

M E M O R A N D U M

TO: Tom Harmer, Town Manager
FROM: Isaac Brownman, Public Works Director
DATE: February 11, 2019
SUBJECT: Bayfront Park Recreation Center Planning Update

Recommended Action

None, informational only.

Background

The Town Recreation Center was donated to the Town by the late Dr. Murf Klauber and transported to its current location at Bayfront Park in 1984. It is used for private event rentals, fitness classes, and Town events. In 2012, a comparative analysis was performed to determine whether it would be in the Town's best interest to renovate the existing facility or plan for the construction of a new facility. The study concluded that a new facility would be the better option. Attached is their report and below is a summary:

"WJA performed a due diligence review of the existing center including American with Disabilities Act, mechanical, electrical, plumbing, structural general maintenance conditions and operational review.

The building is approximately 30-40 years old and was relocated to this site. It was not designed to meet the current codes or wind zone requirements. Some improvements have been made to update the building but significant improvements would be required to bring the building into compliance. Due to the saltwater coastal location and general age of the existing building it has significant maintenance needs. The range of potential cost is between \$125,000 and \$150,000 (bare minimum).

Regarding operations, the proposed new community center would accommodate all existing programs. If the existing building was to remain open after the new building is complete it would require additional staff to operate, supervise, and maintain.

In conclusion there is no monetary, operational, or program benefit provided by the existing building. The capital improvements needed for long term utilization and the ongoing operational cost to the Town of Longboat Key exceed any value offered by the existing building. We therefore advise that the building should be demolished once a proposed Community Center is complete."

The Fiscal Year 2019 Budget includes funding for additional planning for the Bayfront Park Recreation Center replacement. Wannemacher Jensen Architects ("WJA") was hired to continue and refine work already produced in relation to the recreation center. WJA is also the firm who designed the recently completed renovations to Bayfront Park.

The scope of WJA work includes updating the building program and associated square footage, producing a refined floor plan based on the program, reviewing site location

options, providing recommendations, and also a preliminary opinion of probable cost based on the refined building program.

Three (3) refined floor plans and site locations are attached for reference. Staff preference is Scheme "A."

Next Steps

1. WJA provide a 3-Dimensional Computer model to illustrate the design intent of the preferred option.
2. WJA develop a preliminary range of probable construction cost
3. Prepare a final presentation floor plan, site plan, and color rendering

It is anticipated that these steps can be completed within the next 45-days. At this time, the construction of a new facility is not currently funded in the Town's five (5) year capital plan.

Attachments

WJA – Bayfront Park Recreation Center Floor Plan and Site Layouts

WJA – Bayfront Park Community Center Existing Building Due Diligence Assessment Report



BAYFRONT PARK RECREATION CENTER PLANNING

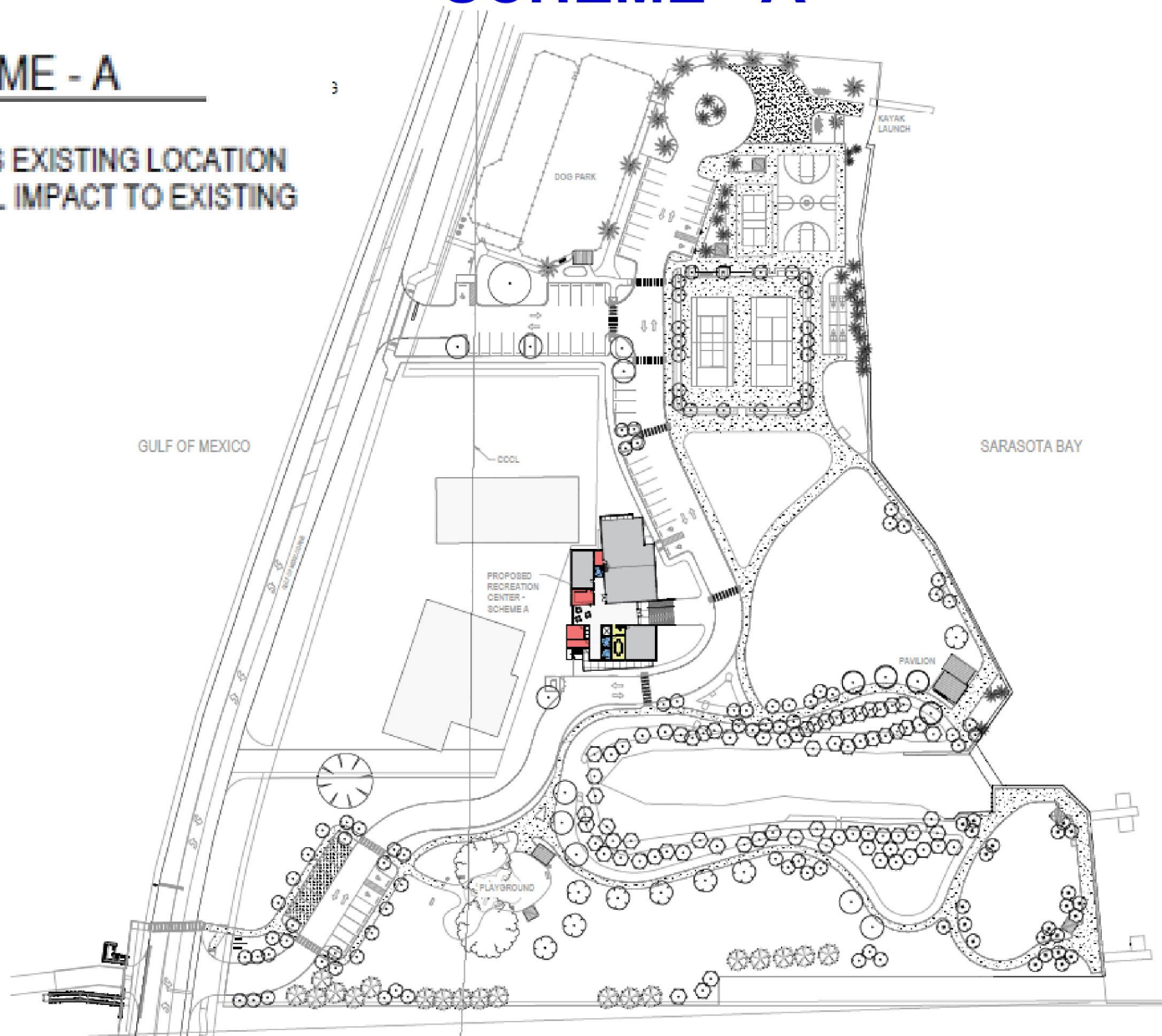
**Town Commission Regular Workshop
February 19, 2019**



