213

KARINS
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STATE OF FLORIDA
PROFESSIONAL ENGINEER

No. 54446

APR 26 2021

FL PE # 54446

Jerome J. DiMercurio
APR 26 2021
FL PE # 54446



1348 FRUITVILLE ROAD, SUITE 204
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ARCHITECTURE
PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

DS DG

A NEW RESIDENCE FOR:
PHIL & KELLY BURKE
LONGBOAT KEY, FLORIDA 34228
639 BAYVIEW DRIVE

DETAILS

Project: Phil Burke
Drawn by: PHB
Checked by: JD
Date Issued: 4.26.2021

Sheet Number:
S4.3

BOUNDARY SURVEY

IN SECTION 23, TOWNSHIP 35 SOUTH, RANGE 16 EAST
LONGBOAT KEY, MANATEE COUNTY, FLORIDA

"FINAL" AS-BUILT DRAINAGE STUDY

Name: Phil & Kelly Burke Date: 2/7/24



LOT COVERAGE CALCULATIONS	
RESIDENCE	2,572.7 SQUARE FEET
COVERED LANAI	420.9 SQUARE FEET
COVERED ENTRY	15.0 SQUARE FEET
TOTAL LOT COVERAGE	3,008.6 SQUARE FEET
LOT AREA	11,466.8 SQUARE FEET
PERCENT OF COVERAGE	26.24%
NON-OPEN SPACE CALCULATIONS	
BRICK PAVERS	534.4 SQUARE FEET
CONCRETE	162.8 SQUARE FEET
POOL DECK	515.2 SQUARE FEET
SEAWALL	335.2 SQUARE FEET
TOTAL LOT COVERAGE	1,547.6 SQUARE FEET
TOTAL NON-OPEN SPACE	4,556.2 SQUARE FEET
PERCENT OF COVERAGE	39.73%

FEMA FLOOD ZONE DATA:
COMMUNITY NO. 120153
PANEL NO. 0291 F
MAP NO. 12081C0291F
FLOOD ZONE: "AE" (EL=8.0,9.0)
EFFECTIVE DATE: 08/10/2021

SARASOTA BAY

TEMP. BENCH MARK
D/H IN SEAWALL
ELEV = 2.15'
ELEVATIONS BASED ON MEAN
SEA LEVEL, N.A.V.D. OF 1988

CERTIFIED TO:

PHIL BOLLES BURKE
KELLY PARKER BURKE
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
BERLIN PATTEN EBLING PLLC

NOTES:

1. THIS AS-BUILT SURVEY HAS BEEN PREPARED USING TITLE COMMITMENT No. 20-18729-001, DATED 06/26/2020, BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ISSUED BY BERLIN PATTEN EBLING, PLLC.
2. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OF PARTIES TO WHOM IT HAS BEEN CERTIFIED. NO OTHER PARTY MAY RELY UPON IT. RED STAKE SURVEYORS, INC. SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR THIS SURVEY TO ANY PARTY NOT NAMED IN THE CERTIFICATION.
3. UNDERGROUND UTILITIES, FOUNDATIONS, AND OTHER FEATURES THAT ARE NOT READILY VISIBLE HAVE NOT BEEN LOCATED BY THIS SURVEY.
4. ELEVATIONS SHOWN ARE BASED ON N.A.V.D. OF 1988. COCL MONUMENT 13 85 810 RMZ USED, PUBLISHED ELEVATION = 4.5', N.G.V.D. OF 1929, CONVERTED TO NAVD 1988. ALL ELEVATIONS ARE NAVD 1988.

LEGAL DESCRIPTION:

LOT 14, OF THE UNRECORDED PLAT OF BAYVIEW ACRES, BEING A RESUBDIVISION OF LOTS 9B, 10B, AND 11B, OF SLEEPY LAGOON ADDITION, AS RECORDED IN PLAT BOOK 7, PAGE 81, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, AS PER PLAT OF SAID BAYVIEW ACRES OF RECORD IN DEED BOOK 291, PAGES 99 AND 100, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

* RED STAKE SURVEYORS, INC. *

- 6389 TOWER LANE, LEVEL II - SARASOTA, FL - 34240 - PHONE - (941) 923-9997 -

CLIENT: PHIL & KELLY BURKE
FILE NUMBER: 11020143
SURVEY DATE: 02/08/2011, 08/30/2018, 07/10/2020, 10/16/2020
08/23/2021, 01/22/2024

PLAT REVISIONS	DATE	DRAWN BY
BOUNDARY SURVEY	02/09/2011	GWH
UPDATE, ELEVATIONS	09/26/2018	ROD
UPDATE SURVEY	07/13/2020	PPD
ADDED TREE	10/22/2020	PPD
SPOT SURVEY	08/24/2021	PPD
FINAL SURVEY w/LAC	01/23/2024	PPD

RECEIVED

FEB 07 2024

TOWN OF LONGBOAT KEY

PLAT BOOK 7, PAGE 81

RECORDED IN DEED BOOK 291, PAGES 99 AND 100

OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

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OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

CERTIFICATE OF SURVEYOR: I, Kenneth R. Palmer, hereby certify that this sketch or the survey represented hereon meets the Standards of Practice for Land Surveying in the State of Florida as set forth by the Florida Board of Surveyors and Mappers, pursuant to Chapter 472 of the Florida Statutes and Chapter 5J-17 of the Florida Administrative Code.

Kenneth R. Palmer 2-2-24
KENNETH R. PALMER, PLS. #4661; LB #5929 DATE

Not valid without the signature and the original raised seal of a licensed surveyor and mapper.

Curve Number 1
Radius= 30.00'
Delta= 106°07'23"
Arc= 55.57'
Chord= 47.96'
Ch. Brg.= S.10°31'58"W.

LEGEND:

EOLO = EXISTING ELEVATION

ABBREVIATIONS:

- A/C AIR CONDITIONER
- CLC CALCULATED
- CIR CAPPED IRON ROD
- C/B CONCRETE BLOCK
- CM CONCRETE MONUMENT
- CONC CONCRETE
- D/DN DEED OR DESCRIPTION
- D/H DRAIN HOLE
- FD FOUND
- IP IRON PIPE
- IP IRON PIPE
- LB LICENSED FOR BUSINESS
- M MEASURED
- N/D NAIL & DISK
- P PLAT
- RLS REGISTERED LAND SURVEYOR
- R/W RIGHT OF WAY