SCHEME - A

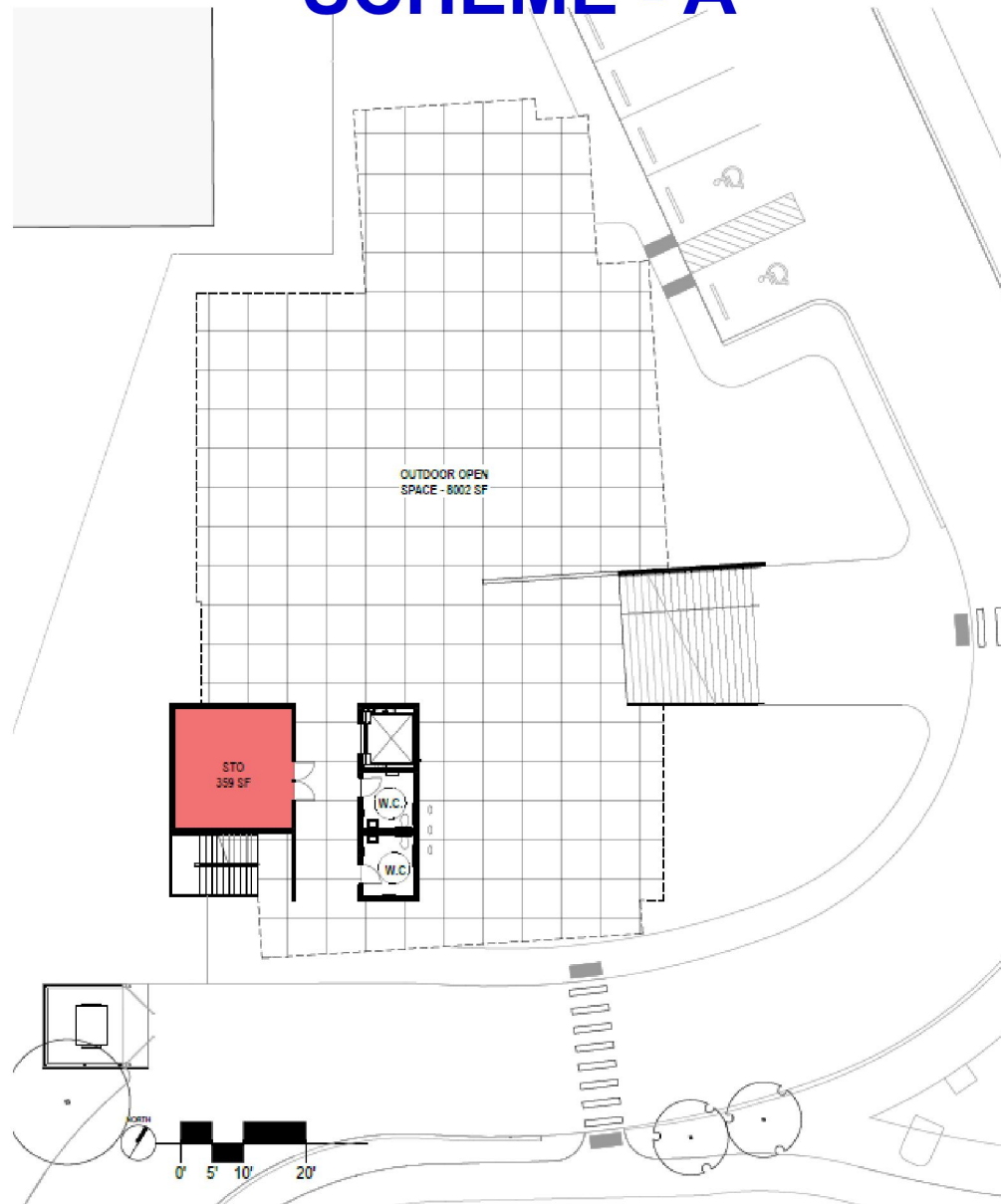
SCHEME - A

- 8560 SF
- REUSES EXISTING LOCATION
- MINIMAL IMPACT TO EXISTING PARK





SCHEME - A





SCHEME - A





SCHEME A – *EXISTING REC CENTER LOCATION*



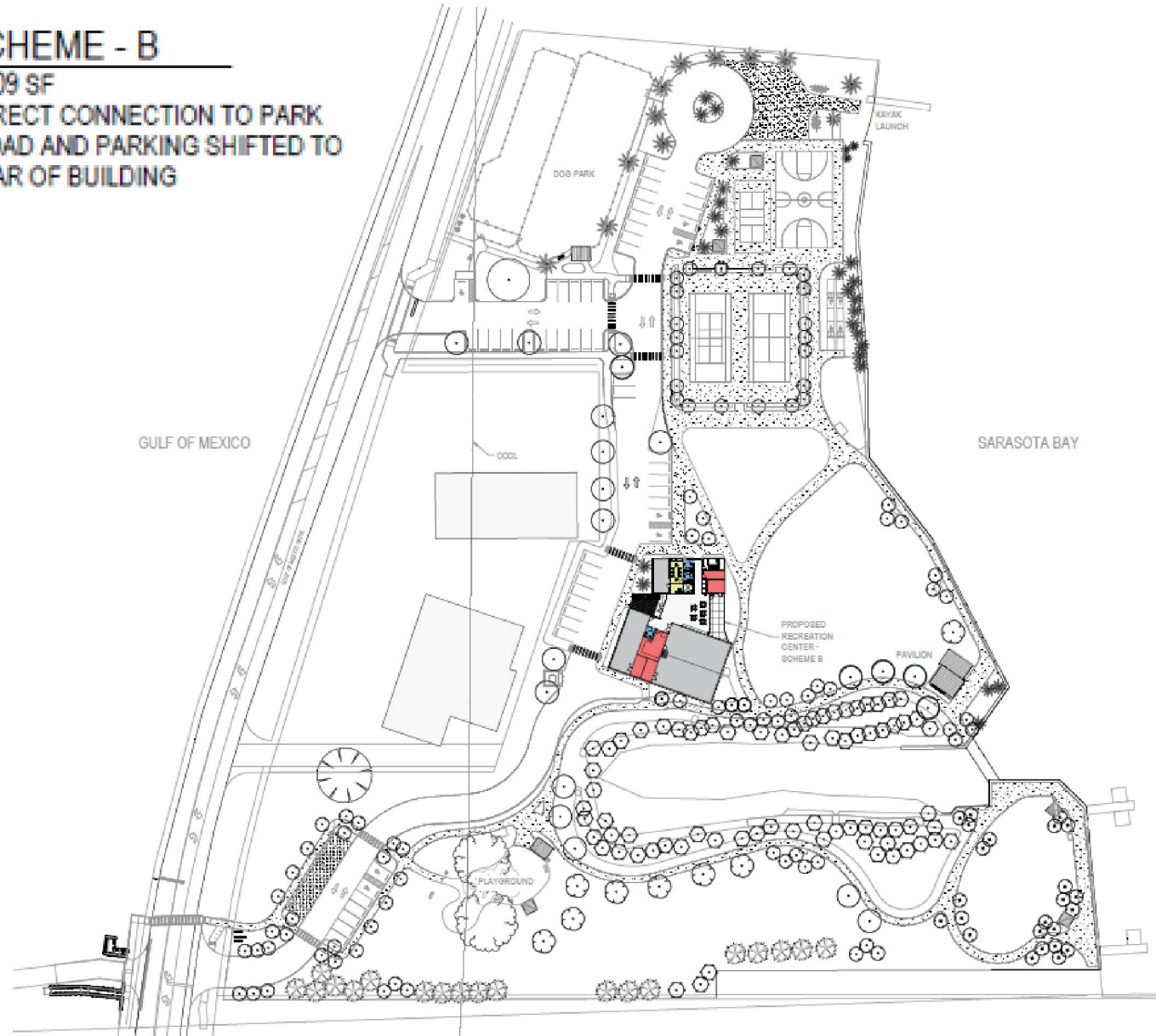
Maintains existing park views and ambiance



SCHEME - B

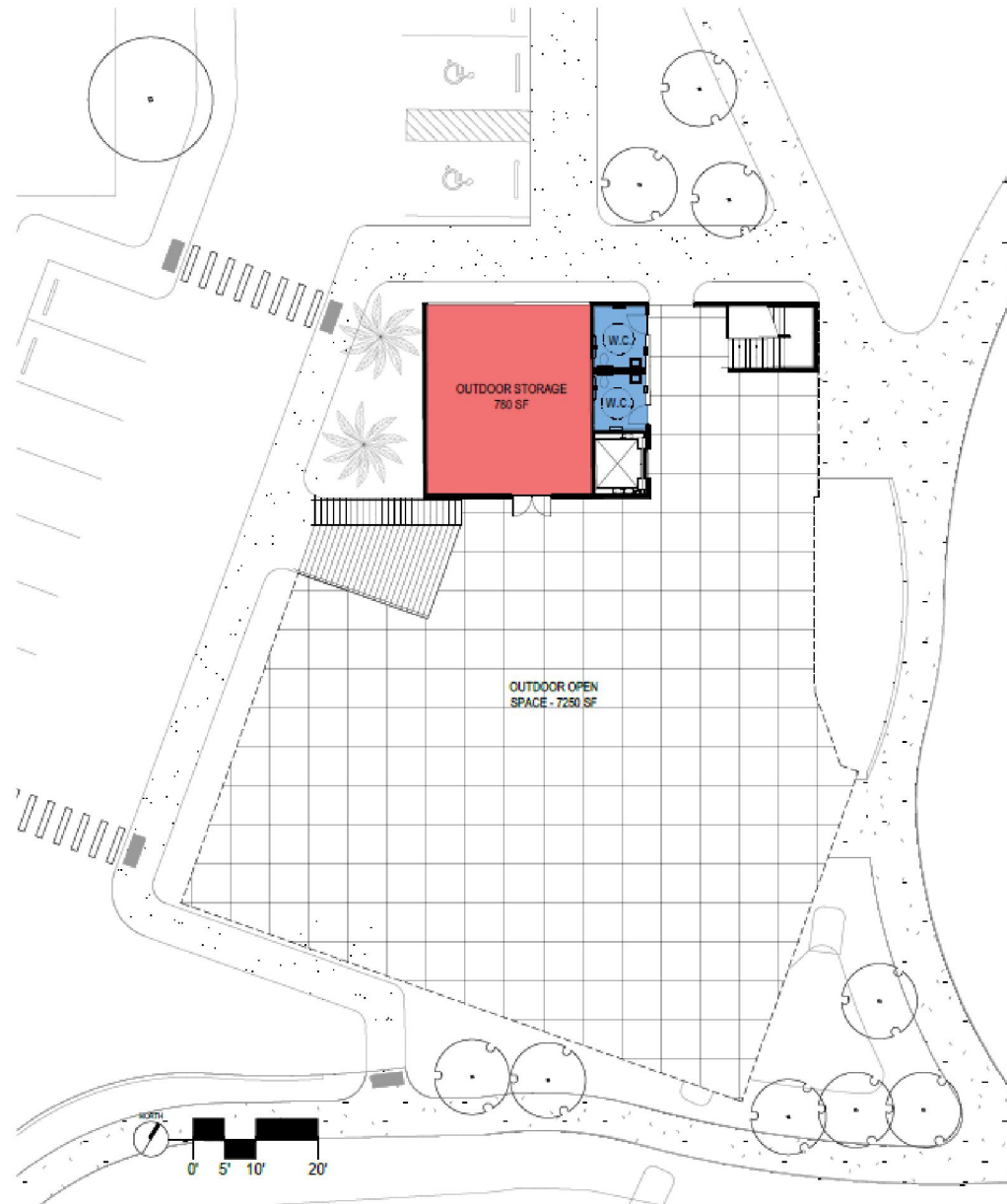
SCHEME - B

- 8709 SF
- DIRECT CONNECTION TO PARK
- ROAD AND PARKING SHIFTED TO REAR OF BUILDING





SCHEME - B





SCHEME - B





SCHEME – B – *RELOCATE ROADWAY*

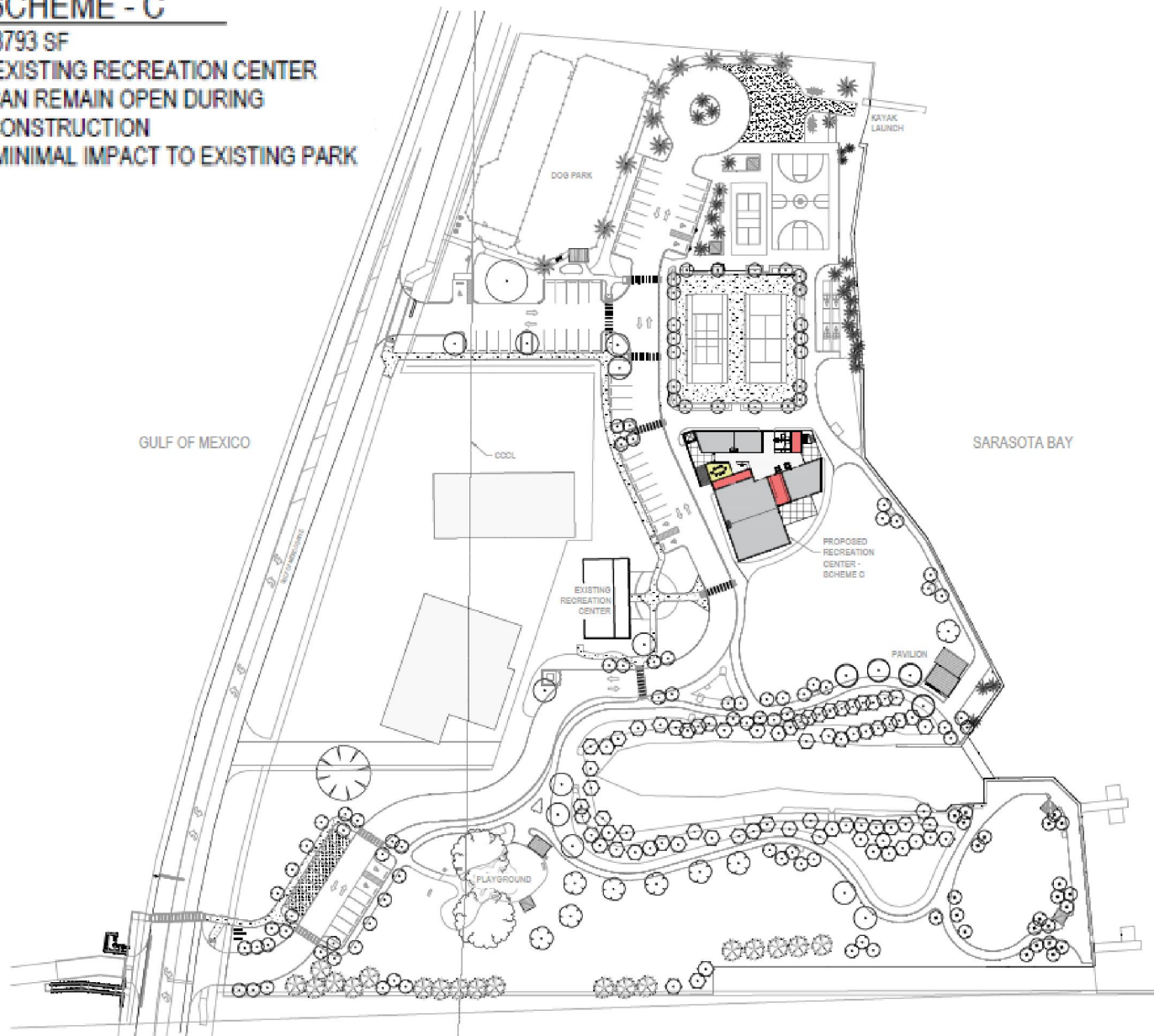




SCHEME - C

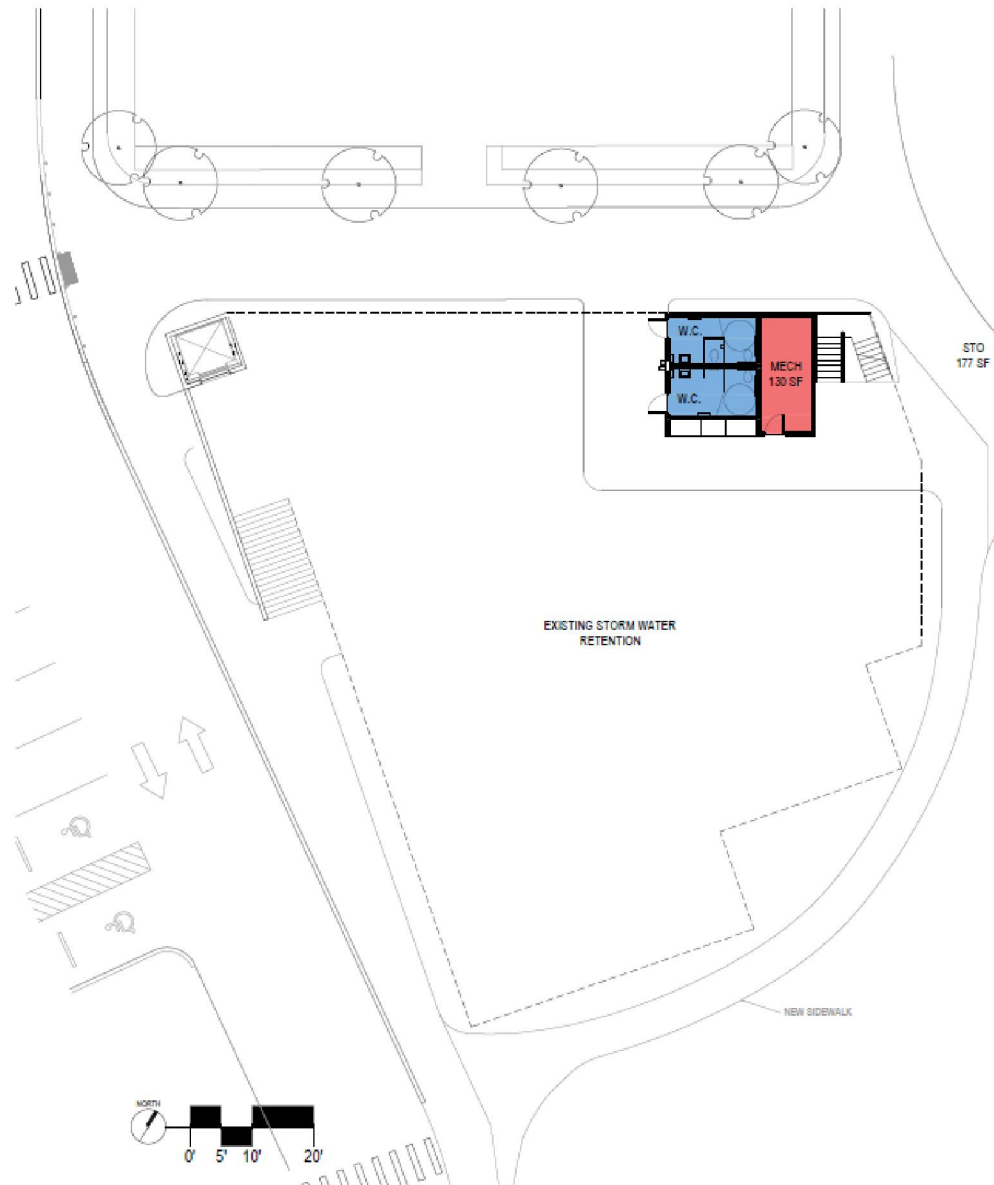
SCHEME - C

- 8793 SF
- EXISTING RECREATION CENTER CAN REMAIN OPEN DURING CONSTRUCTION
- MINIMAL IMPACT TO EXISTING PARK





SCHEME - C





SCHEME - C





SCHEME – C – *EXISTING STORM WATER AREA*





BAYFRONT PARK RECREATION CENTER PLANNING

Public Works Staff recommends Scheme A

Next Steps

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It is anticipated that these steps can be completed within the next 45-days.

Bayfront Park Community Center Town of Longboat Key

Existing Building Due Diligence Assessment Report



Wannemacher Jensen
Architects, Inc.

Summary:

WJA performed a due diligence review of the existing center including American with Disabilities Act, mechanical, electrical, plumbing, structural general maintenance conditions and operational review.

The building is approximately 30-40 years old and was relocated to this site. It was not designed to meet the current codes or wind zone requirements. Some improvements have been made to update the building but significant improvements would be required to bring the building into compliance. Due to the saltwater coastal location and general age the existing building it has significant maintenance needs. The range of potential cost is between \$125,000 and \$150,000.

Regarding operations, the proposed new community center would accommodate all existing programs. If the existing building was to remain open after the new building is complete it would require additional staff to operate, supervise, and maintain.

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Photo Documentation:

The following images were taken during our due diligence inspection. They depict various observations, deficiencies and code violations within the existing structure.



ADA violation – no railing extension

ADA – Americans with Disabilities Act
FBC – Florida Building Code



FBC Code Violation – Open tread stairs are not allowed in commercial construction.



ADA violation – no railing extension



Guard rail height varies from 41-43 inches. 42" guardrail is required per FBC



ADA Violation - Ramp run is greater than 30'-0"



Plumbing is below flood plain without visible back flow preventer



ADA Violation Railing - heights vary, no 1-1/2" continuous railing is provided. The ramp also displays a overall level of disrepair reducing functionality.



Railing should not allow a sphere greater than 4" to pass between railings. This is a liability for youth patrons.



General ramp disrepair



General ramp disrepair



The Gutter is detached or bent at various locations



Exterior paint is peeling exposing wood siding, fascia, and sheathing



Exposed wiring at removed fixture



Paint delamination



Exterior electrical fixtures do not appear to be ground fault protected. Potential liability



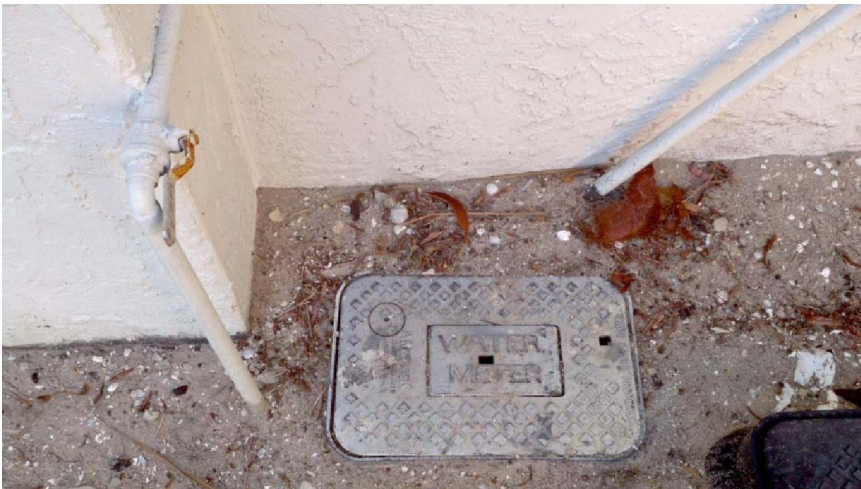
Existing glazing does not meet hurricane impact rating requirements.



Valves and fire riser are exposed rusting



Condensers appear to be functional and have usable life available.





Lateral bracing is very loose and would be ineffective in a storm situation.



Lateral bracing is rusting through at multiple locations



2x8 framing utilized for floor joist.
2x10min is recommended



2x8 framing utilized for floor joist.
2x10 min is recommended for Assembly structures



Extensive use of rubber couplings



Exposed infrastructure above Art Studio Space



Extensive use of rubber couplings



Exposed infrastructure above Art Studio Space



Requires proper hurricane straps and tie down



Requires proper hurricane straps and tie down



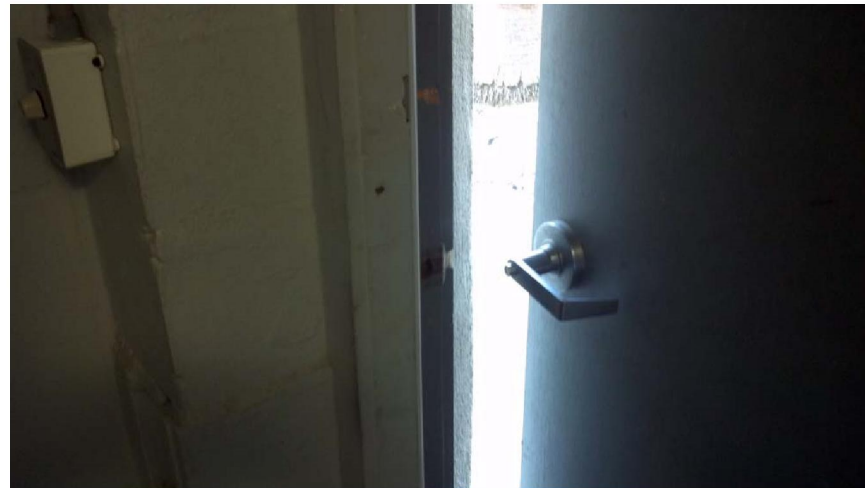
Building is sprinkled. WJA does not recommend exposed pipe in salt water locations



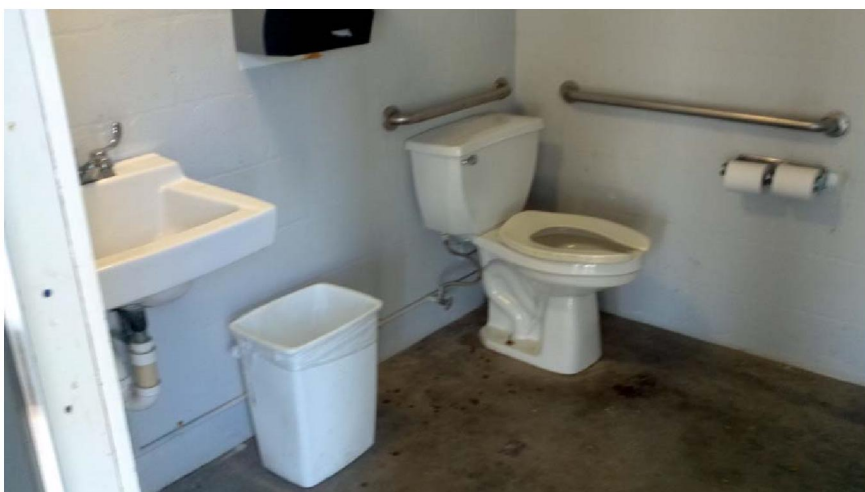
Exposed Wiring.



Rusting electrical conduit



ADA requires 12" at push side of door jamb



Toilet room below flood plain



Ceiling/leak repair



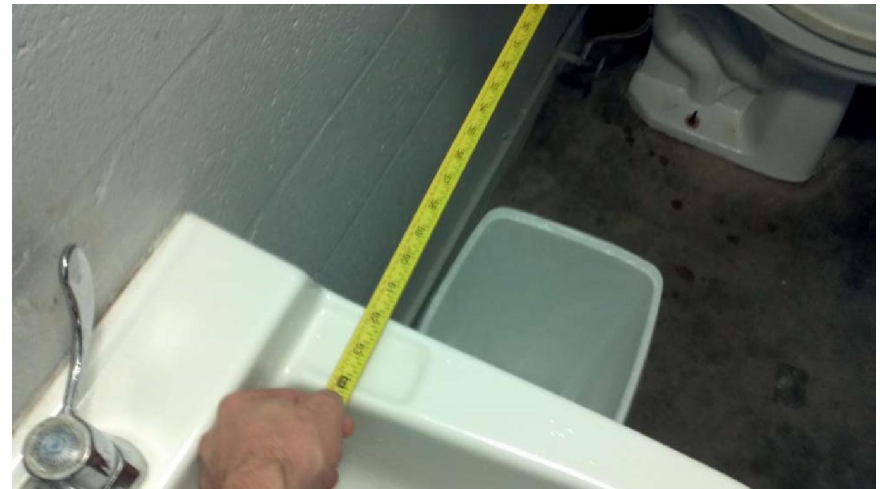
Non functional door closer



ADA violation – Piping shall be protected



The toilet is not the correct distance from the wall per ADA



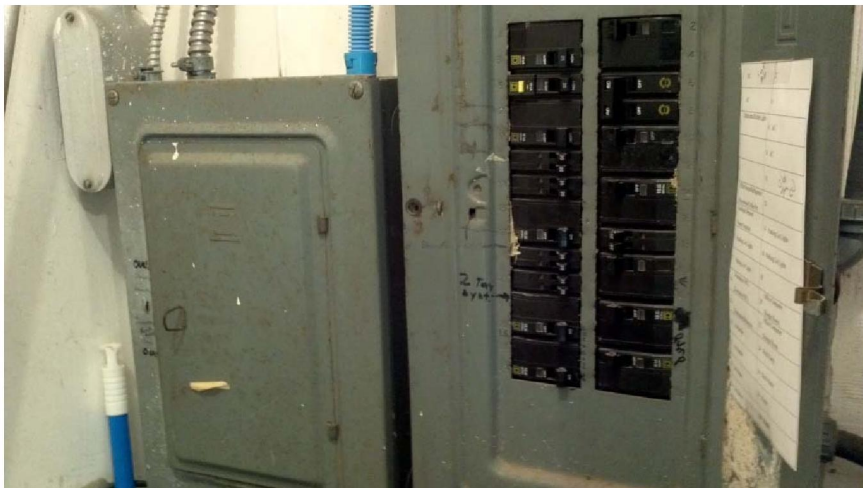
The first level sinks are acceptable per ADA



The building does not have code required ducted return air and does not meet the current outside air requirements



The building does not have adequate storage



The current electrical system is at full capacity



Fire alarm system is up to date



Flexible duct lengths exceed FBC requirements



Openings not sealed between ceiling and attic



Art Studio is below grade and requires
sump pump



Art Studio is below grade and requires
sump pump



Openings not sealed between ceiling and attic



Inefficient insulation at ceiling. No insulation at roof deck



Air transfer grill to office should be ducted



Existing drain leak



VCT is in disrepair. WJA does not recommend VCT due to the ongoing maintenance required



No Acoustic separation between office and program room



Windows/glazing does not meet current wind zone requirements



Wall paper is peeling and aesthetically dated.



Toilet room does not meet ADA min dimensions



Piping is not protected per ADA



Toilet room does not meet ADA min dimensions



Toilet dimension does not meet min ADA dimension requirements



Door handle should be a lever per ADA. Push side of the door should have 12" clear



Non compliant ADA toilet



Piping is not protected per ADA



Fixtures should be lever controlled



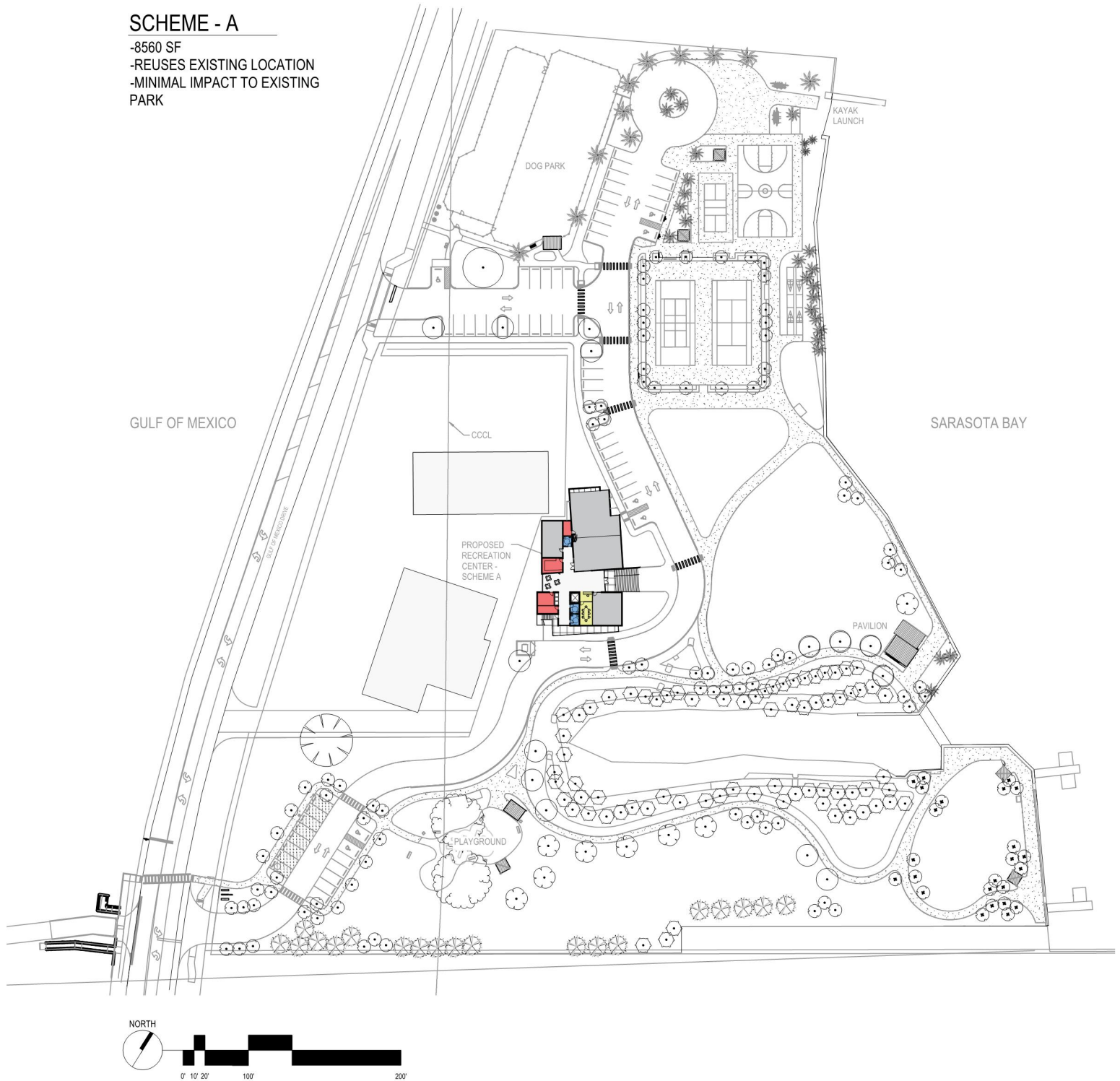
Triple bowl sink is required
Separate hand sink is required



Existing Center Lacks appropriate accessible
storage in all spaces

SCHEME - A

- 8560 SF
- REUSES EXISTING LOCATION
- MINIMAL IMPACT TO EXISTING PARK



A1.0

Bayfront Park Recreation Center

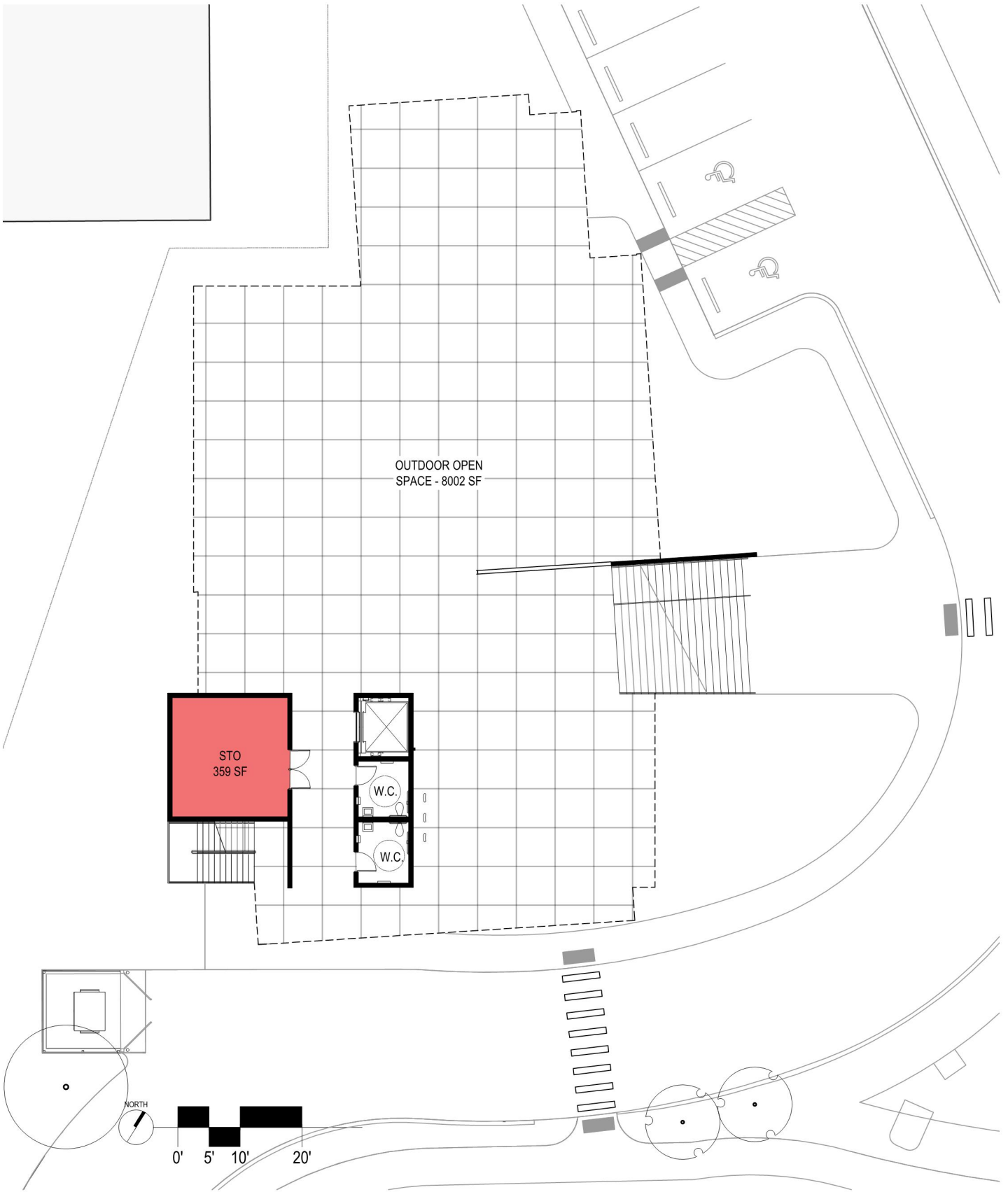
Site Plan - Scheme A

01-16-2019

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 (727) 822-5566; fax (727) 822-5475
 www.wjarc.com
 AA0002277

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A2.0

Bayfront Park Recreation Center
Ground Floor Plan - Scheme A
 01-16-2019

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A2.1

Bayfront Park Recreation Center
 First Floor Plan - Scheme A
 01-16-2019

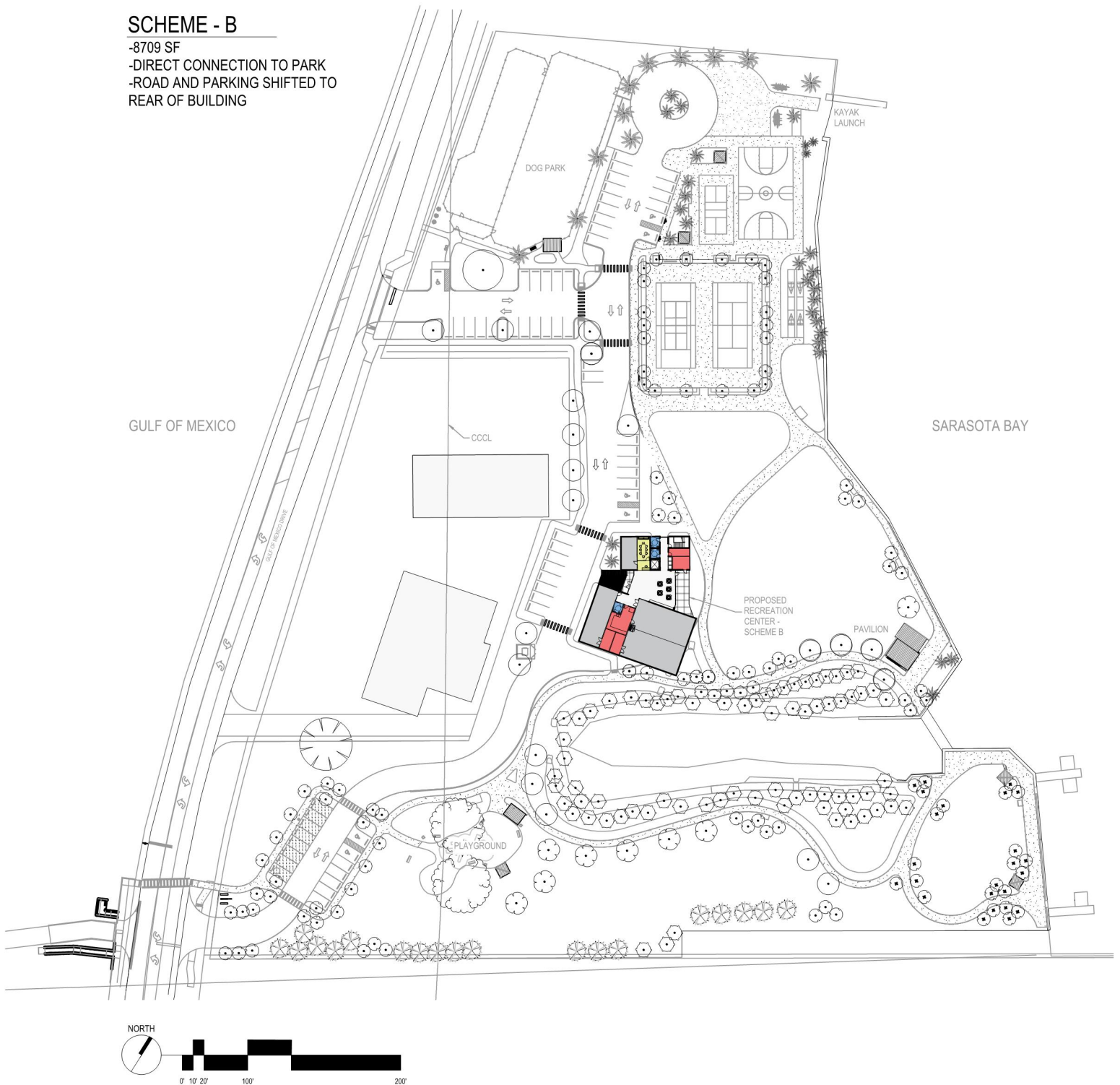
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SCHEME - B

- 8709 SF
- DIRECT CONNECTION TO PARK
- ROAD AND PARKING SHIFTED TO REAR OF BUILDING



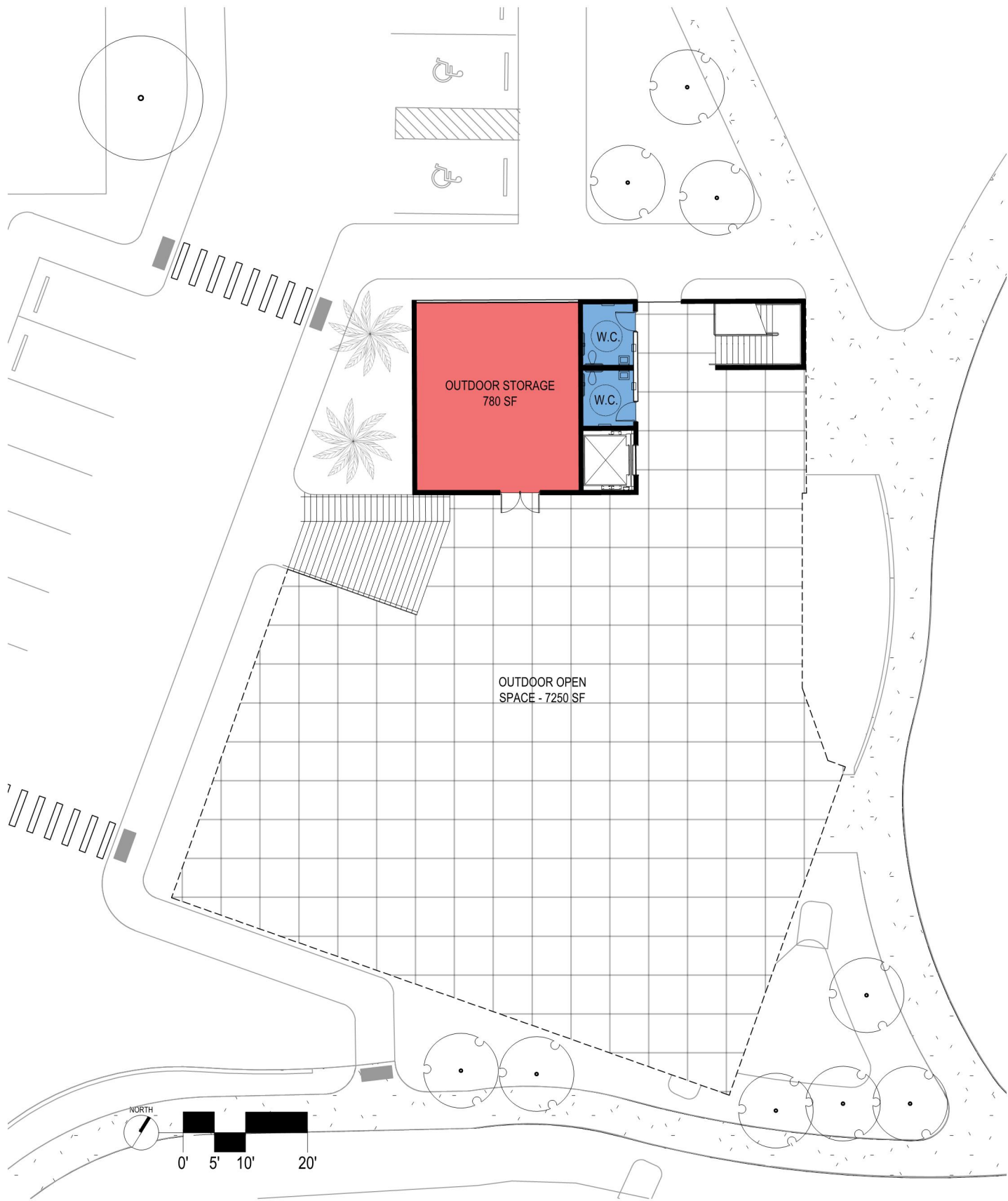
B1.0

Bayfront Park Recreation Center
Site Plan - Scheme B
01-16-2019

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Bayfront Park Recreation Center
Ground Floor Plan - Scheme B
01-16-2019

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B2.1

Bayfront Park Recreation Center
First Floor Plan - Scheme B
 01-16-2019

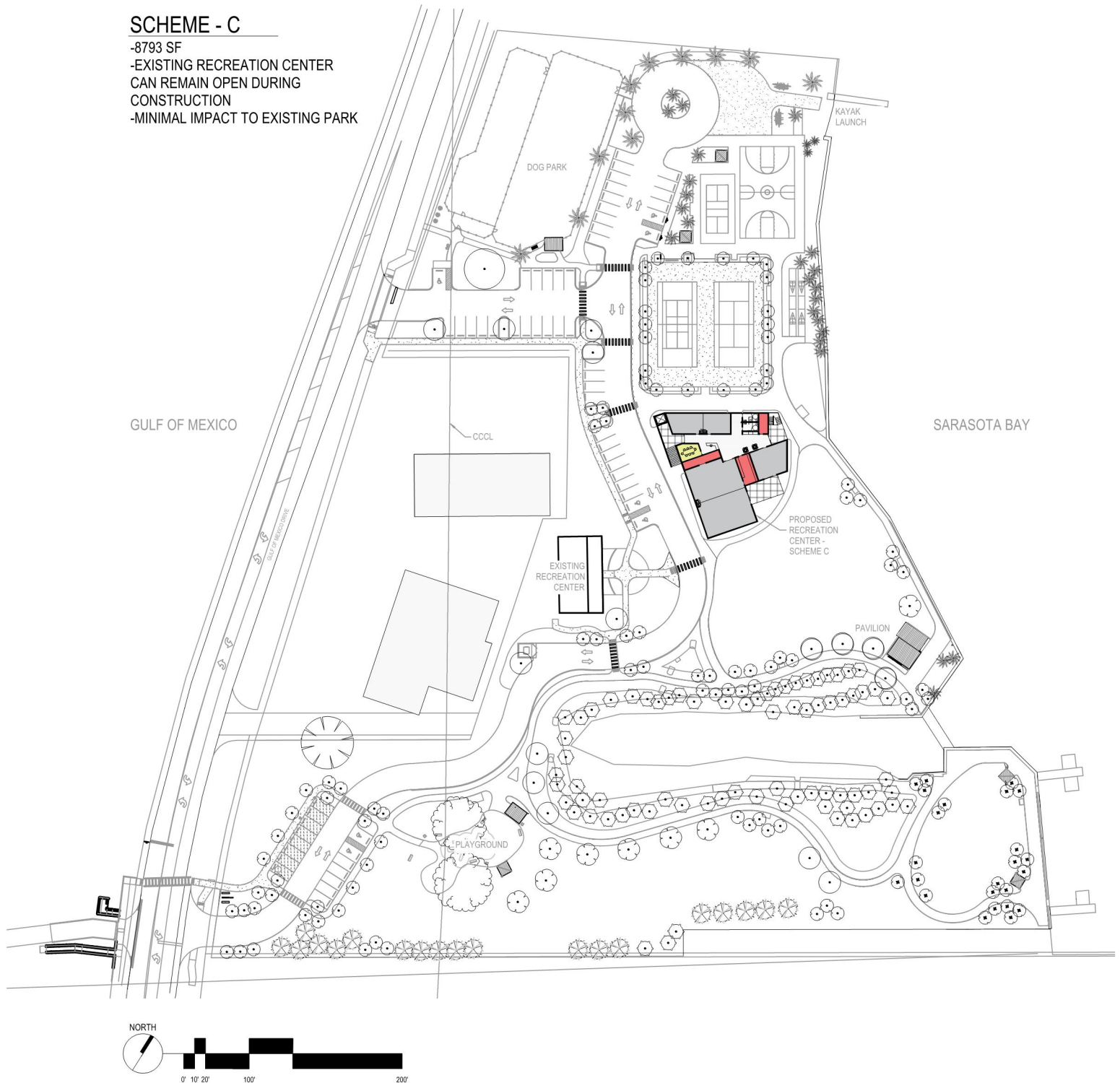
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SCHEME - C

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- EXISTING RECREATION CENTER CAN REMAIN OPEN DURING CONSTRUCTION
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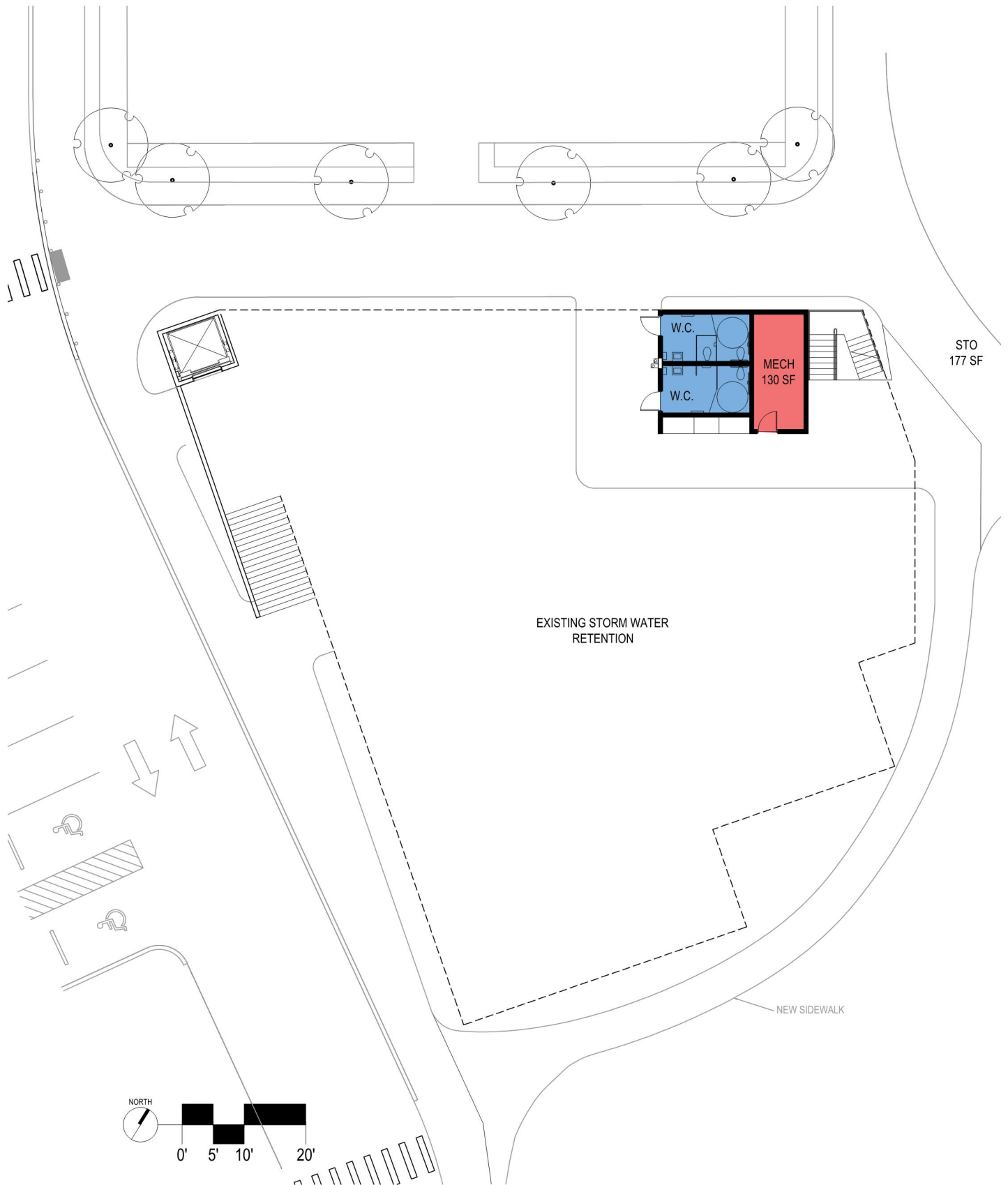
C1.0

Bayfront Park Recreation Center
Site Plan - Scheme C
01-16-2019

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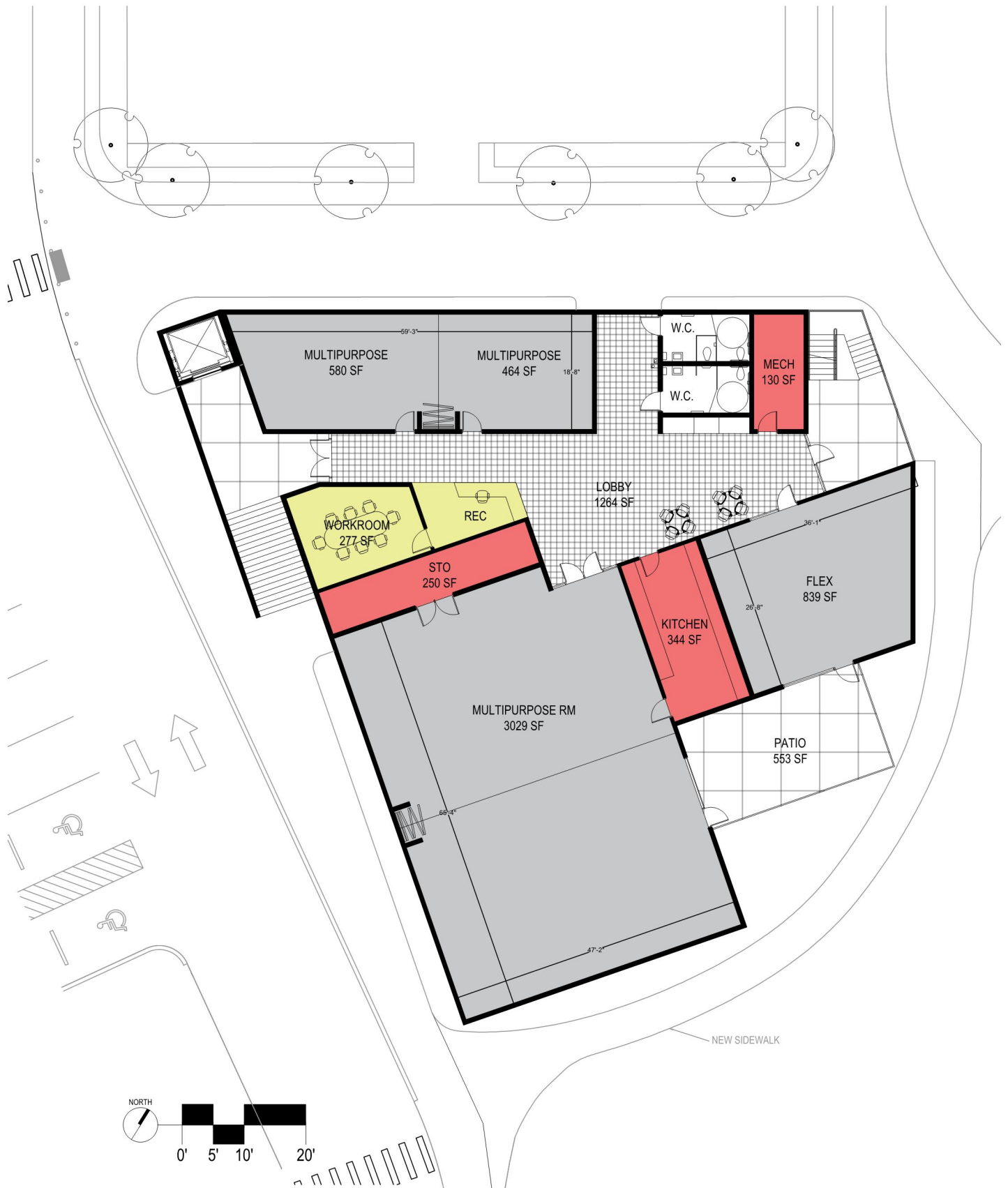
C2.0

Bayfront Park Recreation Center
First Floor Plan - Scheme C
01-16-2019

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End of Agenda Item